CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

December 12, 2025

John Stapleton, PE
Community Design Solutions
9384 Valley View Dr. NW
Albuquerque, NM 87114

RE: San Mateo Manor
513 Ortiz Dr SE
Grading and Drainage Plans
Engineer's Stamp Date: 11/21/2025
Hydrology File: L18D088
Case # HYDR-2025-00377

Dear Mr. Stapleton:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 11/21/2025, the Grading & Drainage Plans **are approved** for Grading Permit, Building Permit or Work Order. The following comments need to be addressed for the approval of the above referenced project.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

g Angle = -0_11_42.76
IED GROUND COORDINATES
33955.909 US FT
38790.661 US FT
49.925 US FT NAVD 1988

NOTES:
1. SEE UTILITY PLAN FOR REMOVALS ASSOCIATED WITH UTILITY INSTALLATIONS
2. SEE GRADING PLAN FOR REMOVALS ASSOCIATED WITH STORM SEWER INSTALLATIONS

SAW CUT EXISTING DRIVE PAD
REMOVE AND DISPOSE EXISTING PARKING STOPS (TYP.)
PROTECT EXISTING METER
REMOVE AND DISPOSE EXISTING 8" CURB
REMOVE AND DISPOSE EXISTING FENCE
REMOVE AND DISPOSE EXISTING BOLLARDS
REMOVE AND DISPOSE EXISTING 8" CURB
REMOVE AND DISPOSE EXISTING ASPHALT
REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
REMOVE AND DISPOSE EXISTING GATE
REMOVE AND DISPOSE EXISTING OVERHEAD WIRE
REMOVE AND DISPOSE EXISTING POWER POLE AND GUY WIRE SEE UTILITY PLAN, SHEET C-103
REMOVE AND DISPOSE EXISTING DRIVEPAD, CURB, AND SIDEWALK ADJACENT TO DRIVEPAD
PROTECT EXISTING OVERHEAD POWERLINE
REMOVE AND DISPOSE EXISTING DRIVEPAD AND CURB
PROTECT EXISTING SIDEWALK
REMOVE AND DISPOSE EXISTING BUILDING
REMOVE AND DISPOSE EXISTING SIDEWALK
REMOVE AND DISPOSE EXISTING ASPHALT
REMOVE AND DISPOSE EXISTING FENCE
REMOVE AND DISPOSE EXISTING SIDEWALK ADJOINING SITE
REMOVE AND DISPOSE EXISTING FENCE TO PROPERTY LINE
REMOVE AND DISPOSE EXISTING 6" CURB
PARKING BLOCK (TYP.)
7.4' OVER PROPERTY LINE
FENCE 0.4' OVER PROPERTY LINE
FENCE 0.0' OVER PROPERTY LINE
PROTECT EXISTING BUILDING
FENCE 0.4' OVER PROPERTY LINE
BUILDING 0.2' FROM PROPERTY LINE
BUILDING 0.1' FROM PROPERTY LINE
FENCE 2.1' OVER PROPERTY LINE
CENTERLINE SAS MANHOLE RIM ELEV= 5274.02 INVERT= 5265.29

TRACT A
LANDS OF TOSTA
OWNER: TOSTA, NEW MEXICO LLC
(08/16/2013, 2013C-100)

LOT 4-A (1.0810 Acres)
LOT 4 (0.1551 Acres)
LOT 5 (0.1551 Acres)
LOT 6 (0.1549 Acres)
LOT 7, BLOCK 8 MENDELSBURG'S SUBDIVISION (NOT A PART) OWNER: MADEIRA MULTIFAMILY LLC (01/22/1945, A-29)
LOT 8, BLOCK 8 MENDELSBURG'S SUBDIVISION (NOT A PART) OWNER: MADEIRA MULTIFAMILY LLC (01/22/1945, A-29)
LOT 9, BLOCK 8 MENDELSBURG'S SUBDIVISION (NOT A PART) OWNER: MADEIRA MULTIFAMILY LLC (01/22/1945, A-29)
LOT 10, BLOCK 8 MENDELSBURG'S SUBDIVISION OWNER: MADEIRA MULTIFAMILY LLC (01/22/1945, A-29)
LOT A, BLOCK 8 MENDELSBURG'S SUBDIVISION OWNER: ISLAM K. SHAIKH (10/16/1981, A8-106)
LOT 21 (0.1021 Acres)
LOT 20 (0.1026 Acres)
LOT 19 (0.1025 Acres)
LOT 18 (0.1027 Acres)
LOT 17 (0.1030 Acres)
LOT 16 (0.1032 Acres)

BUILDING
SIDEWALK
ASPHALT SURFACE
ASPHALT EDGE
POINT OF BEGINNING
ORTIZ DRIVE SE (60' R/W)
SAN MATEO BOULEVARD SE (RAILYARDS)
10' P.U.E. (08/16/2013, 2013C-100)
5' P.U.E. (TYP.) (04/13/1945, 220-123)
FND 1/2" REBAR
FND 3/8" REBAR
FND T-RAIL WITH BATHEY CAP STAMPED "14271"
FND BATHEY CAP
FND BENT T-RAIL WITH BATHEY CAP STAMPED "14271"
FND CHISELED "+"
FND CHISELED "+" TBM ELEV= 5273.193
FND NMDOT BRASS CAP STAMPED "49+34.27" HELD FOR R/W LINE S 0°28'27" W, 0.87' FROM SET CORNER
GAS
BUS STOP CANOPY

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTrans # L18D088
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS. SPECIFICATIONS, OR CONSTRUCTION. THIS APPROVAL OF PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

0 20 40
SCALE: 1" = 20'

CDS
COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR NW SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

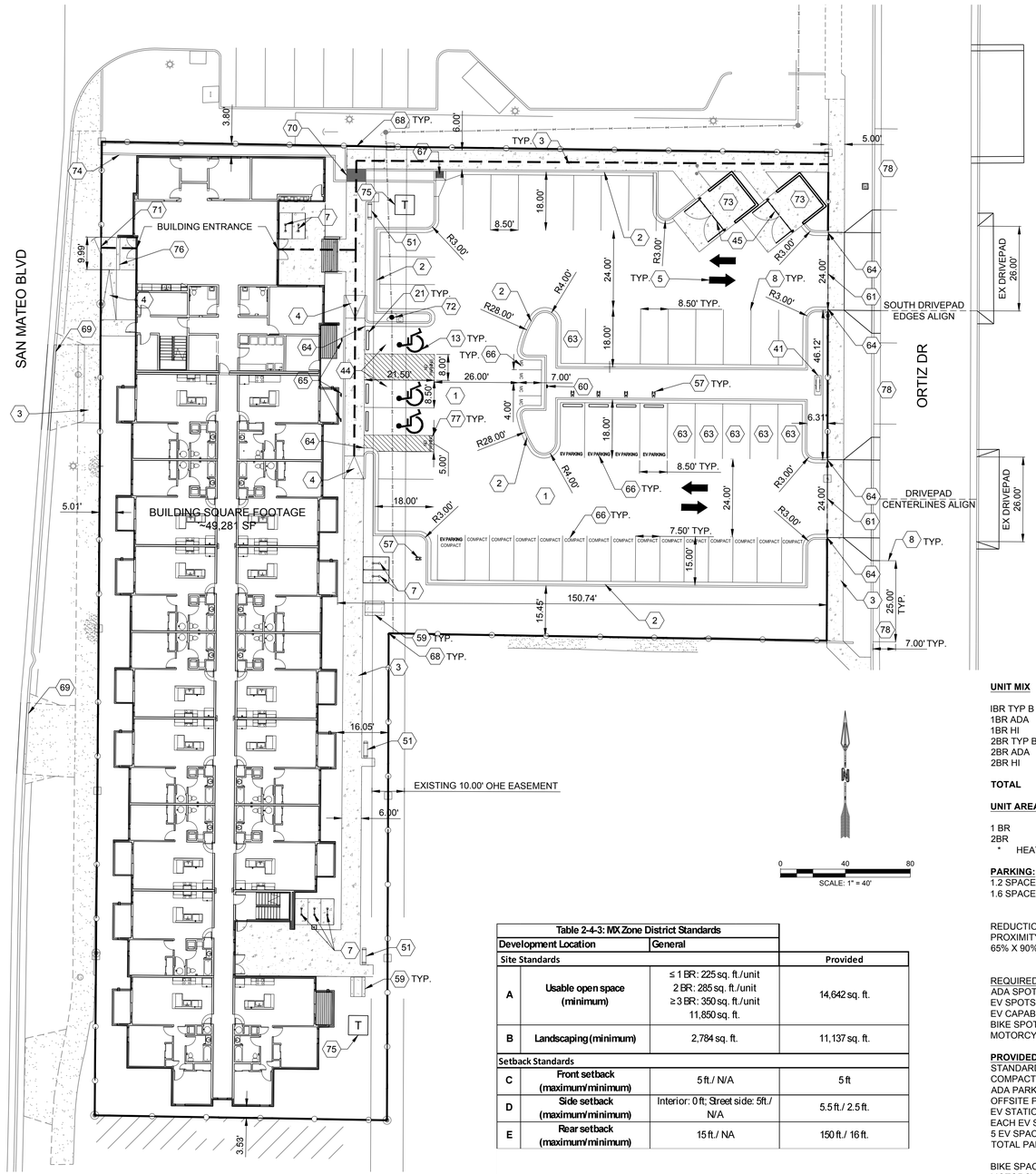
DESIGNED XXXX
DRAWN XXXX
CHECKED XXXX
DATE 11/21/2025

REVISIONS:

