

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Acting Director



Mayor Timothy M. Keller

December 22, 2021

Mike Salvador, R.A.  
Buffalo Design Architects  
10899 Buffalo Architects  
Albuquerque, NM 87111

**Re: First Nations Community Health Source, 505 Madeira SE  
Request for Certificate of Occupancy  
Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 08-17-2020 (L18-D085)  
Certification dated 12-21-21

Dear Mr. Salvador,

PO Box 1293

Based upon the information provided in your submittal received 12-21-2021, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

NM 87103

Sincerely,

*Jeanne Wolfenbarger*

www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File

December 21, 2021

Transportation Development  
City of Albuquerque  
600 2nd Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for**  
First Nations Community Healthsource - Vision Clinic  
**Address: 505 Madeira Drive SE., Albuquerque, NM 87118**

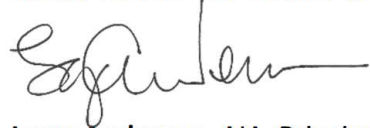
To whom it concerns:

I, Larry Anderson, NMRA of **buffalo design, llc.**, hereby certify that the following project at the address listed above is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout (TCL) Plan approved August 19, 2020.

I further certify that I have personally visited the project site for the remodeled Vision Clinic on December 21, 2021, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (TCL approved Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.



**Larry Anderson**, AIA, Principal  
buffalo design, llc

Attachments: Redlined Approved TCL Site Plan.





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

First Nations Community  
**Project Title:** Healthsource - Vision Clinic Building Permit #: BP-2020-03452 Hydrology File #: \_\_\_\_\_  
DRB#: N/A EPC#: N/A Work Order#: \_\_\_\_\_  
Legal Description: Lot 003. Block 007 Mendelsberg Baron Burg Heights  
City Address: 505 Madeira Drive SE., Albuquerque, NM 87118

**Applicant:** Buffalo Design Architects Contact: Mike Salvador  
Address: 10899 Montgomery Blvd. NE, Suite A, Albuquerque, NM 87111  
Phone#: 505-720-1920 | 505-492-0405 Fax#: N/A E-mail: msalvador@bd-llc.com

**Other Contact:** N/A Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**TYPE OF DEVELOPMENT:** 1 PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? X Yes \_\_\_\_\_ No

**DEPARTMENT** X TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
X TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

\_\_\_\_ BUILDING PERMIT APPROVAL  
X CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: December 21, 2021 By: Mike Salvador (Buffalo Design Architects)

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



ADDITION OF CO. APPROVAL:  
AND OWNER (501 MADRISSE, 87108)  
PROVIDE LETTER FOR PERMISSION TO PARK  
ON CURB ADJACENT TO DRIVEWAY





September 3, 2020

**City of Albuquerque**  
Planning Department  
Development Review Services  
Zoning Plan Examiner  
Attn: Concetta Trujillo  
P.o Box 1293  
Albuquerque, NM 87103  
Via Email: [cmtrujillo@cabq.gov](mailto:cmtrujillo@cabq.gov)

Re: **First Nations Community Health Source – Vision Clinic** at: 505 Madeira Drive SE  
Granting of Off-site Parking from 5608 Zuni Road, SE.

Ms. Concetta Trujillo:

First Nations Community Health Source (FNCH) owns **Lot 3, Block 007, Baron Burg Heights Mendelsbergs Replat.** FNCH is remodeling the existing building on this lot with the address of 505 Madeira Drive SE to accommodate a new Vision Clinic that will be Owned and Operated by FNCH. FNCH (main offices) also sits across the street at 5608 Zuni Road, SE. Legal Description of: **Parcel A1A Plat of Parcel A1A Hollingberry's Replat of Block 6, Baron Burg Heights Addition.** FNCH owns both above mentioned properties which are 60 feet from property line to property line as this is also the Madeira Drive street and right-of-way between.

