

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 9, 2026

John Stapleton, PE
Community Design Solutions, LLC
9384 Valley View Dr. NW, Suite 100
Albuquerque, NM 87114

Re: San Mateo Manor
513 Ortiz Dr. SE
Albuquerque, NM 87108
Traffic Circulation Layout
Architect's Stamp 09-23-25 (L18D088)

Dear Mr. Stapleton,

The TCL submittal received 10-20-2025 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification and the TCL to ABQ-Plan for log in and evaluation by Transportation. **SHARED ACCESS EASEMENT AND/OR APPROVED PLAT ARE CONDITIONS FOR RELEASING THE FINAL CO.**

Albuquerque

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

NAME: P:\0760225 San Mateo Manor\3. DWG\C2_Xref\Bases Drawings\C-101 Site Plan.dwg PLOT DATE: Jan 09, 2026 10:07am

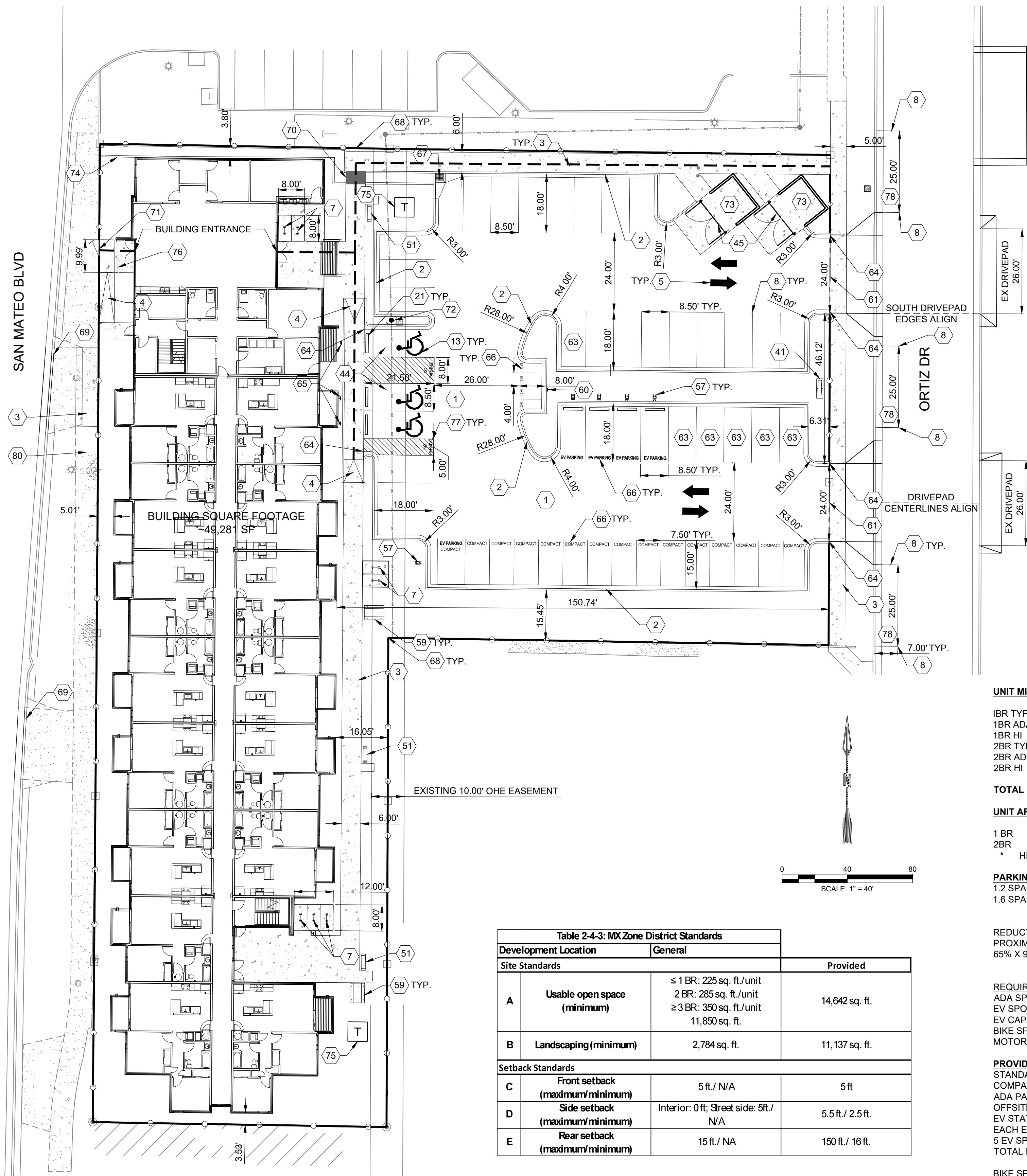


Table 2-4-3: MX Zone District Standards

Development Location	General	Provided
Site Standards		
A Usable open space (minimum)	≤ 1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥ 3 BR: 350 sq. ft./unit 11,850 sq. ft.	14,642 sq. ft.
B Landscaping (minimum)	2,784 sq. ft.	11,137 sq. ft.
Setback Standards		
C Front setback (maximum/minimum)	5 ft. / N/A	5 ft.
D Side setback (maximum/minimum)	Interior: 0 ft.; Street side: 5 ft. / N/A	5.5 ft. / 2.5 ft.
E Rear setback (maximum/minimum)	15 ft. / NA	150 ft. / 16 ft.

UNIT MIX

	LVL1	LVL2	LVL3	TOT
1BR TYP B	12	12	13	37
1BR ADA	1	1	0	2
1BR HI	0	1	0	1
2BR TYP B	2	3	4	9
2BR ADA	0	1	0	1
2BR HI	0	0	0	0
TOTAL	15	18	17	50

UNIT AREAS:

	HEATED	RENTABLE*
1 BR	642 SF	682SF
2BR	810 SF	850 SF

* HEATED + BALCONY AREA

PARKING:
 1.2 SPACES PER 1 BR: X 40 = 48 SPACES
 1.6 SPACES PER 2 BR: X 10 = 16 SPACE
 64 SPACES REQUIRED

REDUCTIONS:
 PROXIMITY TO TRANSIT: 10% REDUCTION
 65% X 90% = 57.6 SPACES REQUIRED
 58 SPACES REQUIRED

REQUIRED SPECIALTY PARKING:
 ADA SPOTS: 3 SPACES (ADAAG F208.2)
 EV SPOTS: 3 SPACES
 EV CAPABLE: 8 SPACES
 BIKE SPOTS: 7 SPACES (IDO 5-5-5)
 MOTORCYCLE SPOTS: 4 SPACES (IDO 5-5-4)