JOHN M. STAPLETON NEW MEXICO 30170 11/21/2025 PROFESSIONAL ENGINEER
PRELIMINARY NOT FOR CONSTRUCTION

PROJECT NAME: SAN MATEO MANOR
SHEET TITLE: DEMO PLAN
CDS PROJ. NO. 760225
OTHER PROJ. NO.
SHEET NO: C-100

NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-100 Demo Plan.dwg PLOT DATE: Nov 21, 2025 1:17pm



VICINITY MAP (NTS)

UNIT MIX

	LVL1	LVL2	LVL3	TOT
IBR TYP B	12	12	13	**37**
1BR ADA	1	1	0	**2**
1BR HI	0	1	0	**1**
2BR TYP B	2	3	4	**9**
2BR ADA	0	1	0	**1**
2BR HI	0	0	0	**0**
TOTAL	**15**	**18**	**17**	**50**

UNIT AREAS:

	HEATED	RENTABLE*
1 BR	642 SF	682SF
2BR	810 SF	850 SF

* HEATED + BALCONY AREA

PARKING:
1.2 SPACES PER 1 BR: X 40 = 48 SPACES
1.6 SPACES PER 2 BR: X 10 = 16 SPACE
64 SPACES REQUIRED

REDUCTIONS:
PROXIMITY TO TRANSIT: 10% REDUCTION
65% X 90% = 57.6 SPACES REQUIRED
58 SPACES REQUIRED

REQUIRED SPECIALTY PARKING:
ADA SPOTS: 3 SPACES (ADAAG F208.2)
EV SPOTS: 3 SPACES
EV CAPABLE: 8 SPACES
BIKE SPOTS: 7 SPACES (IDO 5-5-5)
MOTORCYCLE SPOTS: 4 SPACES (IDO 5-5-4)

PROVIDED PARKING:
STANDARD PARKING: 31 SPACES
COMPACT PARKING: 15 SPACES
ADA PARKING: 4 SPACES
OFFSITE PARKING: 3 SPACES
EV STATION CREDIT
EACH EV STATION COUNTS FOR 2 SPACES
5 EV SPACES PROVIDED = +5 VEHICULAR SPACES
TOTAL PARKING **58 SPACES PROVIDED**

BIKE SPACES 7 SPACES
MOTORCYCLE SPACES 4 SPACES
EV CAPABLE SPACES 8 SPACES

LEGEND

6' ALUMINUM RAIL FENCE

ADA PATH

Table 2-4-3: MX Zone District Standards			
Development Location		**General**	
Site Standards			**Provided**
A	**Usable open space (minimum)**	≤ 1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥ 3 BR: 350 sq. ft./unit 11,850 sq. ft.	14,642 sq. ft.
B	**Landscaping (minimum)**	2,784 sq. ft.	11,137 sq. ft.
Setback Standards			
C	**Front setback (maximum/minimum)**	5 ft./ N/A	5 ft
D	**Side setback (maximum/minimum)**	Interior: 0 ft; Street side: 5ft./ N/A	5.5 ft./ 2.5 ft.
E	**Rear setback (maximum/minimum)**	15 ft./ NA	150 ft./ 16 ft.

CONSTRUCTION KEYED NOTES:

I.D.#	DESCRIPTION
1	BUILD ASPHALT PAVING, PER TYPICAL SECTION ON DETAIL SHEET.
2	BUILD PCC MEDIAN CURB AND GUTTER PER COA STANDARD DETAIL DWG 2415A.
3	BUILD PCC SIDEWALK, PER COA STANDARD DETAIL DWG 2430.
4	INSTALL ADA RAMP, PER COA STD. DTL. DWG 2443 WITH TRUNCATED DOMES WHERE SHOWN ON PLSN. SEE GRADING PLAN FOR ELEVATIONS.
5	PAINT ARROW SYMBOL
7	INSTALL BIKE RACK PER DETAIL ON DETAIL SHEET. 4'x6' STALL.
8	INSTALL 4" WIDE WHITE PAVEMENT STRIPE.
13	PAINT ACCESSIBLE PARKING SYMBOL PER ANSI A117.1 1986 REQUIREMENTS
21	INSTALL CONCRETE PARKING STOP
41	INSTALL MONUMENT SIGN SEE SIGN PLANS (BY OTHERS)
44	VAN ACCESSIBLE PARKING SPACE
45	BUILD GARBAGE ENCLOSURE WITH GATES, REFER TO ARCHITECTURAL PLANS
51	INSTALL ALL WEATHER PERMANENT MOUNTED BENCH, REFER TO ARCHITECTURAL PLANS
57	ELECTRICAL VEHICLE CHARGER, REFER TO ELECTRICAL PLANS
59	ALL WEATHER PICNIC TABLE, REFER TO ARCHITECTURAL PLANS
60	INSTALL "MOTORCYCLE PARKING SIGN ONLY SIGN"
61	INSTALL DRIVEPAD PER COA STD DRAWING 2430
62	INSTALL 6" HEADER CURB PER COA STD DRAWING 2415A INTEGRAL WITH THE SIDEWALK
63	INSTALL EV CAPABLE PARKING SPACE, REFER TO ELECTRICAL PLANS
64	TRANSITION CURB OVER 6 LF FROM FULL HEIGHT TO NO HEIGHT AT THE SIDEWALK
65	INSTALL HANDICAP SIGN (SHALL INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING") AND VAN ACCESSIBLE SIGN PER DETAIL ON DETAIL SHEET.
66	PAINT WORDS SHOWN PER PLAN WITH WHITE PAINT. USE LETTERS AT LEAST 1.5 FT TALL. PAINT STROKE SHALL BE A MINIMUM OF 3 INCHES WIDE.
67	INLET, SEE GRADING PLAN.
68	INSTALL 6' TALL ALUMINUM RAIL FENCE (FORGE RIGHT OSPREY, OR OWNER APPROVED ALTERNATIVE)
69	INSTALL STANDARD C&G PER COA STD DWG 2415A.
70	INSTALL 2 - 21" (MEASURED EXTERIOR WALL TO EXTERIOR WALL) SIDEWALK CULVERT PER COA STD DRAWING 2236
71	INSTALL 5' WIDE GATE WITH A KEYLESS DIGITAL COMBINATION LOCK
72	EXISTING POWER POLE
73	BUILD HEAVY DUTY CONCRETE PAD AND APRON, PER TYPICAL SECTION ON DETAIL SHEET
74	BUILD CONCRETE CHANNEL PER DETAIL ON SHEET 10 ON SHEET C-500
75	INSTALL TRANSFORMER, SEE ELECTRICAL PLANS
76	BUILD TWO EQUAL HEIGHT STEPS 12" APART. SEE GRADING PLAN FOR GRADES
77	PAINT "NO PARKING" IN CAPITAL LETTERS 12" TALL AND 2" WIDE. PAINT ADA ACCESS AISLE WITH BLUE DIAGONAL STRIPING 4" WIDE AND 2FT APART.
78	ON -STREET PARKING STALL

CDS
COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR NW, SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY

ISSUED FOR: CONSTRUCTION

DESIGNED CLS
DRAWN CLS
CHECKED JMS
DATE 11/21/2025

JOHN M. STAPLETON NEW MEXICO 30170 PROFESSIONAL ENGINEER
11/21/2025

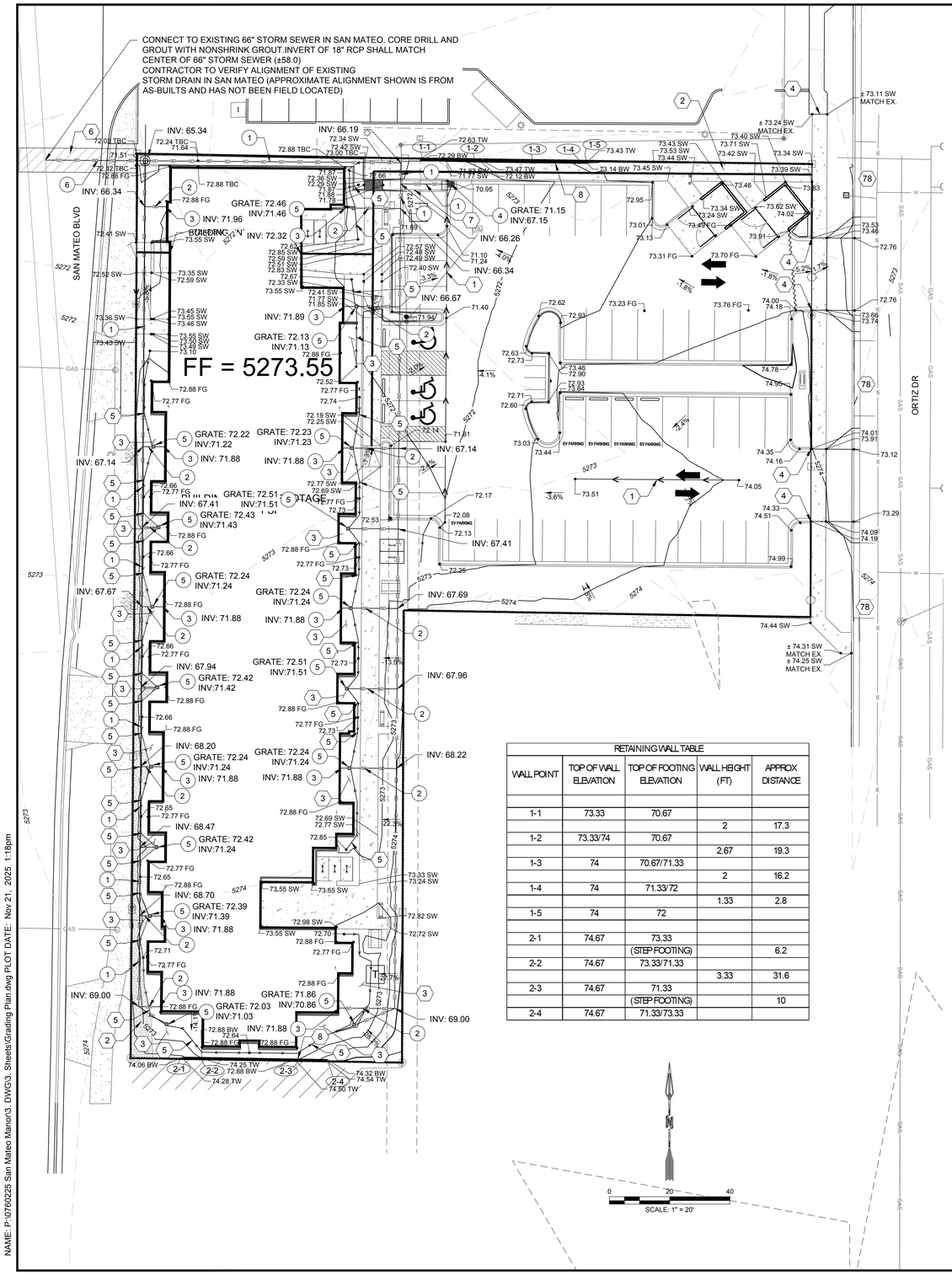
PROJECT NAME: SAN MATEO MANOR

SHEET TITLE: SITE PLAN

CDS PROJ. NO. 0760225

OTHER PROJ. NO.

SHEET NO: C-101



RETAINING WALL TABLE				
WALL POINT	TOP OF WALL ELEVATION	TOP OF FOOTING ELEVATION	WALL HEIGHT (FT)	APPROX DISTANCE
1-1	73.33	70.67		
			2	17.3
1-2	73.33/74	70.67		
			2.67	19.3
1-3	74	70.67/71.33		
			2	16.2
1-4	74	71.33/72		
			1.33	2.8
1-5	74	72		
2-1	74.67	73.33		
		(STEP FOOTING)		6.2
2-2	74.67	73.33/71.33		
			3.33	31.6
2-3	74.67	71.33		
		(STEP FOOTING)		10
2-4	74.67	71.33/73.33		

SITE CIVIL LEGEND:

- PROPERTY BOUNDARY
- 5272 PROPOSED MAJOR CONTOUR
- 5272 PROPOSED MINOR CONTOUR
- 5272 EXISTING MAJOR CONTOUR
- 5272 EXISTING MINOR CONTOUR
- REMOVAL AND REPLACEMENT LIM
- FLOWLINE OF SWALE
- EXTENTS OF ROCK
- RETAINING WALL
- HIGH POINT

KEYED NOTES

1. ASPHALT SWALE WITH A MINIMUM OF 0.8% SLOPE
2. INSTALL ¾" BROKEN ALL FACE GRAVEL, 2" DEEP
3. GRADE AREA TO DRAIN TO DROP INLET
4. NOT IN USE
5. BUILD LANDSCAPING SWALE AT A MINIMUM SLOPE OF 2%
6. REMOVE AND REPLACE ASPHALT, CURB, AND SIDEWALK FOR STORM PIPE INSTALLATION PER COA STD DWGS 2465, 2430, 2415.
7. BUILD CONCRETE CHANNEL PER DETAIL 10 ON SHEET C-500
8. BUILD RETAINING WALL PER DETAIL ON SHEET C-501

SURVEY BENCHMARK

ACS & GS Station 6_K18A
NAD83 NMSP Central Zone
N = 1483955.175 US FT
E = 1538790.908 US FT
Z = 5249.996 US FT NAVD 1988
Ground to grid = 0.999664599
Mapping Angle = -0_11_42.76

GRADING GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY SIZE'S AND LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED
2. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENTS OF TOPSOIL AND LANDSCAPING.
3. GRADE ADJACENT AREAS AT SITE PERIMETER SHALL MATCH GRADE OF ADJACENT PARCELS.
4. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS, AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
5. REFER TO GEOTECHNICAL EVALUATIONS REPORT BY CERTERRA DATED **09/03/2025.**
6. COMPOSITE SLOPE IN HANDICAP PARKING SHALL NOT EXCEED 2% IN ANY DIRECTION.
7. CROSS SLOPE ON ADA CROSSWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
8. LONGITUDINAL SLOPE ON CURB RAMP SHALL NOT EXCEED 8.33%. CROSS SLOPE SHALL NOT EXCEED 2%.
9. COMPOSITE SLOPE ON RAMP LANDINGS SHALL NOT EXCEED 2%.
10. CROSS SLOPES ON SIDEWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ON ONSITE SIDEWALKS SHALL NOT EXCEED 5%.
11. SLOPE LABELS SHOW APPROXIMATE SLOPES ONLY. WHERE SLOPE LABELS AND SPOT ELEVATION LABELS CONFLICT, SPOT ELEVATION LABELS SHALL GOVERN AND THE SURVEYOR RESPONSIBLE FOR CONSTRUCTION STAKING SHALL CONTACT THE ENGINEER.
12. INSTALL PAVING PER PAVEMENT SECTIONS IN GEOTECHNICAL REPORT.
13. LONGITUDINAL SLOPES ON SIDEWALKS ADJACENT TO PUBLIC ROADS SHALL NOT EXCEED THE SLOPE OF THE PUBLIC ROAD.
14. WHERE THIS PLAN IS SILENT REGARDING SURFACE TREATMENT, REFER TO THE LANDSCAPING PLAN. DISTURBED AREAS WITHOUT SURFACE IMPROVEMENTS SPECIFIED IN THE LANDSCAPING OR GRADING PLAN SHALL BE RESEEDED WITH A NATIVE SEEDING MIX. IF THE LANDSCAPING AND GRADING PLAN CONFLICT REGARDING SURFACE TREATMENTS, CONTACT ENGINEER.
15. WHERE A PROPOSED RETAINING WALL IS LOCATED ALONG A PROPERTY BOUNDARY WITH AN ADJACENT PROPERTY THAT IS NOT OWNED BY THE DEVELOPER, THEN THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THAT PROPERTY OWNER PRIOR TO INSTALLING A RETAINING WALL FOOTING THAT ENCROACHES INTO THE ADJACENT PROPERTY. IF PERMISSION IS NOT OBTAINED, AN L-SHAPED FOOTING SHALL BE USED TO AVOID FOOTING ENCROACHMENT INTO THE ADJACENT PROPERTY.
16. EXTERIOR TOP OF FINAL SURFACE GRADE ADJACENT TO THE BUILDING IN ALL LANDSCAPE AREAS IS 8" BELOW THE FINISHED FLOOR ELEVATION. EXTERIOR TOP OF FINAL GRADE ELEVATIONS ADJACENT TO THE BUILDING IN ALL PAVED AREAS SHALL MATCH FINISHED FLOOR ELEVATION UNLESS NOTED OTHERWISE PER PLAN.
17. CONTRACTOR OR OWNER MAY SUBMIT ALTERNATE RETAINING WALL DESIGN INSTEAD OF THE RETAINING WALLS ON SHEET C-501.