This notarized letter serves as lot access (ingress/egress) authorization to the property at 5608 Zuni Road, SE. for use by the property at 505 Madeira Drive SE. The properties meet the City of Albuquerque IDO Zoning requirements of Off-Site Parking Allowance 14-16-5-5(C)(5)(g) and distance 14-16-5-5(F)(1)(a)11 of which "a designated parking area on a lot within 330 feet of the lot served by such parking." Lot 505 Madeira Drive SE. requires nine (9) parking spaces. Five (5) including a handicapped parking space and 1 off-street parking space are on or adjacent the lot. Four (4) more required spaces will come from the adjacent lot at 5608 Zuni Road, SE.

Thank you. Please feel free to call my Architects: **buffalo design architects**, Attn: **Mike Salvador** (505-720-1920) with any other questions.

Sincerely,



Linda Son-Stone, CEO  
First Nations Community Health Source

NOTARY:



OFFICIAL SEAL

SUZETTE GUTIERREZ

NOTARY PUBLIC-State of New Mexico

My Commission Expires 3/14/24

Subscribed and Sworn before me this 14<sup>th</sup>

day of September 2020

Notary Signature:

My Commission expires: 3/14/24

CC: buffalo design architects





5608 Zuni Road, SE ♦ Albuquerque, New Mexico 87108 ♦ Tel: 505-262-2481 ♦ Fax: 505-265-7045

August 17, 2020

**City of Albuquerque**  
Planning Department  
Development Review Services  
Attn: Nilo Salgado-Fernandez  
P.o Box 1293  
Albuquerque, NM 87103  
Via Email: [nsalgado-fernandez@cabq.gov](mailto:nsalgado-fernandez@cabq.gov)

Re: **First Nations Community Health Source – Vision Clinic** at: 505 Madeira Drive SE  
Granting of Access to Adjacent Lot 2 & 1 at 501 Madeira Drive SE. Albuquerque, NM.

Mr. Nilo Salgado-Fernandez:

First Nations Community Health Source (FNCH) owns **Lot 3, Block 007, Baron Burg Heights Mendelsbergs Replat** and is remodeling the existing building at 505 Madeira Drive SE to accommodate a new Vision Clinic that will be Owned and Operated by FNCH. FNCH also owns both **Lots 1 and 2** to the north of said property. FNCH would like to grant complete access rights to said property at: **505 Madeira Drive SE. Albuquerque, NM.**

Thank you. Please feel free to call my Architects: **buffalo design architects**, Attn: **Mike Salvador** (505-720-1920) with any other questions.

Sincerely,

Linda Son-Stone, CEO  
First Nations Community Health Source

CC: buffalo design architects





buffalodesign  
architects

10899 montgomery blvd. ne  
Suite A  
albuquerque, nm 87111

PROJECT

# FIRST NATIONS COMMUNITY HEALTH SOURCE VISION CLINIC INTERIOR IMPROVEMENTS

505 MADEIRA DRIVE, SE  
ALBUQUERQUE, NEW MEXICO 87108

## GENERAL NOTES:

1. REMOVE ALL OBSTRUCTIONS ALONG PATH OF NEW ADA COMPLIANT CONCRETE SIDEWALK.
2. PROVIDE PAINTED STRIPPING OF PERIMETER AND INTERIOR OF SIDEWALK AS SHOWN.
3. ADHERE TO COA STANDARD DRAWING DETAIL AND NOTES #2425B