PROVIDED PARKING:
 STANDARD PARKING: 31 SPACES
 COMPACT PARKING: 15 SPACES
 ADA PARKING: 4 SPACES
 OFFSITE PARKING: 3 SPACES
 EV STATION CREDIT
 EACH EV STATION COUNTS FOR 2 SPACES
 5 EV SPACES PROVIDED = +5 VEHICULAR SPACES
TOTAL PARKING 58 SPACES PROVIDED

BIKE SPACES 7 SPACES
 MOTORCYCLE SPACES 4 SPACES
 EV CAPABLE SPACES 8 SPACES

LEGEND
 6" ALUMINUM RAIL FENCE ————
 ADA PATH - - - - -

TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Drumyer 1/9/2026
 Signed Date



CONSTRUCTION KEYED NOTES:

- | I.D.# | DESCRIPTION |
|-------|--|
| 1 | BUILD ASPHALT PAVING, PER TYPICAL SECTION ON DETAIL SHEET. |
| 2 | BUILD PCC MEDIAN CURB AND GUTTER PER COA STANDARD DETAIL DWG 2415A. |
| 3 | BUILD PCC SIDEWALK, PER COA STANDARD DETAIL DWG 2430. |
| 4 | INSTALL ADA RAMP, PER COA STD. DTL. DWG 2443 WITH TRUNCATED DOMES WHERE SHOWN ON PLSN. SEE GRADING PLAN FOR ELEVATIONS. |
| 5 | PAINT ARROW SYMBOL |
| 7 | INSTALL BIKE RACK PER DETAIL ON DETAIL SHEET. 4'x8' STALL WITH CONCRETE PAD. |
| 8 | INSTALL 4" WIDE WHITE PAVEMENT STRIPE. |
| 13 | PAINT ACCESSIBLE PARKING SYMBOL PER ANSI A117.1 1986 REQUIREMENTS AND DETAIL ON DETAIL SHEET. |
| 21 | INSTALL CONCRETE PARKING STOP |
| 41 | INSTALL MONUMENT SIGN SEE SIGN PLANS (BY OTHERS) |
| 44 | VAN ACCESSIBLE PARKING SPACE |
| 45 | BUILD GARBAGE ENCLOSURE WITH GATES, REFER TO ARCHITECTURAL PLANS |
| 51 | INSTALL ALL WEATHER PERMANENT MOUNTED BENCH, REFER TO ARCHITECTURAL PLANS |
| 57 | ELECTRICAL VEHICLE CHARGER, REFER TO ELECTRICAL PLANS |
| 59 | ALL WEATHER PICNIC TABLE, REFER TO ARCHITECTURAL PLANS |
| 60 | INSTALL "MOTORCYCLE PARKING SIGN ONLY SIGN" |
| 61 | INSTALL DRIVEPAD PER COA STD DRAWING 2425A |
| 62 | INSTALL 6" HEADER CURB PER COA STD DRAWING 2415A INTEGRAL WITH THE SIDEWALK |
| 63 | INSTALL EV CAPABLE PARKING SPACE, REFER TO ELECTRICAL PLANS |
| 64 | TRANSITION CURB OVER 6 LF FROM FULL HEIGHT TO NO HEIGHT AT THE SIDEWALK |
| 65 | INSTALL HANDICAP SIGN (SHALL INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING") AND VAN ACCESSIBLE SIGN PER DETAIL ON DETAIL SHEET. |
| 66 | PAINT WORDS SHOWN PER PLAN WITH WHITE PAINT. USE LETTERS AT LEAST 1.5 FT TALL. PAINT STROKE SHALL BE A MINIMUM OF 3 INCHES WIDE. |
| 67 | INLET, SEE GRADING PLAN. |
| 68 | INSTALL 6" TALL ALUMINUM RAIL FENCE (FORGE RIGHT OSPREY, OR OWNER APPROVED ALTERNATIVE) |
| 69 | INSTALL STANDARD C&G PER COA STD DWG 2415A. |
| 70 | INSTALL 2'-21" (MEASURED EXTERIOR WALL TO EXTERIOR WALL) SIDEWALK CULVERT PER COA STD DRAWING 2236 |
| 71 | INSTALL 5' WIDE GATE WITH A KEYLESS DIGITAL COMBINATION LOCK |
| 72 | EXISTING POWER POLE |
| 73 | BUILD HEAVY DUTY CONCRETE PAD AND APRON, PER TYPICAL SECTION ON DETAIL SHEET |

- | | |
|----|---|
| 74 | BUILD CONCRETE CHANNEL PER DETAIL ON SHEET 10 ON SHEET C-500 |
| 75 | INSTALL TRANSFORMER. SEE ELECTRICAL PLANS |
| 76 | BUILD TWO EQUAL HEIGHT STEPS 12" APART. SEE GRADING PLAN FOR GRADES |
| 77 | PAINT "NO PARKING" IN CAPITAL LETTERS 12" TALL AND 2" WIDE. PAINT ADA ACCESS AISLE WITH BLUE DIAGONAL STRIPING 4" WIDE AND 2FT APART. |
| 78 | ON -STREET PARKING STALL |
| 80 | ANY CRACKED EXISTING SIDEWALK STONES ALONG SITE FRONTAGE SHALL BE REMOVED AND REPLACED |

CDS
 COMMUNITY DESIGN SOLUTIONS, LLC
 9384 VALLEY VIEW DR NW, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87114
 PHONE: (505)366-4187