STORM DRAIN KEYED NOTES

1. INSTALL 12" PVC (SCHEDULE 40)
2. INSTALL 6" PVC (SCHEDULE 40)
3. CONNECT DOWNSPOUT TO STORM DRAIN WITH NYLOPLAST DOWNSPOUT ADAPTER, SEE SHEET C-502
4. INSTALL TYPE D INLET, PER COA DETAIL 2206, OR ADS CATCH BASIN WITH AN ADS 2'X2' ROAD HIGHWAY GRATE
5. INSTALL ADS 12" DROP INLET, OR ENGINEER APPROVED EQUAL
6. INSTALL 18" RCP
7. INSTALL ADS CATCH BASIN OR 4' COA MH WITH A STEEL MH COVER

SPOT ELEVATION SYMBOLS

20.00	FLOWLINE
20.00 EG	TOP OF EXISTING GROUND
20.00 FG	TOP OF FINISHED GROUND
20.00 TC	TOP OF CONCRETE
20.00 TW	FINISHED GRADE AT HIGH SIDE OF WALL
20.00 BW	FINISHED GRADE AT LOW SIDE OF WALL
20.00 TA	TOP OF APSHALT
20.00 SW	SIDEWALK
20.00 BP	BOTTOM OF POND
20.00 TP	TOP OF POND

Cut/Fill Summary

Cut	Fill	Net
624.21 Cu. Yd.	672.86 Cu. Yd.	48.65 Cu. Yd.<Fill>

OVER EXCAVATION VOLUME: 3141 CY

OVEREXCAVATION VOLUME EXTENDS 4FT BELOW EXISTING SITE GRADES AND 5FT BEYOND THE EDGE OF THE PAD PERIMETER

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTeams #: L18D088
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
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CDS
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ALBUQUERQUE, NEW MEXICO 87114
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REVISIONS:	NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:				

DESIGNED XXXX
DRAWN XXXX
CHECKED XXXX
DATE 11/21/2025

JOHN M. STAPLETON NEW MEXICO 30170 11/21/2025 PROFESSIONAL ENGINEER

PROJECT NAME: SAN MATEO MANOR

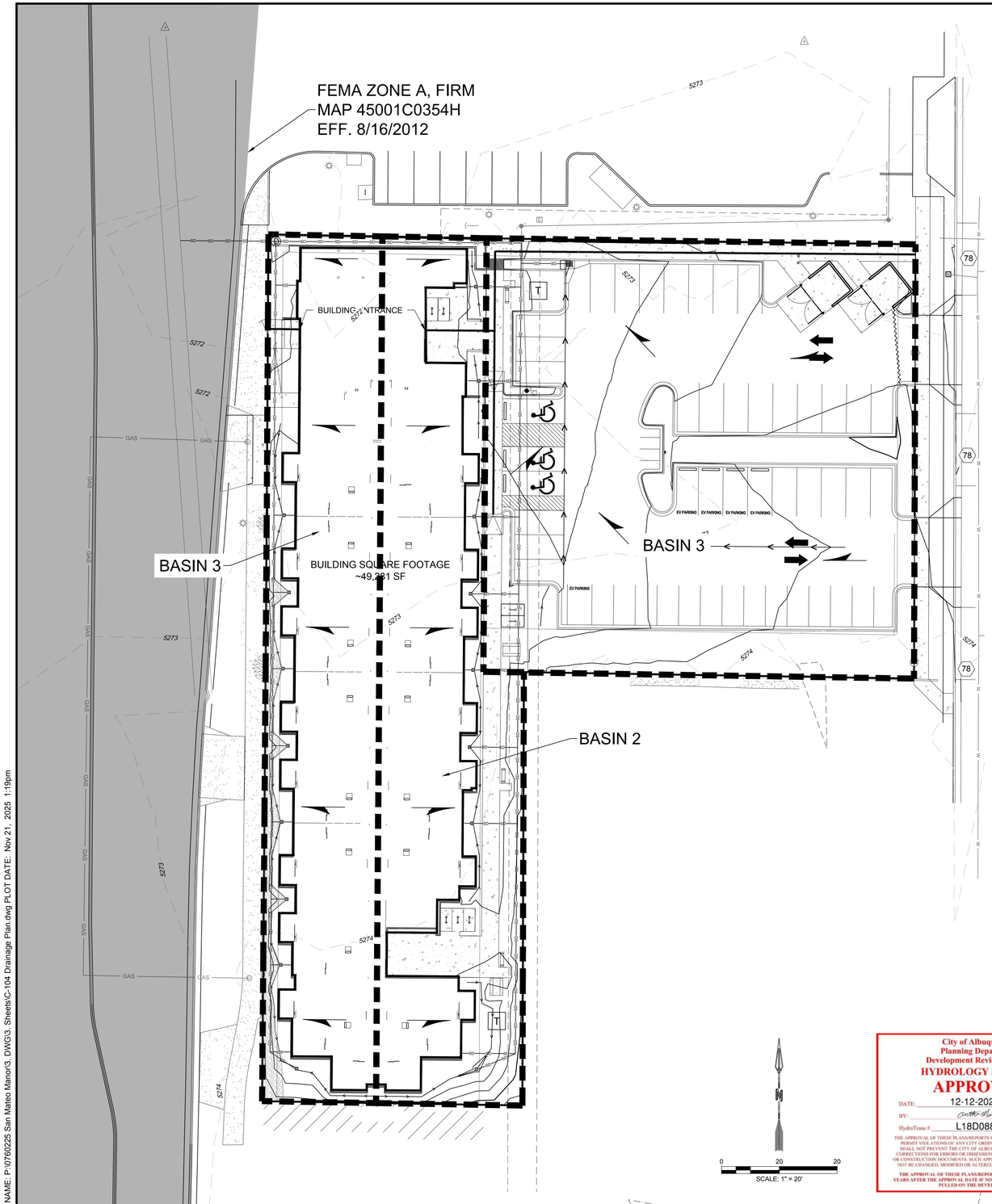
SHEET TITLE: GRADING PLAN

CDS PROJ. NO. 760225

OTHER PROJ. NO.

SHEET NO: C-102

NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\Grading Plan.dwg PLOT DATE: Nov 21, 2025 1:18pm



EXTENT OF ZONE A FLOODPLAIN

DRAINAGE NARRATIVE:

THIS SITE IS LOCATED IN THE ALBUQUERQUE MASTER DRAINAGE STUDY VOLUME II. THIS DRAINAGE STUDY STATES ALL PROPERTIES THAT ARE IN THIS SITE HAVE FREE DISCHARGE AFTER DEVELOPMENT.

THIS SITE IS WITH IN A FEMA ZONE X AND IS DIRECTLY ADJACENT TO FEMA ZONE A 45001C0354H. THE DRAINAGE MASTERPLAN STUDY THAT ESTABLISHED THE ZONE A FLOODPLAIN ASSUMED DEVELOPED RUNOFF FROM THIS PROJECT SITE.

THE PROPOSED DRAINAGE PATTERN ROUTES ALL ONSITE STORMWATER INTO A PRIVATE STORM SEWER SYSTEM THAT DISCHARGES INTO THE PUBLIC STORM SEWER IN SAN MATEO BLVD.

STORMWATER QUALITY:

36600 SF (TYPE D) * (0.26/12) = 793 CF (REQUIRED)
PROVIDED = 0 CF
PAYMENT-IN-LIEU OF STORMWATER QUALITY IS NOT REQUIRED PER COA DPM SECTION 6-12(C)(1), THIS SITE IS WITH IN THE 1959 COA CITY LIMITS.