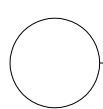
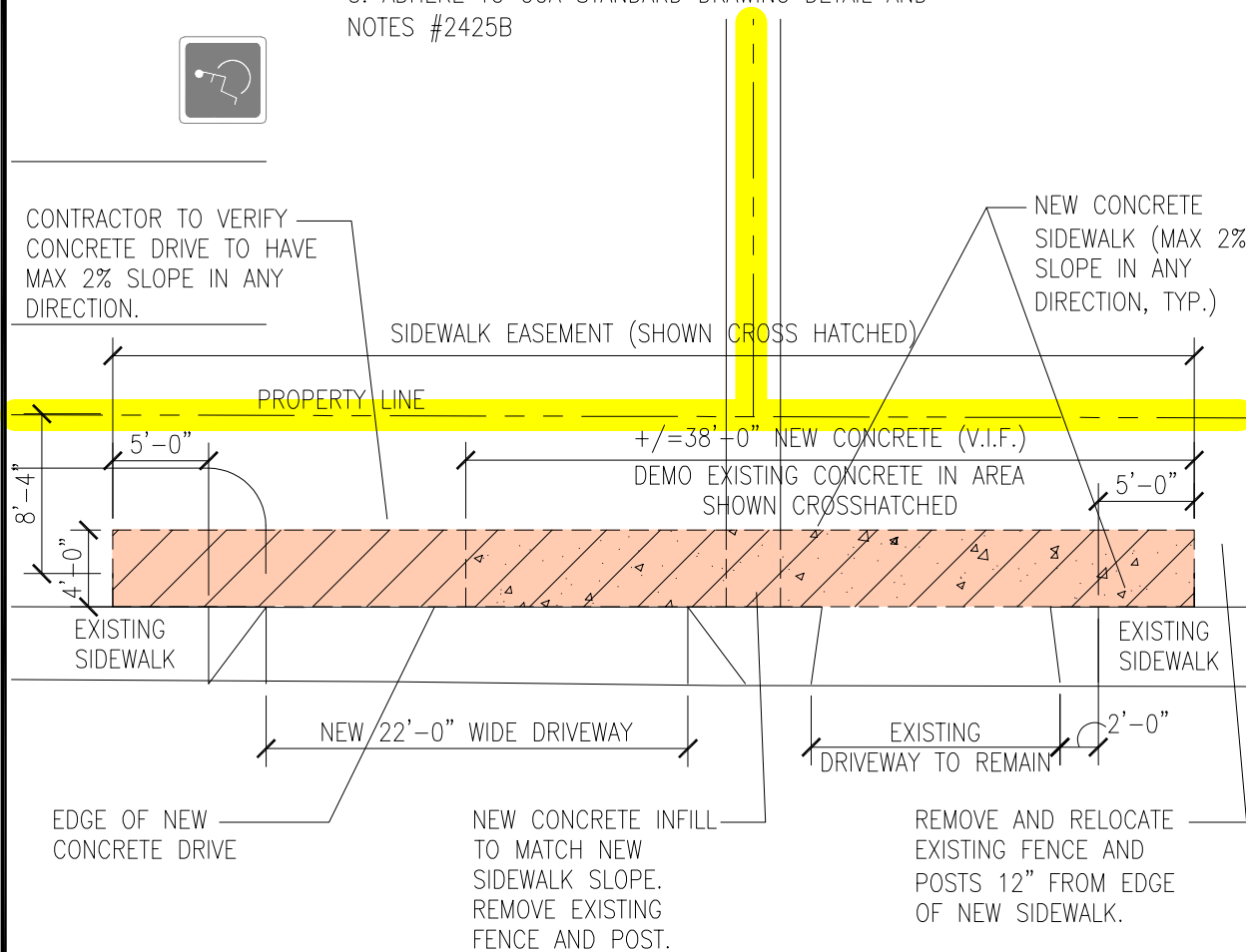
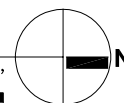


EXHIBIT "A"