NO.	DATE:	DESCRIPTION	BY
DESIGNED	CLS		
DRAWN	CLS		
CHECKED	JMS		
DATE			1/09/2026

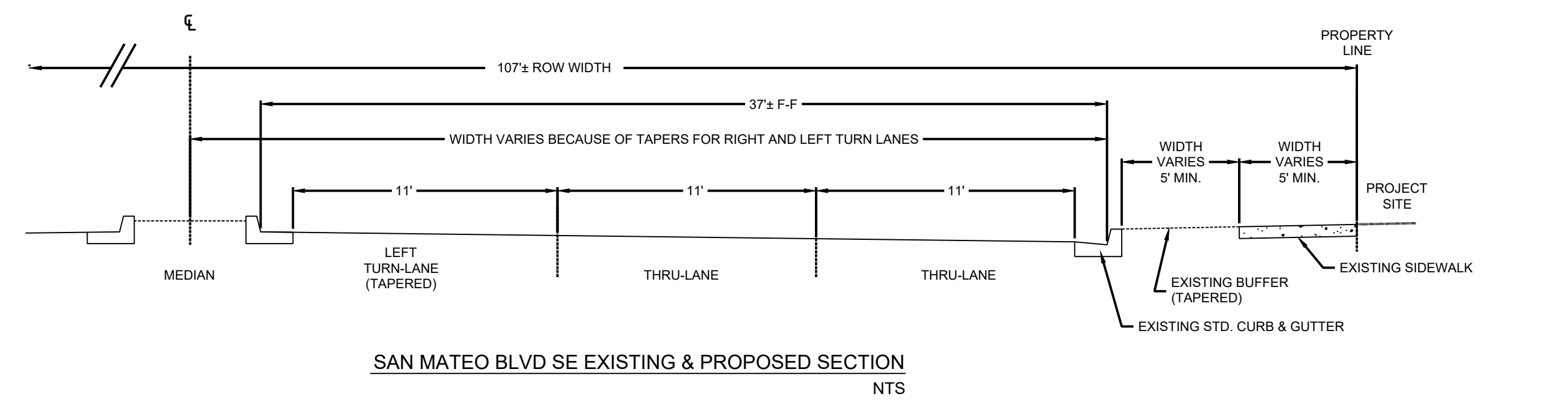