PRIVATE STORM DRAIN OWNERSHIP, OPERATION, AND MAINTENANCE NOTE:
THE ON-SITE STORM DRAIN SYSTEM, INCLUDING ALL INLETS, MANHOLES, PIPES, AND RELATED APPURTENANCES, IS PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER OR PROPERTY MANAGEMENT ENTITY. IT IS RECOMMENDED THAT THE SYSTEM BE VISUALLY INSPECTED AND MAINTAINED ON A REGULAR BASIS TO ENSURE PROPER FUNCTION AND MINIMIZE THE RISK OF FLOODING OR BLOCKAGES. RECOMMENDED INSPECTION AND MAINTENANCE PRACTICES INCLUDE:

1. VISUAL INSPECTIONS:
   - 1.1. PERFORM VISUAL INSPECTIONS OF INLETS, MANHOLES, AND OUTFALLS AT LEAST TWICE PER YEAR, PREFERABLY BEFORE AND AFTER THE MONSOON SEASON, AND AFTER ANY MAJOR STORM EVENT (≥1 INCH OF RAINFALL IN 24 HOURS).
   - 1.2. INSPECTIONS SHOULD BE LIMITED TO FEATURES VISIBLE AND SAFELY ACCESSIBLE FROM THE SURFACE.
   - 1.3. FOR STORM DRAIN PIPES, PERFORM VISUAL INSPECTIONS ONLY WHERE ACCESSIBLE (E.G., THROUGH OPEN MANHOLES OR CLEANOUTS).
2. ROUTINE MAINTENANCE:
   - 2.1. REMOVE ACCUMULATED SEDIMENT, DEBRIS, AND TRASH FROM INLETS AND MANHOLES AS NEEDED TO MAINTAIN FLOW CAPACITY.
   - 2.2. MAINTAIN VEGETATION AND EROSION CONTROL MEASURES AROUND DRAINAGE FEATURES TO REDUCE SEDIMENT ENTRY INTO THE SYSTEM.
3. FIVE-YEAR CAMERA INSPECTION:
   - 3.1. EVERY FIVE (5) YEARS, IT IS RECOMMENDED THAT ALL STORM DRAIN PIPES BE INSPECTED USING CLOSED-CIRCUIT TELEVISION (CCTV) TO IDENTIFY BLOCKAGES, SEDIMENT BUILDUP, OR STRUCTURAL DAMAGE.
   - 3.2. PERFORM CLEANING OR REPAIRS AS NECESSARY BASED ON INSPECTION FINDINGS.

THE OWNER OR PROPERTY MANAGER IS ENCOURAGED TO KEEP RECORDS OF INSPECTIONS AND MAINTENANCE ACTIVITIES FOR FUTURE REFERENCE.

Proposed Basins

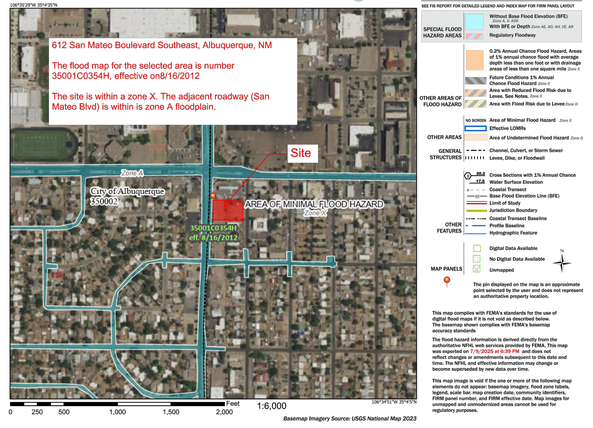
Basin	Area (ac)	Land Use Percentages				Q100 (cfs)	V100 6-hr (in)
		A	B	C	D		
1	0.27	0%	11%	11%	78%	1.12	0.60
2	0.30	0%	12%	12%	76%	1.22	0.12
3	0.51	0%	11%	11%	79%	2.12	0.05
Totals	1.08					4.45	0.78

Existing Basins

Basin	Area (ac)	Land Use Percentages				Q100 (cfs)	V100 6-hr (in)
		A	B	C	D		
1	1.08	0%	0%	100%	0%	3.42	1.18

LEGAL DESCRIPTION: LOT 4-A, BLOCK 8, MENDELSBURG'S SUBDIVISION

National Flood Hazard Layer FIRMette



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTrans # L18D088
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CDS
COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR NW SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

DESIGNED XXXX
DRAWN XXXX
CHECKED XXX
DATE 11/21/2025

JOHN M. STAPLETON
NEW MEXICO
30170
11/21/2025
PROFESSIONAL ENGINEER

PROJECT NAME: SAN MATEO MANOR

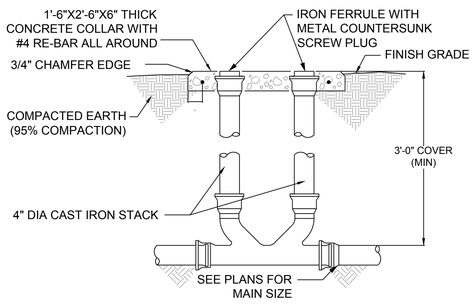
SHEET TITLE: DRAINAGE PLAN

CDS PROJ. NO. 760225

OTHER PROJ. NO.

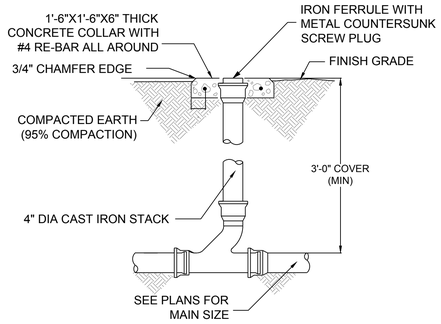
SHEET NO: C-104

NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-104 Drainage Plan.dwg PLOT DATE: Nov 21, 2025 1:19pm



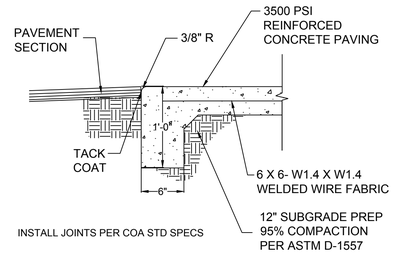
1 DOUBLE CLEANOUT

NTS



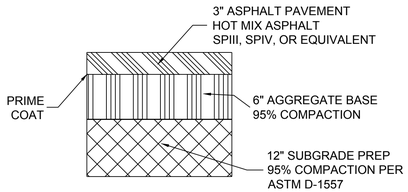
2 SINGLE CLEANOUT

NTS



3 FLUSH SIDEWALK TURN-DOWN EDGE

NTS



4 ASPHALT PAVEMENT SECTION

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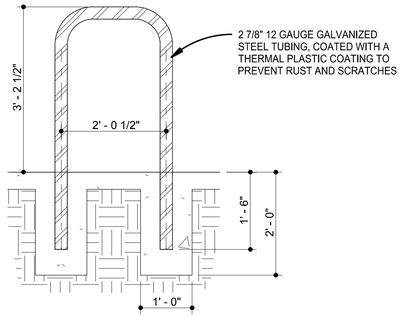
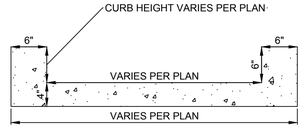


6 BIKE RACK DETAIL

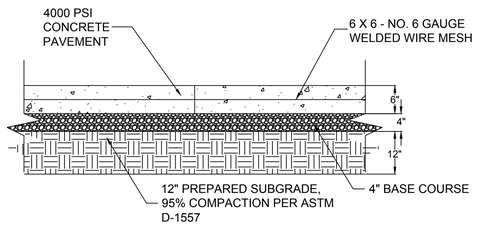
NTS



10 CONCRETE CHANNEL

NTS

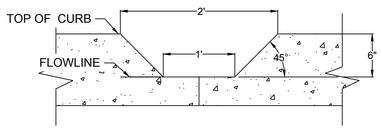
INSTALL JOINTS PER COA STD SPECS



INSTALL JOINTS PER COA STD SPECS

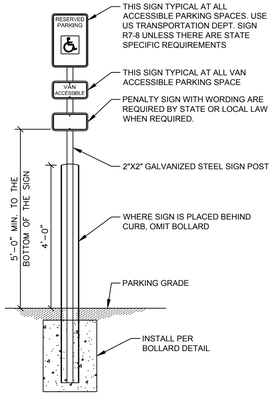
5 CONCRETE PAVEMENT SECTION

NTS



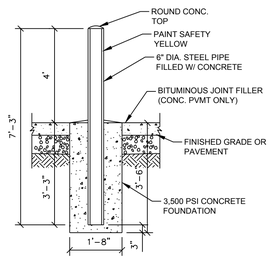
7 2' CURB CUT

NTS



VAN ACCESSIBLE
8 PARKING SIGN

NO SCALE



9 BOLLARD DETAIL

NO SCALE

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTrans #: L18D088

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9384 VALLEY VIEW DR NW SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

