

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

10/29/2025

John Stapleton, PE
Community Design Solutions, LLC
9384 Valley View Dr. NW, Suite 100
Albuquerque, NM 87114

Re: San Mateo Manor
513 Ortiz Dr. SE Albuquerque, NM 87108
Traffic Circulation Layout
Engineer's Stamp 10-16-25 (L18-D088)

Dear Mr. Stapleton,

Based upon the information provided in your submittal received 10-10-25, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

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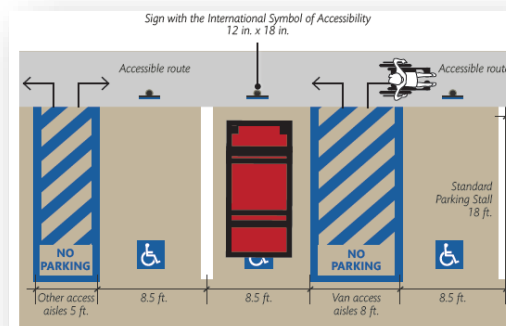
NM 87103

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1. Please provide approved plat showing reconfiguration of property lot lines and shared access agreements.
2. Provide proposed building square-footage on plan sheet.
3. Clarify the extents of the current phase. Provide a phasing plan.
4. Identify the right of way width, medians, curb cuts, and street widths on San Mateo Blvd. SE and Ortiz Dr. SE.
5. Identify all existing access easements and rights of way width dimensions.
6. It appears the intentions are to close both driveway access on San Mateo Blvd. Unused curb cuts must be replaced with sidewalk and curb & gutter. Provide design details and applicable City standard drawings.
7. Show existing driveways on the adjacent properties and properties across the street from the site on Ortiz Dr. SE. Provide distancing from these existing driveways to nearby proposed site accessways.
8. Please provide a sight distance exhibit.
9. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
10. Call out distance/width between proposed driveways.
11. Provide southern proposed drive aisle width.
12. All accessways to the site from the adjacent roadway shall be ADA-compliant.
13. Provide design details, such as grades and slopes, for all ADA ramps and parking.



14. All sidewalks along streets should be placed at the property line. Provide sidewalk design details and dimensions.
15. Parking spaces cannot be bisected by lot lines.
16. Provide Zoning approval documentation for reduction parking credits and EV accommodations. Verify parking calculations per IDO requirements.
17. Provide all parking signs design details.
18. Provide additional parking striping details. ADA access aisles shall have blue diagonal striping and the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)



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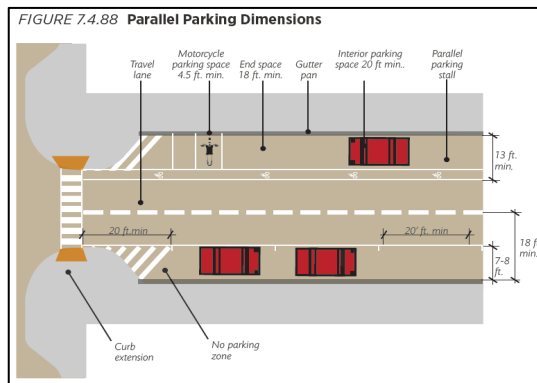
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19. We notice the 4.5 foot ADA parking access aisle. Van access aisles must be a minimum 8 feet wide and all others must be a minimum 5 feet wide. Provide dimensions for each ADA stall and access aisles.
20. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is **required from the public sidewalk to the building entrances**. Clearly show this pathway and provide details. Also, call out building entrance.
21. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is **required from the ADA parking stall access aisles to the building entrances**. Please clearly show this pathway and provide details.
22. Call out on-street parking spaces and provide design details meeting City standards. On-street parking spaces shall be designed according to the following guidelines:
 - Required width for parallel parking stalls is 7 feet to 8.5 feet depending on speeds greater than 25 mph.
 - Where parallel on-street parking is adjacent to bicycle lanes, the minimum combined width for bicycle lane and parallel parking stall is 13 feet, with a recommended 7 foot wide parallel parking stall.
 - The combined width of a parallel on-street parking stall and the adjacent travel lane should be a minimum of 18 feet.



- The gutter pan may be used as part of the stall width.
- A 1.5 foot shy zone space or offset shall be provided between the curb edge and any vertical elements in the landscape/buffer zone.
- The minimum stall length is 20 feet for interior spaces and 18 feet for end spaces.
- Per MUTCD, there must be a 20 foot long space between the crosswalk or pedestrian crossing and the nearest on-street parking space.



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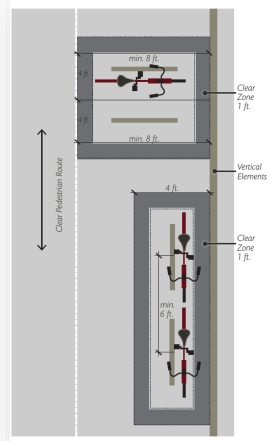
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23. Bicycle parking spaces shall be located, sized, and constructed as required by IDO.
24. Provide bicycle parking design. Bicycle racks shall be designed according to the following guidelines:
 - The rack shall be a minimum 30 inches tall and 18 inches wide.
 - The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - The rack allows varying bicycle frame sizes and styles to be attached.
 - The user is not required to lift the bicycle onto the bicycle rack.
 - Each bicycle parking space is accessible without moving another bicycle.
25. Bicycle racks shall be sturdy and anchored to a concrete pad.
26. A 1-foot clear zone around the bicycle parking stall shall be provided.



27. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

FIGURE 7.4.115 Bicycle Parking Stall Layout Options



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28. Provide motorcycle parking space dimensions.

29. Provide motorcycle pavement marking "MC" for each motorcycle parking space.

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30. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.

31. Provide a copy of Solid Waste and Fire Marshal approvals.

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32. Show all private infrastructure outside of public right-of-way and all public infrastructure within public right-of-way. Any private infrastructure that is allowed by the City of Albuquerque to be kept within right-of-way shall require a revocable permit.

33. Show location of overhead utility lines in relationship to the buildings.

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34. Provide additional site circulation details. Are site access ways to function for two way flow or one way?

35. Driveway access must meet current City and ADA standards. Where the aisles will function for deliveries by larger trucks, refuse, and/or fire vehicles, etc., a 25 foot radius or larger is to be used. Provide City standard drawings that reflect design intentions.

Once corrections are complete, resubmit the following for evaluation by Transportation:

1. The revised Traffic Circulation Layout
2. Send an electronic copy of your submittal to ABQ-plan.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at (505) 924-3880.

Sincerely,

Tasha Felton

Tasha Felton
Assistant Engineer, Planning Dept.
Development Review Services

\tf via: email
C: CO Clerk, File

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