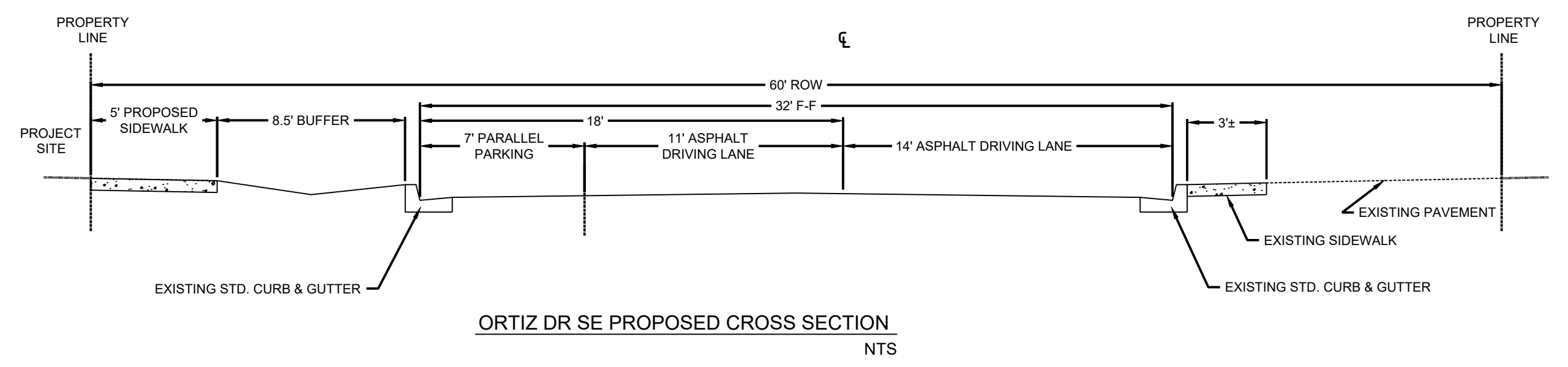
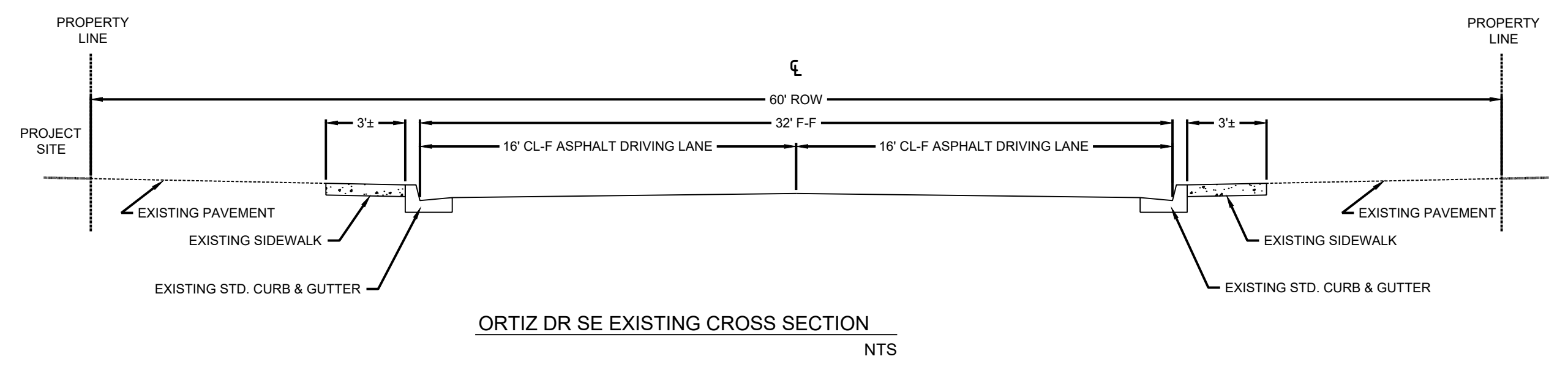
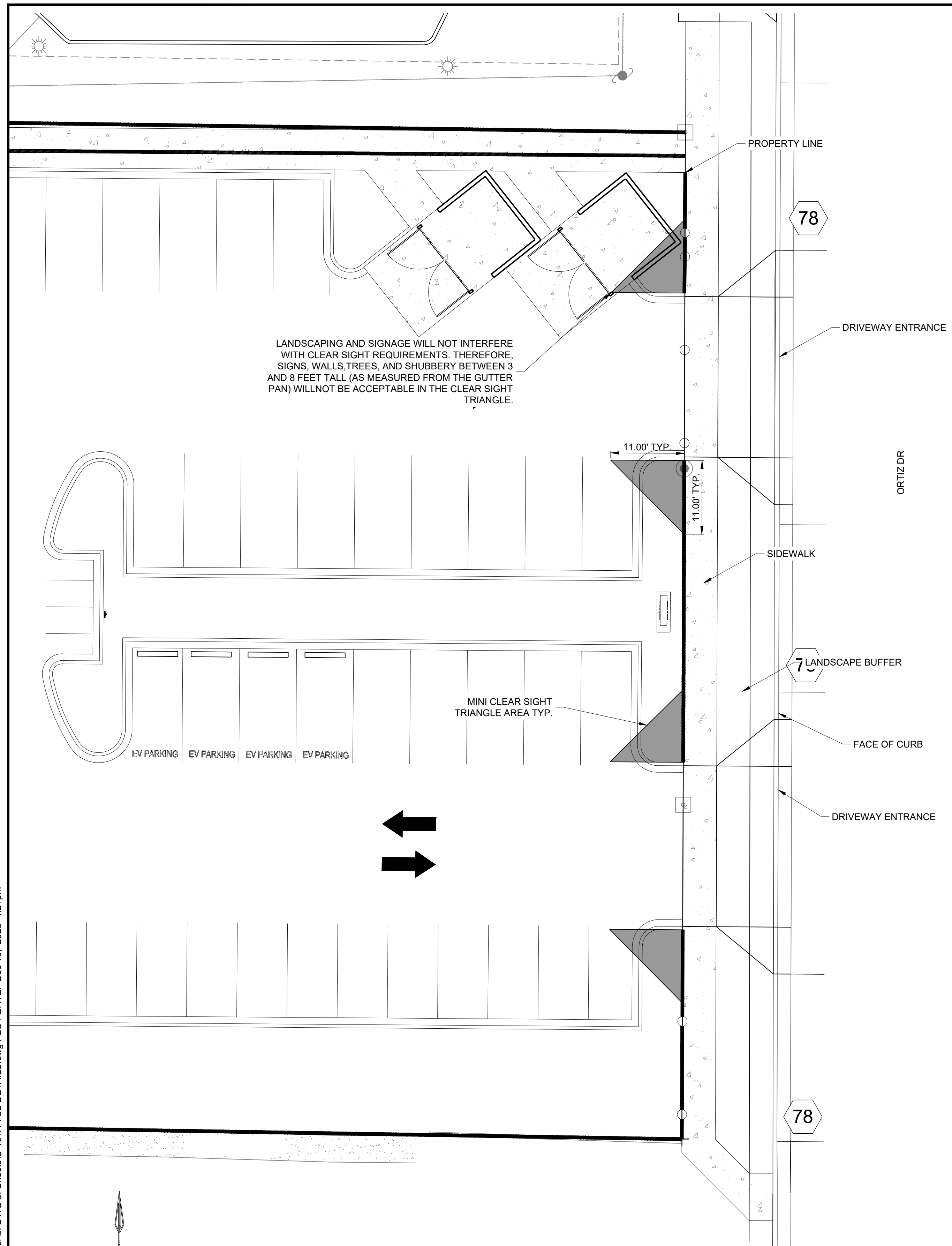