DESIGNED	XXXX
DRAWN	XXXX
CHECKED	XXX
DATE	11/21/2025

JOHN M. STAPLETON
NEW MEXICO
30170
11/21/2025
PROFESSIONAL ENGINEER

PROJECT NAME: SAN MATEO MANOR

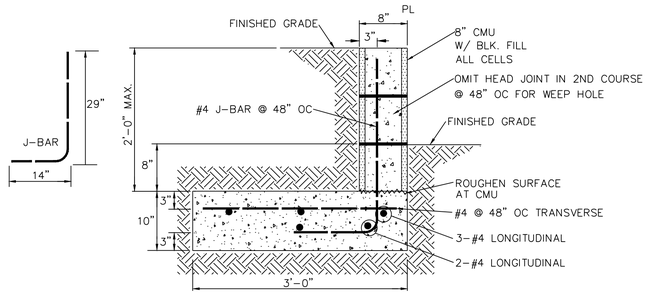
SHEET TITLE: DETAILS 1

CDS PROJ. NO. 760225

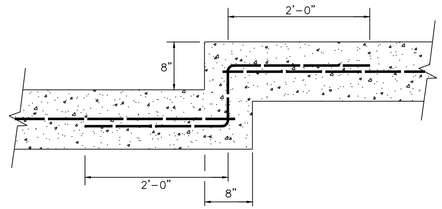
OTHER PROJ. NO.

SHEET NO: C-500

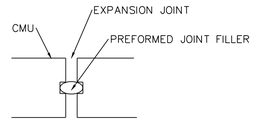
NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-501 Retaining Wall Details.dwg PLOT DATE: Nov 21, 2025 1:19pm



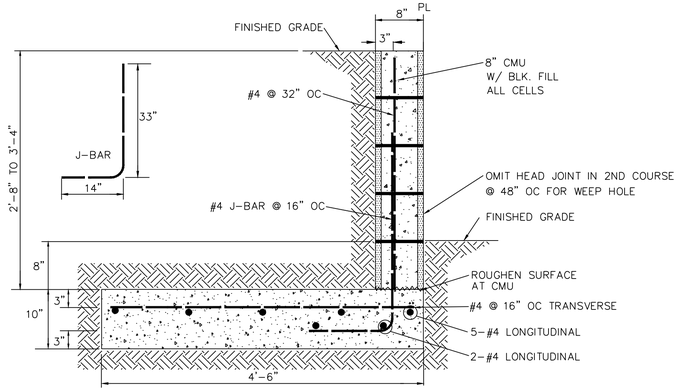
LOW RETAINING WALL – TYPE A –L–HEEL
UP TO 2'–0"



FOOTING STEP DETAIL



EXPANSION JOINT DETAIL



RETAINING WALL – TYPE B–L–HEEL
2'–8" TO 3'–4"

RETAINING WALL GENERAL NOTES

1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.

2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIALTO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.

3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.

4. ALL BLOCKS ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL.

5. CONCRETE FOR FOOTINGS AND FILLING OF CELLS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".

6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.

7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"X8"X16" OR AS OTHERWISE INDICATED).

8. INSTALL 9 GA., GALV. DUR–O–WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2–#4 REBAR EVERY THIRD COURSE (24" OC, MAX.).

9. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.

10. THE TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS, UNLESS A 6" CMU PARTY WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL.

11. DRAIN BLOCKS FOR PARTY WALLS SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE 6" PARTY WALL %%UABOVE%%U THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED, AND AT LOCATIONS SPECIFIED BY THE OWNER.

12. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI–GRAFITTI COATING. USE PROSOCO DEFACER ERASER OR APPROVED EQUAL. (AT OWNERS DIRECTION).

13. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTERS AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.

14. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION.

15. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 16' O.C. MAXIMUM SPACING.

16. ALL WALLS SHOWN HERE ON HAVE BEEN DESIGNED TO ACCEPT A 6' (MAX.) CMU PARTY WALL.

17. EXTEND #4 BARS AT 48" O.C. WITH MINIMUM INBEDMENT OF 16" IN RETENTION WALL FOR LOCATIONS TO INCLUDE CMU PARTY WALLS.

18. WATERPROOFING SHALL BE HYDROCIDE LIQUID MEMBRANE HLM 5000 OR APPROVED EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.

RETAINING WALLS WITH PILASTERS

1. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTER AT 16' ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION.

2. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.

3. ALL PILASTER CELLS ARE TO BE GROUTED SOLID WITH CONCRETE.

4. PROVIDE ONE J–BAR OF SPECIFIC SIZE FOR EACH.

5. PROVIDE ADDITIONAL BAR(S) AS SPECIFIED FOR WALL AT EACH PILASTER IF NORMAL OPENING DOES NOT DO SO.

6. PROVIDE 2–#4 BARS AT EACH PILASTER WITH MINIMUM INBEDMENT OF 16" IN RETAINING WALL FOR LOCATIONS TO INCLUDE CMU PARTY WALL.

City of Albuquerque
Planning Department
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DATE: 12-12-2025
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COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR NW SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

DESIGNED XXXX
DRAWN XXXX
CHECKED XXXX
DATE 11/21/2025

JOHN M. STAPLETON
NEW MEXICO
30170
11/21/2025
PROFESSIONAL ENGINEER

PROJECT NAME: SAN MATEO MANOR

SHEET TITLE: RETAINING WALL DETAILS

CDS PROJ. NO. 760225

OTHER PROJ. NO.

SHEET NO: C-501

NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-501 Retaining Wall Details.dwg PLOT DATE: Nov 21, 2025 1:19pm

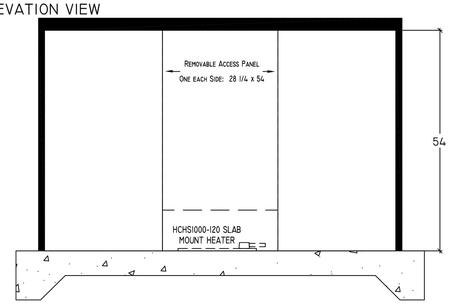
ENCLOSURE MODEL: 400T-AL

JOB:

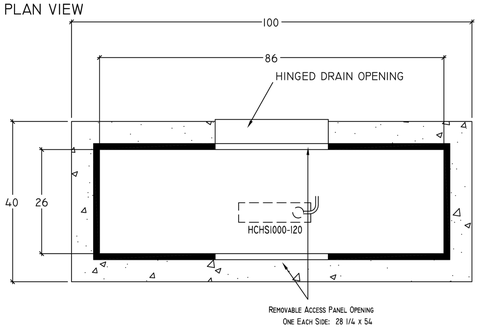
DRAWN BY: JM | SCALE: NONE | DATE: 06/06/16

SAFE-T-COVER BY HYDROSHIELD
ENCLOSURES DESIGNED FOR THE WORLD'S WATER SYSTEMS™
WEBSITE: SAFE-T-COVER.COM PHONE: (800) 345-6333
EMAIL: SALES@SAFE-T-COVER.COM FAX: (610) 259-4481

ELEVATION VIEW



PLAN VIEW



1. DRAWING NOT TO SCALE.
2. ALL DIMENSIONS ARE IN INCHES.
3. WALL AND INSULATION THICKNESS IS 1-1/2".
4. ROOF AND INSULATION THICKNESS IS 3".
5. MODEL 400T-AL ENCLOSURE
6. ENCLOSURE INSIDE DIMENSIONS:
   26"W X 86"L X 54"H
7. CONCRETE PAD IS 40"W X 100"L X 6"H

400T-AL SHEET 1 OF 1

ENCLOSURE MODEL: 100S-AL

JOB:

DRAWN BY:KH | SCALE: NONE | DATE: 04/05/21

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ENCLOSURES DESIGNED FOR THE WORLD'S WATER SYSTEMS™
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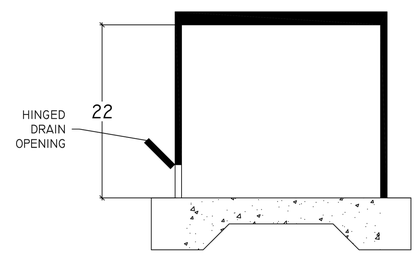
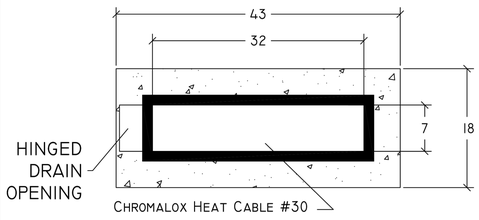
ELEVATION VIEW



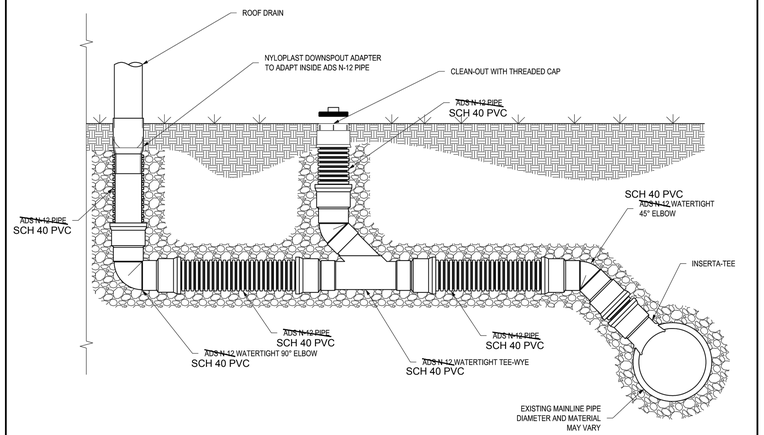
PLAN VIEW



1. DRAWING NOT TO SCALE.
2. ALL DIMENSIONS ARE IN INCHES.
3. WALL AND INSULATION THICKNESS IS 1-1/2".
4. ROOF AND INSULATION THICKNESS IS 1-1/2".
5. MODEL 100S-AL ENCLOSURE
6. ENCLOSURE INSIDE DIMENSIONS:
   7"W X 32"L X 22"H
7. CONCRETE PAD IS 11"W X 36"L X 4"-6"H

100S-AL SHEET 1 OF 1

NYLOPLAST DOWNSPOUT ADAPTER WITH CLEANOUT AND INSERTA-TEE



DRAWN BY	NMH	MATERIAL	
DATE	2-14-19		
APPD BY	NMH	PROJECT NO./NAME	
DATE	3-14-19		
DWG SIZE	A	SCALE 1:16	SHEET 1 OF 1

Nyloplast
3130 VERONA AVE.
BUFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2490
www.nyloplast-us.com

TITLE: NYLOPLAST DOWNSPOUT ADAPTER WITH CLEANOUT AND INSERTA-TEE TYING INTO MAINLINE AT 45°

DWG NO. 6000-110-234 REV A

CDS
COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR. NW, SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

DESIGNED	XXXX
DRAWN	XXXX
CHECKED	XXXX
DATE	11/21/2025

JOHN M. STAPLETON NEW MEXICO 30170 11/21/2025 PROFESSIONAL ENGINEER

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTrans # L18D088
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PROJECT NAME: SAN MATEO MANOR

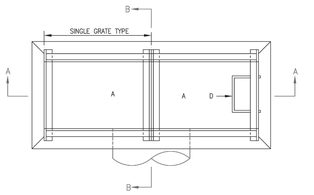
SHEET TITLE: DETAILS 2

CDS PROJ. NO. 760225

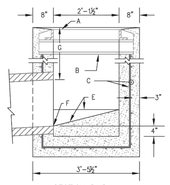
OTHER PROJ. NO.

SHEET NO: C-502

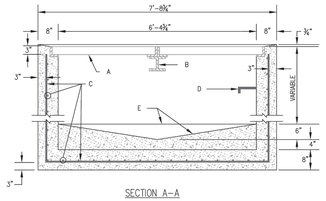
NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-501 Retaining Wall Details.dwg PLOT DATE: Nov 21, 2025 1:19pm



PLAN



SECTION B–B



SECTION A–A

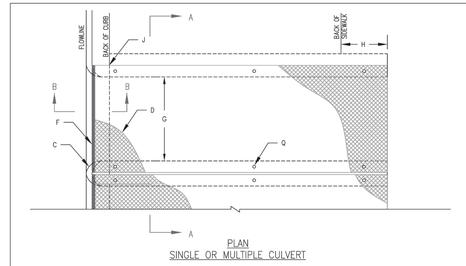
GENERAL NOTES

1. FOR SINGLE GRATE TYPE STORM INLET, DELETE CENTER SUPPORT AND MOVE ONE END WALL TO FORM NEW SINGLE GRATE INLET.
2. STORM INLET GUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
3. OUTLET PIPE SIZE, PER DESIGN REQUIREMENT. (MAXIMUM SIZE = 24")
4. FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221.
5. FOR CENTER SUPPORT ASSEMBLY, SEE DWG. 2215.
6. FOR USE WHERE A TYPE–A INLET EXISTS LESS THAN 150' UPSTREAM OR AS AN AREA DRAIN.
6. "DRAINS TO RIVER" ALUMINUM MEDALLION SHALL BE INSTALLED ON EACH NEW STORM INLET. THE MEDALLION IS TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS IN THE CENTER OF THE INLET, WITH THE BOLT HOLE 6 INCHES FROM THE FRONT OF THE INLET.

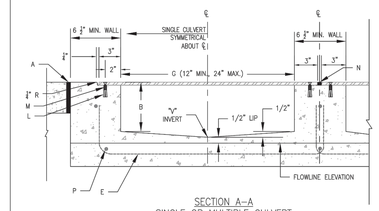
CONSTRUCTION NOTES

A. FRAME & GRATE.
B. CENTER SUPPORT ASSEMBLY.
C. NO. 4 BARS AT 6" O.C. EACH WAY.
D. FOR STORM INLET DEPTHS GREATER THAN 4', INSTALL STD STEPS PER DWG. 2229, DOWNSTREAM FACE.
E. CONCRETE FILL, SHAPE PER DWG. 2222.
F. INVERT PER DESIGN.
G. 1'–10"MIN., UNLESS OTHERWISE DIRECTED.

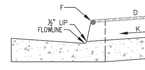
REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	STORM INLET TYPE "D"
	DWG. 2206 JUNE 2019



PLAN
SINGLE OR MULTIPLE CULVERT



SECTION A–A
SINGLE OR MULTIPLE CULVERT



SECTION B–B
SINGLE OR MULTIPLE CULVERT

GENERAL NOTES

1. PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. THE CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V–SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.
4. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. CLEAN SURFACE OF PLATE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
5. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
6. CULVERT MUST BE PERPENDICULAR TO THE CURB.

CONSTRUCTION NOTES

A. INSTALL ½" EXPANSION JOINT.
B. 7" DEPTH WHEN USED IN CONJUNCTION WITH 8" CURB; 5" DEPTH WHEN USED WITH 6" CURB.
C. 3" RADIUS (TYPICAL).
D. ⅜" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
E. NO. 3 REBAR ⌐, SPACE AT 18" O.C. MAXIMUM, 15" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
F. WELD ¾" STEEL ROD TO PLATE, FULL LENGTH OF PLATE; GRIND ENDS FLUSH TO THE FACE OF CURB.
G. DRAIN WIDTH PER PLAN (12" MINIMUM, 24" MAXIMUM).
H. EXTEND CULVERT AND STEEL PLATE 1–FOOT BEYOND BACK OF SIDEWALK, UNLESS RESTRICTED BY PROPERTY LINE.
J. IF SIDEWALK IS NOT AT BACK OF CURB, EXTEND CULVERT AND STEEL PLATE TO FACE OF CURB.
K. SLOPE ¼" PER FOOT (MINIMUM).
L. FOR SECURING PLATE USE POWERS® 3/8–16 CARBON STEEL FLANGED DROPIN ANCHOR OR APPROVED EQUAL, INSTALL USING SETTING TOOL AND MANUFACTURER'S INSTRUCTIONS AT MAX 24" O.C. A MINIMUM OF 2 PER SIDE AND WITHIN 6" OF EACH END.
M. 3/8–16X1" COUNTERSUNK, STAINLESS STEEL, MACHINE SCREW. COVER HEAD WITH 2–PART EPOXY.
N. FILL VOID BETWEEN PLATES WITH NP–1 SEALANT OR CITY APPROVED EQUIVALENT.
P. NO. 3 REBAR, CONTINUOUS.
Q. HOLE DIAMETER AT BOTTOM OF COUNTERSUNK HOLE OF STEEL PLATE TO BE ⅞" DIAMETER.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	SIDEWALK CULVERT
	PLAN, AND SECTIONS A–A AND B–B
	DWG. 2236 JUNE 2019