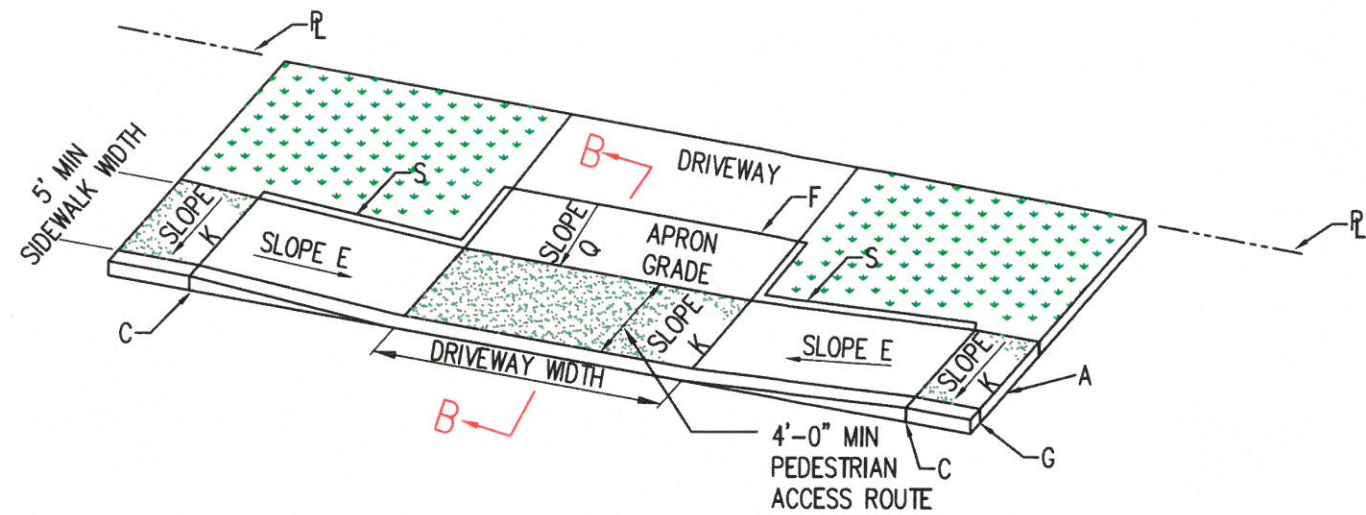
REVISION # DATE:

CLIENT PROJ #:  
ARCHT PROJ #:  
DRAWN BY: mws  
CHECKED BY:  
DATE OCTOBER 11, 2021  
SHEET #:

ASI-003

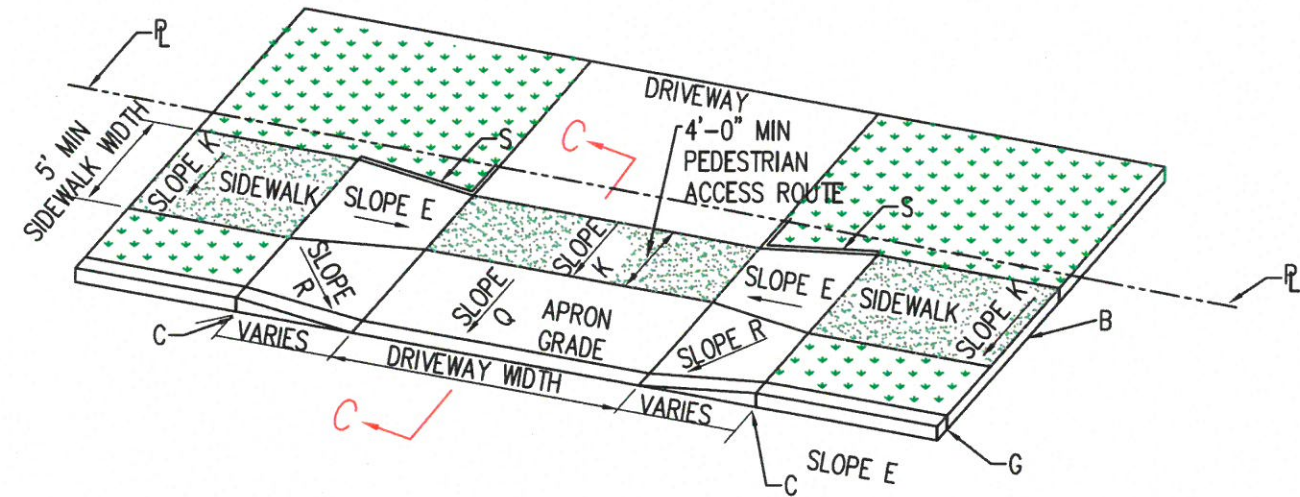


DRIVEPAD WITH SIDEWALK  
AT BACK OF CURB



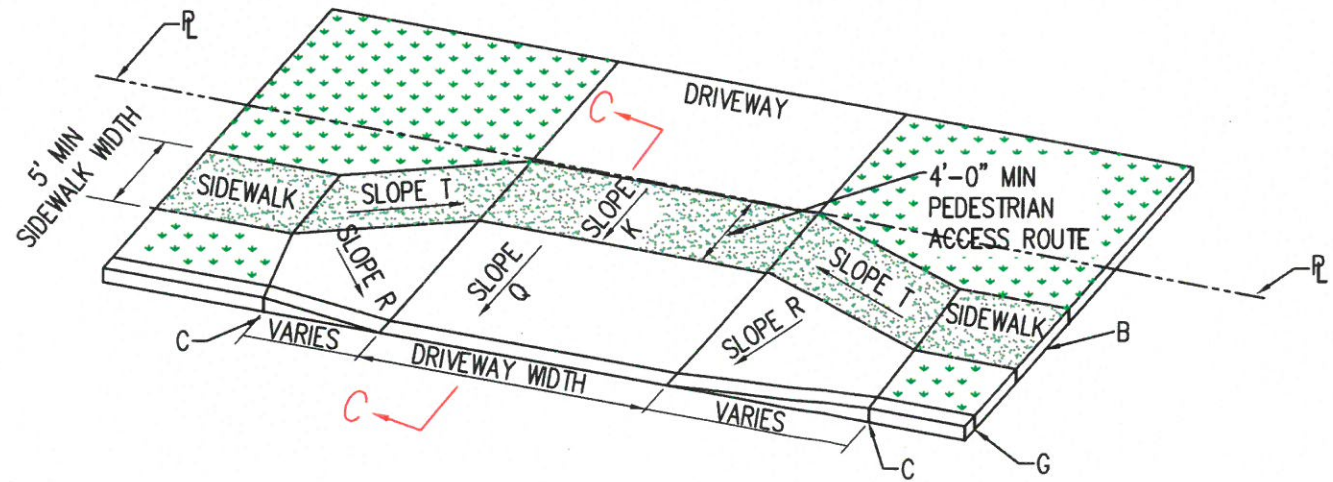
DRIVEPAD WITH SIDEWALK  
NEAR PROPERTY LINE

GUIDANCE: USE IN SITUATIONS WITH LIMITED  
RIGHT-OF-WAY AND/OR WHEN LOWER  
WATERBLOCK IS REQUIRED. COORDINATE  
APPROVAL WITH COA HYDROLOGY WHEN  
WATER BLOCK OF LESS THAN 0.87' IS USED.



DRIVEPAD WITH SIDEWALK AT  
PROPERTY LINE

GUIDANCE: USE IN SITUATIONS WITH MORE  
RIGHT-OF-WAY, WHEN SIDEWALK EASEMENT IS  
REQUIRED AND/OR A HIGHER WATERBLOCK IS  
REQUIRED.



GENERAL NOTES

1. SEE COA STANDARD DRAWING 2425A FOR DRIVEWAY SECTIONS.
2. ENGINEER SHALL PROVIDE ADDITIONAL DETAIL AND DESIGN FOR SITE SPECIFIC CONDITIONS AS NEEDED.
3. SEE DRAWING 2446 FOR DETECTABLE WARNING SURFACE STANDARDS.

CONSTRUCTION NOTES

- A. SIDEWALK ADJACENT TO CURB.
- B. OFFSET SIDEWALK.
- C. 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.
- D. NOT USED
- E. SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3%, 7% PREFERRED SLOPE).
- F. TOP OF DRIVEPAD.
- G. TOP OF CURB.
- H. PROPERTY LINE/RIGHT-OF-WAY LINE.
- J. 5' MIN SIDEWALK WIDTH.
- K. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- L. NOT USED
- M. NOT USED
- N. EXPOSED CUT EDGES SHALL BE GROUND SMOOTH/ROUNDED TO REMOVE SHARP EDGE.
- P. OUTSIDE EDGE OF SIDEWALK.
- Q. SLOPE REQUIRED TO MEET GIVEN OR SET BOUNDARY ELEVATIONS (PROPERTY LINE OR BOC. ETC.).
- R. FLARED SIDES ARE TO HAVE 10% MAXIMUM SLOPE.
- S. HEADER CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK.
- T. LONGITUDINAL SLOPE TO MATCH ROADWAY WITH 8.3% MAX.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	ISOMETRIC DRIVEPAD VIEWS
	DWG. 2425B JANUARY 2019