PROJECT NAME: **SAN MATEO MANOR**
 SHEET TITLE: **SITE PLAN**

CDS PROJ. NO. **0760225**
 OTHER PROJ. NO.
 SHEET NO: **C-101**

CONSTRUCTION

NAME: P:\0760225 San Mateo Manor\3. DWG\3. Sheets\C-101A TCL DETAILS.dwg PLOT DATE: Dec 19, 2025 4:21pm



SITE TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arriaga 1/9/2026
Signed Date

CDS
COMMUNITY DESIGN SOLUTIONS, LLC
9384 VALLEY VIEW DR NW, SUITE 100
ALBUQUERQUE, NEW MEXICO 87114
PHONE: (505)366-4187

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			XXXX	XXXX	XXXX
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					12/19/2025

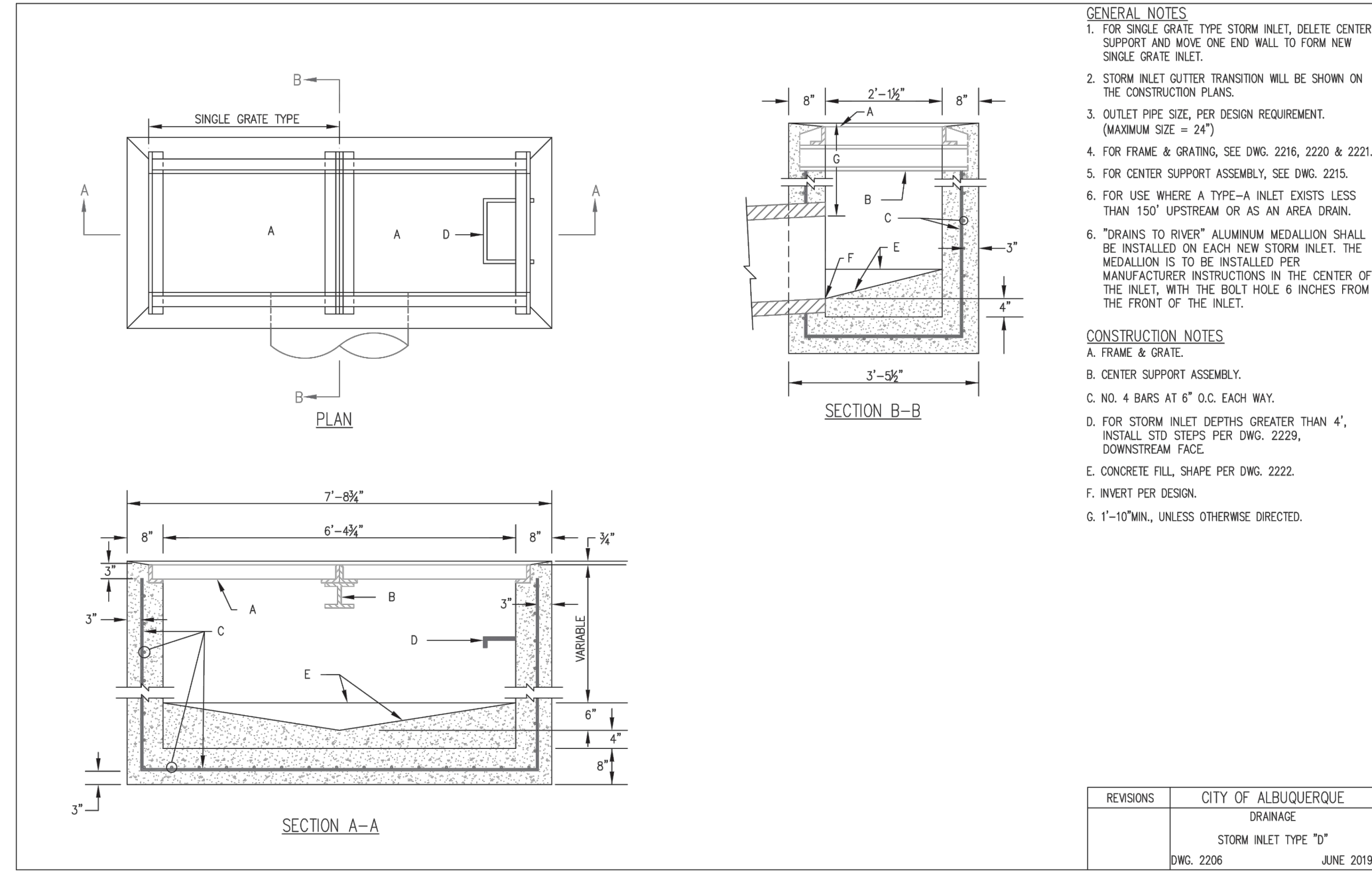


SAN MATEO MANOR

TCL DETAILS

PROJECT NAME:
SHEET TITLE:
CDS PROJ. NO. 760225
OTHER PROJ. NO.
SHEET NO. C-101A

NAME: P:\0760225 San Mateo Manor\3 DWG\3 Sheets\C-501 Retaining Wall Details.dwg PLOT DATE: Dec 19, 2025 4:21pm



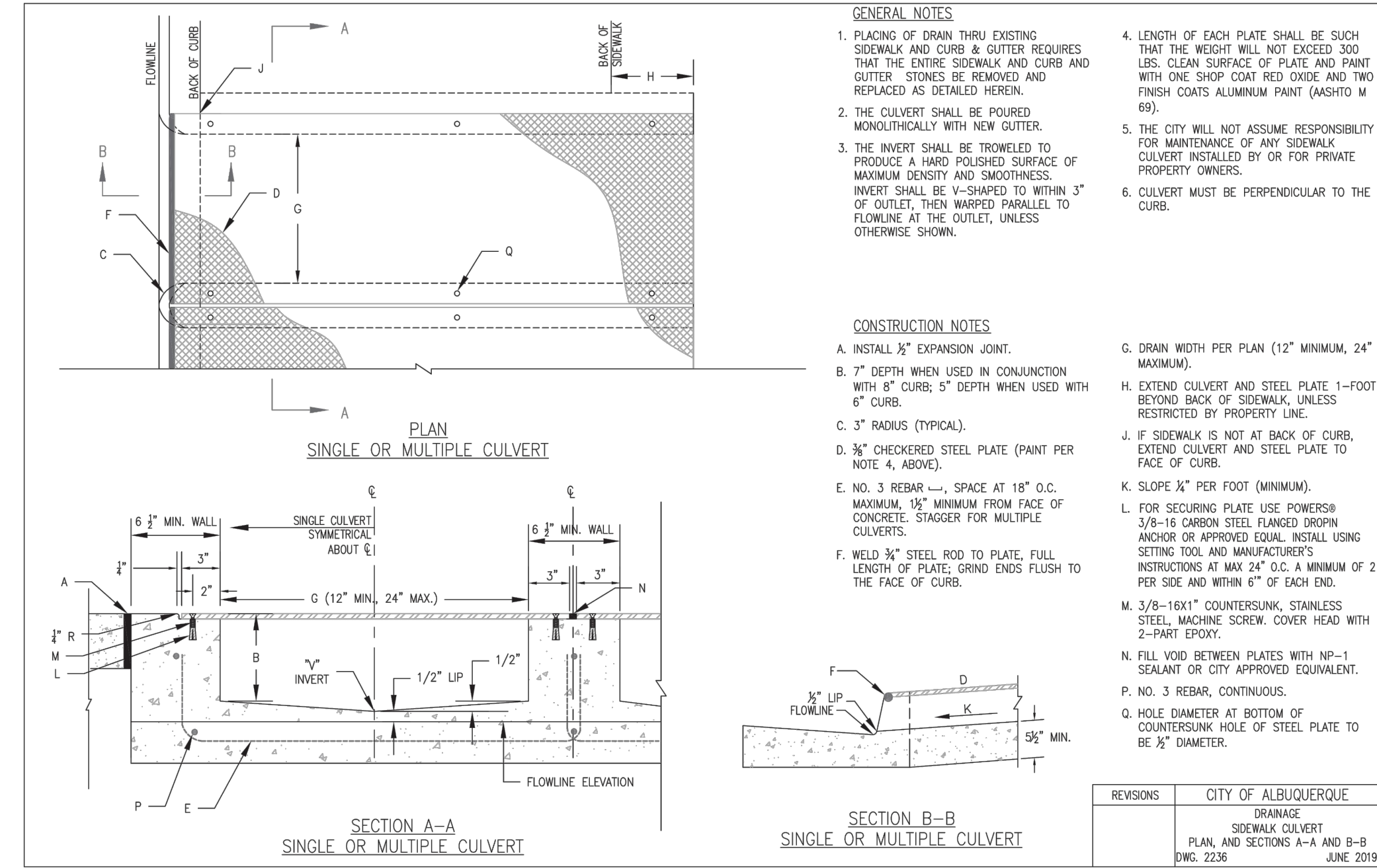
GENERAL NOTES

- FOR SINGLE GRATE TYPE STORM INLET, DELETE CENTER SUPPORT AND MOVE ONE END WALL TO FORM NEW SINGLE GRATE INLET.
- STORM INLET GUTTER TRANSITION WILL BE SHOWN ON THE CONSTRUCTION PLANS.
- OUTLET PCC SIZE, PER DESIGN REQUIREMENT. (MAXIMUM SIZE = 24")
- FOR FRAME & GRATING, SEE DWG. 2216, 2220 & 2221.
- FOR CENTER SUPPORT ASSEMBLY, SEE DWG. 2215.
- FOR USE WHERE A TYPE-A INLET EXISTS LESS THAN 150' UPSTREAM OR AS AN AREA DRAIN.
- "ORAINS TO RIVERS" ALUMINUM MEDALLION SHALL BE INSTALLED ON EACH NEW STORM INLET. THE MEDALLION IS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS IN THE CENTER OF THE INLET, WITH THE BOLT HOLE 6 INCHES FROM THE FRONT OF THE INLET.