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTeam # L18D088

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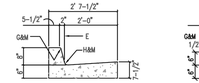
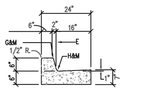
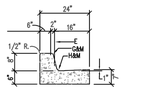


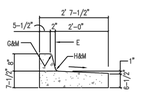
STANDARD CURB AND GUTTER



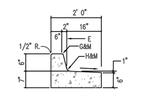
6" CURB AND GUTTER



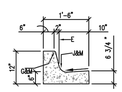
8" CURB AND GUTTER



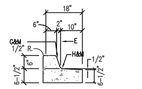
8" DEPRESSED CURB AND GUTTER



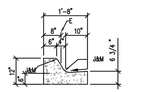
6" DEPRESSED CURB AND GUTTER



MEDIAN CURB AND GUTTER



DEPRESSED MEDIAN CURB AND GUTTER



MOUNTABLE MEDIAN CURB AND GUTTER

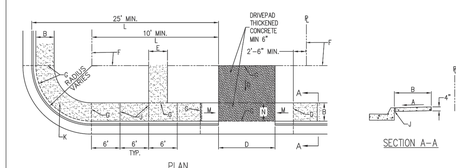
GENERAL NOTES

1. CURB, GUTTER AND CUT–OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
3. FOR ALL OTHER C & G AND CUT–OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT–OFF WALLS.
4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES

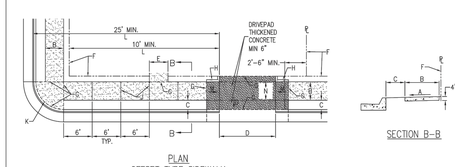
SEE COA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT DETAILS
	DWG. 2415A FEBRUARY 2021



PLAN
CURB TYPE SIDEWALK

SECTION A–A



PLAN
OFFSET TYPE SIDEWALK

SECTION B–B

GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN ½" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN ¼" AND ½" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN ½" REQUIRE A RAMP.
6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

CONSTRUCTION NOTES

A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT–OF–WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
E. WALKWAY VARIABLE (4' MINIMUM).
F. PROPERTY LINE.
G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
J. CONTRACTION JOINTS.
K. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
L. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
M. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
N. ADA ACCESSIBLE PATHWAY, 2% MAX. CROSS–SLOPE. 1.5% PREFERABLE CROSS–SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430 JUNE 2019

CDS
COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR. NW, SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366–4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

DESIGNED XXXX
DRAWN XXXX
CHECKED XXXX
DATE 11/21/2025

JOHN M. STAPLETON NEW MEXICO 30170 PROFESSIONAL ENGINEER 11/21/2025

PROJECT NAME: SAN MATEO MANOR

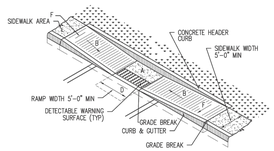
SHEET TITLE: COA STD DETAILS 1

CDS PROJ. NO. 760225

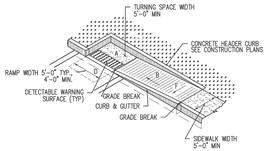
OTHER PROJ. NO.

SHEET NO: C-504

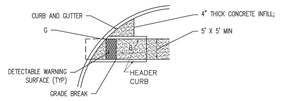
NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-501 Retaining Wall Details.dwg PLOT DATE: Nov 21, 2025 1:19pm



DETAIL A–PARALLEL CURB RAMP



DETAIL B–PARALLEL CURB RAMP



DETAIL C– PARALLEL CURB RAMP

GENERAL NOTES

1. RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15–FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
2. SEE COA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES

A. TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.

B. 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.

C. GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.

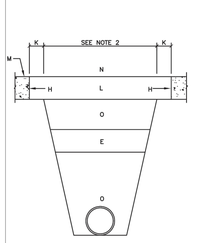
D. COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.

E. FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX, MEASURED PARALLEL TO THE BACK OF THE CURB.

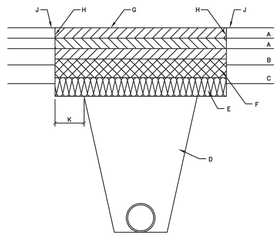
F. 2% MAXIMUM CROSS–SLOPE. 1.5% PREFERRED CROSS–SLOPE.

G. FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING PARALLEL AND DIAGONAL CURB RAMPS DWG. 2443 JUNE 2019



CONCRETE PAVEMENT



ASPHALT CONCRETE PAVEMENT

GENERAL NOTES:

1. COMPACTION AS DETERMINED BY ASTM D1557 MAX DENSITY.
2. TRENCH CUT WIDTHS SHALL BE MIN. WIDTH REQ'D FOR UTILITY INSTALLATION. ECONOMICAL BACKFILL, COMPACTION AND COMPLIANCE WITH CURRENT AND APPLICABLE SAFETY REGULATIONS.
3. ALL PAVEMENTS CUT EDGES WILL BE TRIMMED TO PRESENT AN EVEN LINE PRIOR TO REPLACEMENT OF PAVING MATERIAL. "STITCH" CUTTING OF PAVEMENT WILL NOT BE PERMITTED.
4. ADDITIONAL 2" THICKNESS OF ASPHALT CONC. REQ'D ON PAVEMENT CUTS LESS THAN 8' WIDE FOR ASPHALT CONC. PAVEMENT CUTS 8' OR MORE IN WIDTH AND LONGER THAN 100' SHALL BE PLACED WITH LAYDOWN MACHINE TO A DEPTH EQUAL TO THAT OF ASPHALT CONC. REMOVED.

CONSTRUCTION NOTES:

A. EXISTING ASPHALT PAVEMENT.
B. EXISTING BASE MATERIAL (ABC, BTB, CTB)
C. EXISTING SUBGRADE
D. COMPACTED FILL, 90% COMPACTION
E. COMPACTED SUBGRADE, 95% COMPACTION. SUBGRADE TO MEET OR EXCEED APPARENT R–VALUE OF ADJACENT SOIL, BY SOIL CLASSIFICATION (2 FEET MIN.).
F. MATCH EXISTING BASE MATERIAL PLUS AN ADDITIONS 2" OF THICKNESS – 95% COMPACTION.
G. MATCH EXISTING ASPHALT CONCRETE SECTION PLUS AN ADDITIONAL 2" OF THICKNESS
   a) FOR RESIDENTIAL STREETS, SURFACE COURSE SHALL BE 1 1/2" THICK, TYPE C
   b) FOR MAJOR LOCAL STREETS, SURFACE COURSE SHALL BE 2" THICK, TYPE C
   c) FOR ALL OTHER STREETS, SURFACE COURSE SHALL BE 2" THICK, S–III
H. SAW CUT OR BLADE–CUT ASPHALT PAVEMENT. SAW CUT ONLY ONE THIRD CONC. DEPTH
J. TACK COAT
K. 12" CUT–BACK
L. MATCH EXISTING CONCRETE PAVEMENT THICKNESS, 6" MINIMUM, 4000 PSI
M. EXISTING CONCRETE PAVEMENT
N. JOINTS TO BE TOOLED & SEALED IN ACCORDANCE WITH ENGINEERS REQUIREMENTS.
O. 6" CONC. TREATED BASE (C.T.B).

REVISIONS	CITY OF ALBUQUERQUE
	PAVING CITYWIDE PAVEMENT CUTS FOR ALL UTILITIES DWG 2465 JANUARY 2019

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12-12-2025
BY:
HydroTrans #: L18D088

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CDS
COMMUNITY DESIGN SOLUTIONS LLC
9384 VALLEY VIEW DR NW SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366–4187

REVISIONS:

NO.	DATE:	DESCRIPTION	BY
ISSUED FOR:			

DESIGNED XXXX
DRAWN XXXX
CHECKED XXXX
DATE 11/21/2025

JOHN M. STAPLETON
NEW MEXICO
30170
11/21/2025
PROFESSIONAL ENGINEER

PROJECT NAME: SAN MATEO MANOR

SHEET TITLE: COA STD DETAILS 2

CDS PROJ. NO. 760225

OTHER PROJ. NO.

SHEET NO: C-505

NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-501 Retaining Wall Details.dwg PLOT DATE: Nov 21, 2025 1:20pm