CONSTRUCTION NOTES

- FRAME & GRATE.
- CENTER SUPPORT ASSEMBLY.
- NO. 4 BARS AT 6" O.C. EACH WAY.
- FOR STORM INLET DEPTHS GREATER THAN 4", INSTALL STD STEPS PER DWG. 2229, DOWNSTREAM FACE.
- CONCRETE FILL, SHAPE PER DWG. 2222.
- INVERT PER DESIGN.
- 1'-10" MIN., UNLESS OTHERWISE DIRECTED.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	STORM INLET TYPE "D"
	DWG. 2206
	JUNE 2019



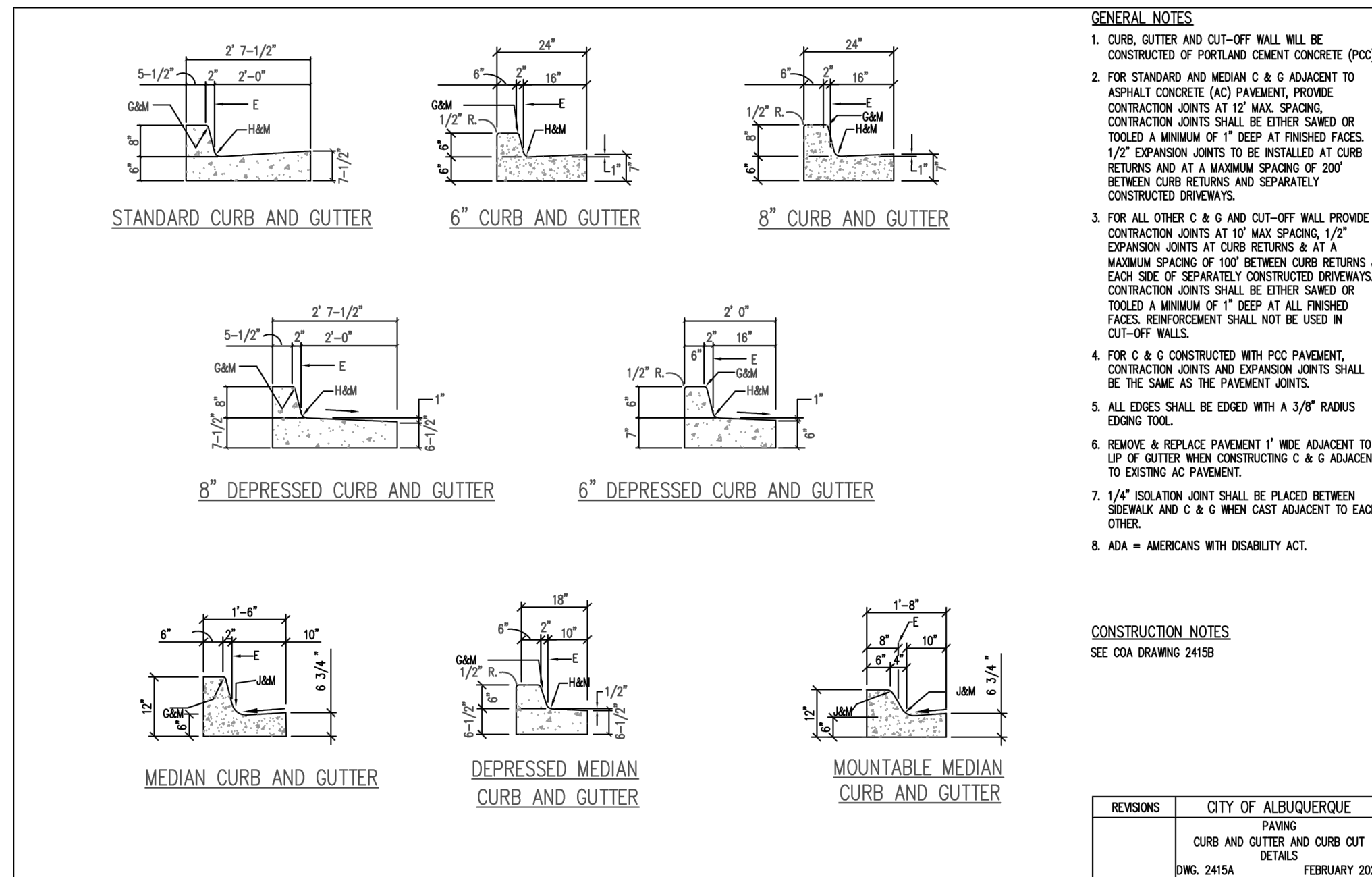
GENERAL NOTES

- PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
- THE CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
- THE INVERT SHALL BE TROWELED TO PRODUCE A HARD FLOURED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARRPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.
- LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. CLEAN SURFACE OF PLATE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (ASHITO M 69).
- THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
- CULVERT MUST BE PERPENDICULAR TO THE CURB.

CONSTRUCTION NOTES

- INSTALL 3" EXPANSION JOINT.
- 7" DEPTH WHEN USED IN CONJUNCTION WITH 6" CURB; 5" DEPTH WHEN USED WITH 6" CURB.
- 3" RADIUS (TYPICAL).
- 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
- NO. 3 REBAR - , SPACE AT 18" O.C. MAXIMUM, 1/2" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
- WELD 3/8" STEEL ROD TO PLATE. FULL LENGTH OF PLATE; GRIND ENDS FLUSH TO THE FACE OF CURB.
- DRAIN WIDTH PER PLAN (12" MINIMUM, 24" MAXIMUM).
- EXTEND CULVERT AND STEEL PLATE 1-FOOT BEYOND BACK OF SIDEWALK, UNLESS RESTRICTED BY PROPERTY LINE.
- IF SIDEWALK IS NOT AT BACK OF CURB, EXTEND CULVERT AND STEEL PLATE TO FACE OF CURB.
- SLOPE 1/4" PER FOOT (MINIMUM).
- FOR SECURING PLATE USE POWERSH 3/8-16 CARBON STEEL FLANGED DRUMN ANCHOR OR APPROVED EQUAL. INSTALL USING SETTING TOOL AND MANUFACTURER'S INSTRUCTIONS AT MAX 24" O.C. A MINIMUM OF 2 PER SIDE AND WITHIN 6" OF EACH END.
- 3/8-16x1" COUNTERSUNK, STAINLESS STEEL, MACHINE SCREW. COVER HEAD WITH 2-PART EPOXY.
- FILL VOID BETWEEN PLATES WITH NP-1 SEALANT OR CITY APPROVED EQUIVALENT.
- NO. 3 REBAR, CONTINUOUS.
- HOLE DIAMETER AT BOTTOM OF COUNTERSUNK HOLE OF STEEL PLATE TO BE 1/2" DIAMETER.

REVISIONS	CITY OF ALBUQUERQUE
	DRAINAGE
	SINGLE OR MULTIPLE CULVERT
	PLAN, AND SECTIONS A-A AND B-B
	DWG. 2236
	JUNE 2019



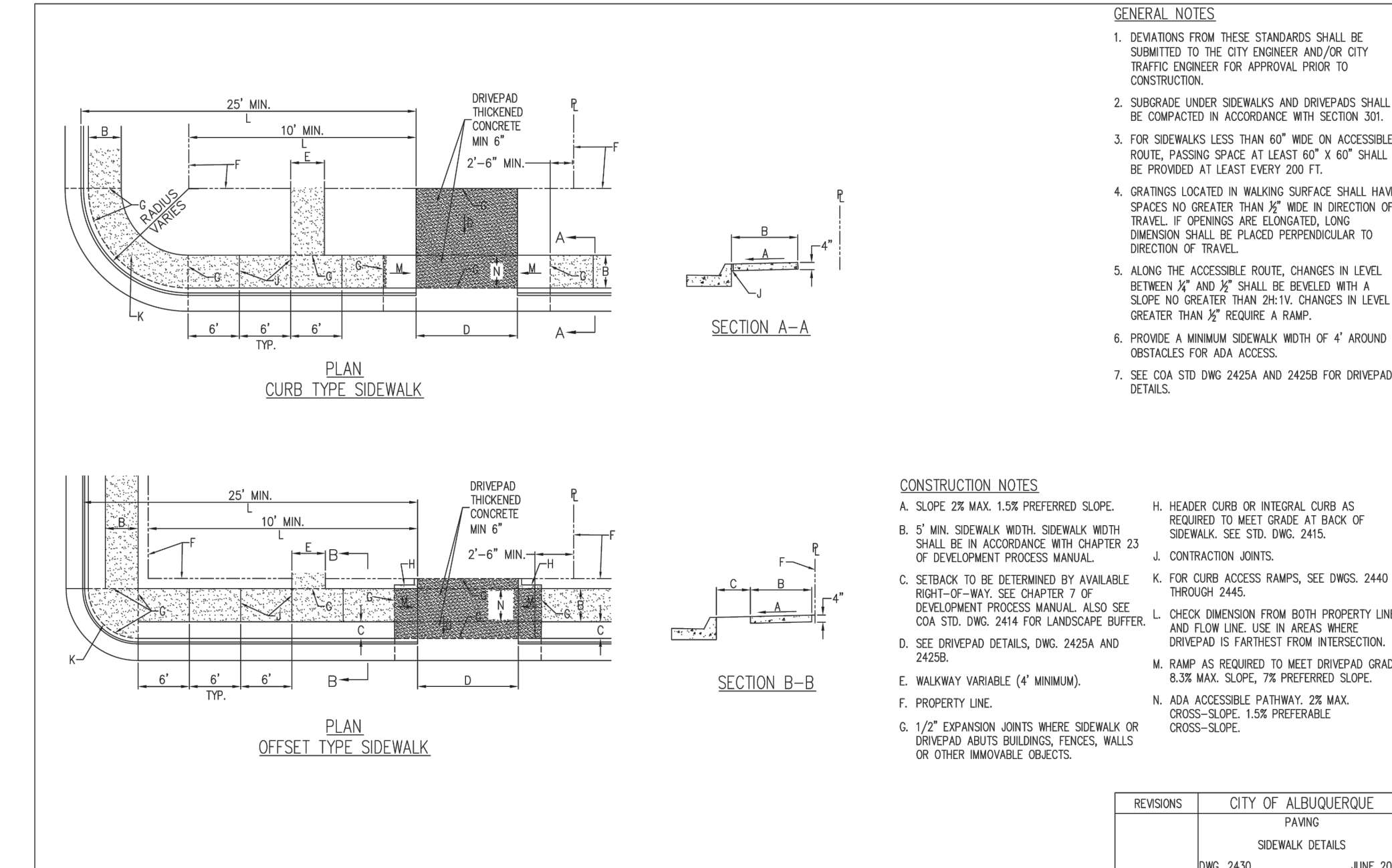
GENERAL NOTES

- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
- FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
- FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
- FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
- ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
- REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
- ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES

SEE COA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT DETAILS
	DWG. 2415A
	FEBRUARY 2021



GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
- FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
- GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF GRATINGS ARE ELONGATED LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2:1. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
- PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
- SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

CONSTRUCTION NOTES

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5" MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (1" MINIMUM).
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2445.
- CONTRACTION JOINTS.
- FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- RAMP AS REQUIRED TO MEET DRIVEPAD GRADE.
- 3% MAX. SLOPE, 1% PREFERRED SLOPE.
- ADA ACCESSIBLE PATHWAY, 2% MAX. CROSS-SLOPE. 1.5% PREFERRED.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430
	JUNE 2019

CDS
COMMUNITY DESIGN SOLUTIONS, LLC
 9384 VALLEY VIEW DR NW, SUITE 100
 ALBUQUERQUE, NEW MEXICO 87114
 PHONE: (505)366-4187

NO.	DATE:	DESCRIPTION	BY
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		DRAWN	XXXX
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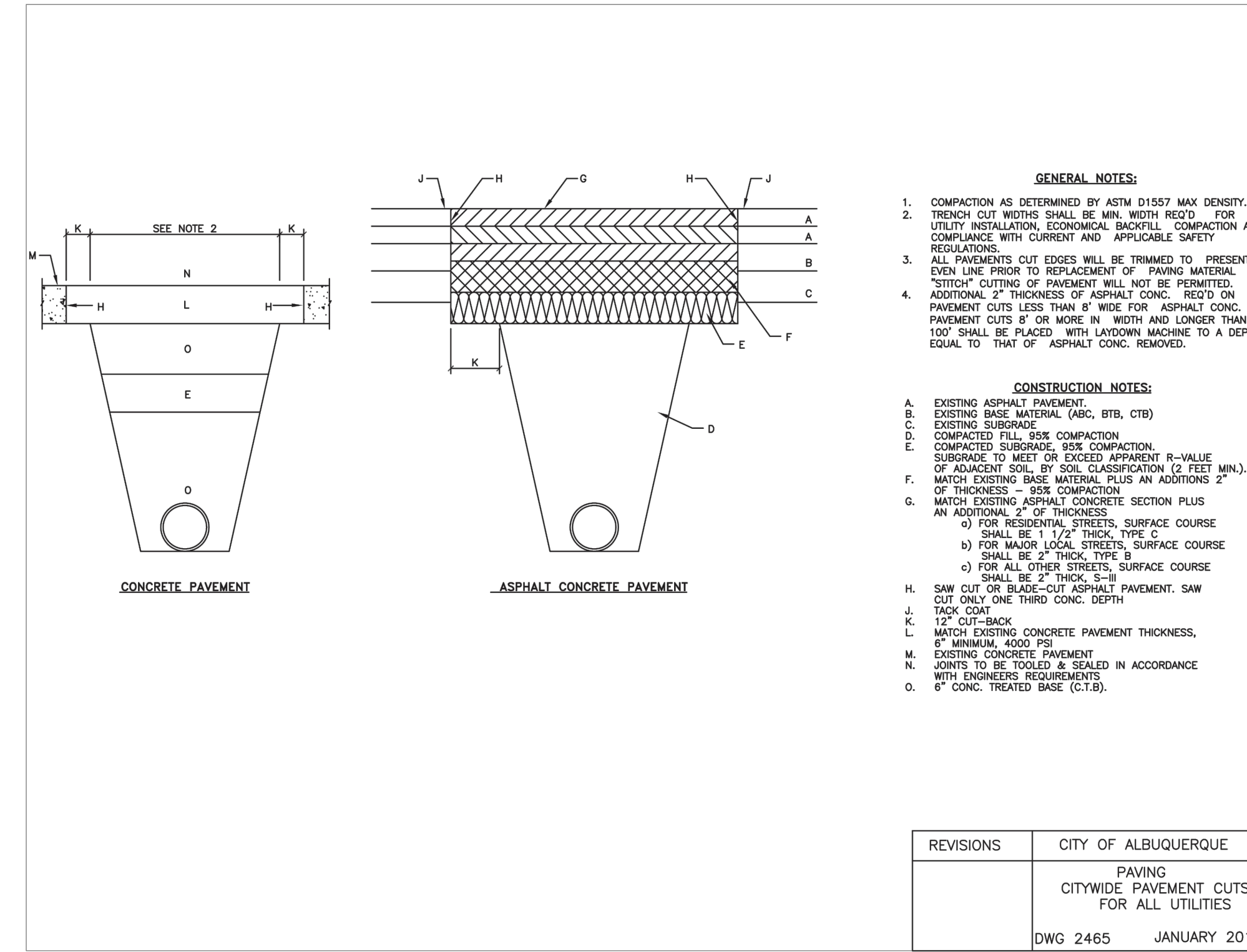
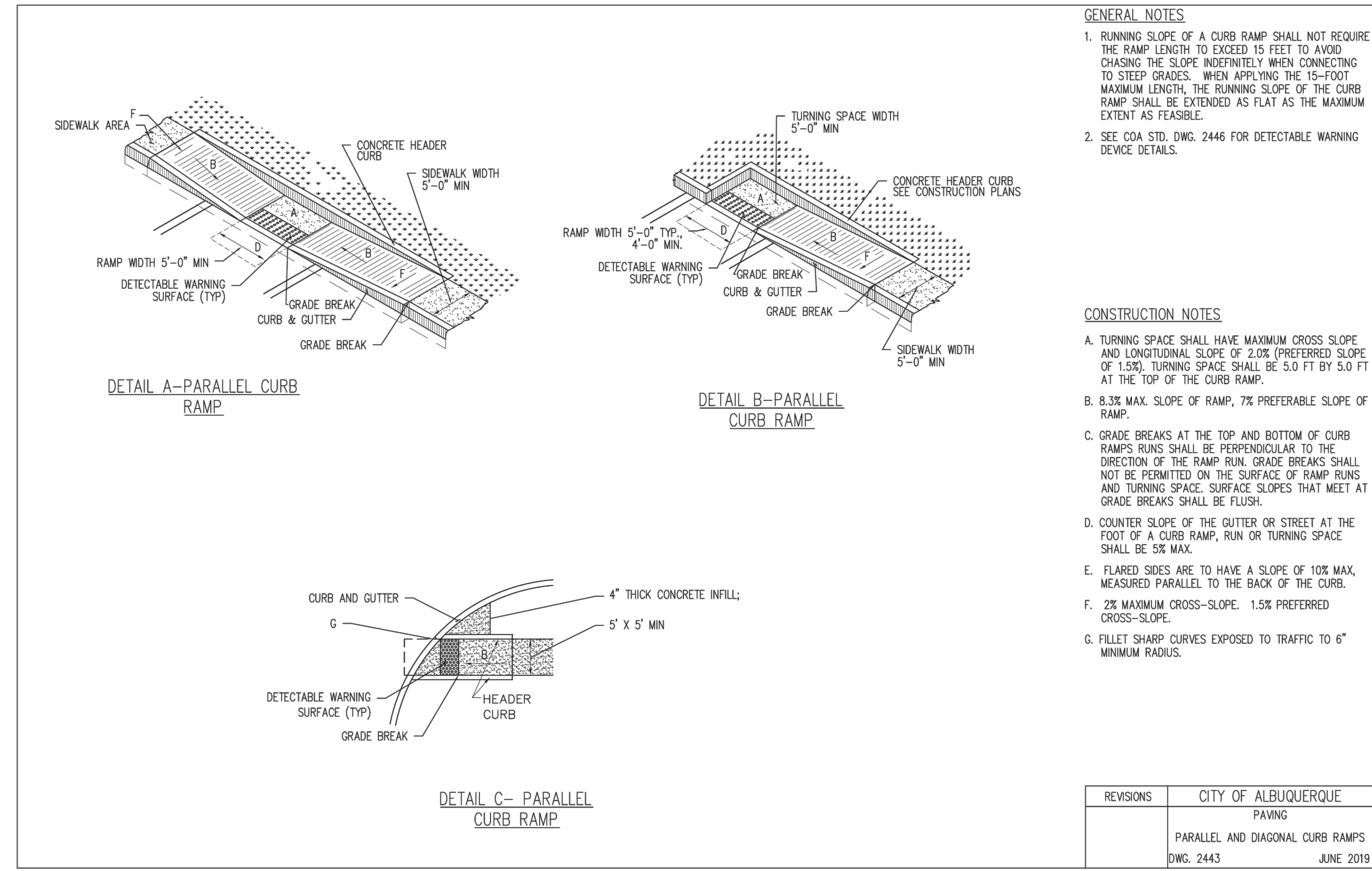
PROJECT NAME: **SAN MATEO MANOR**

SHEET TITLE: **COA STD DETAILS 1**

CDS PROJ. NO. **760225**

OTHER PROJ. NO.

SHEET NO: **C-504**



NO.	DATE:	DESCRIPTION	BY
		DESIGNED	XXXX
		DRAWN	XXXX
		CHECKED	XXXX
		DATE	12/19/2025



PROJECT NAME: SAN MATEO MANOR

SHEET TITLE: COA STD DETAILS 2

CDS PROJ. NO. 760225

OTHER PROJ. NO.

SHEET NO: C-505