

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 21, 2023

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: C and D Land Corp
411 Wyoming Blvd SE
Permanent C.O. – Accepted
Engineer’s Certification Date: 03/28/23
Engineer’s Stamp Date: 09/16/20
Hydrology File: L19D023**

Dear Mr. Bohannon:

PO Box 1293

Based on the Certification received 06/20/2023 and site visit on 03/17/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

DATE SUBMITTED: 06.20.2023

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

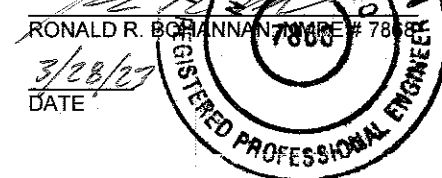
I, RONALD R. BOHANNAN, NMPE # 7868, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/28/20. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS # 18374, OF THE FIRM CARTESIAN SURVEYS, INC.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3/28/20 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

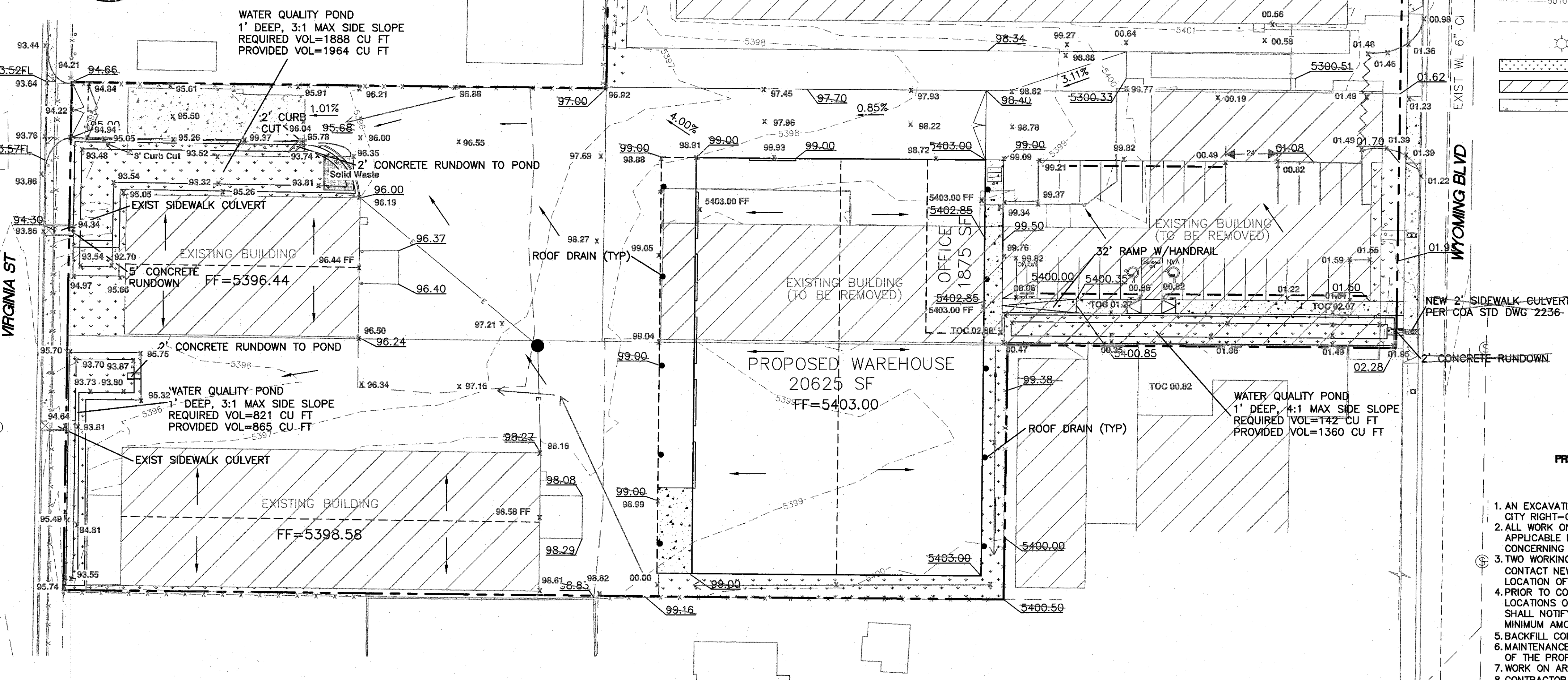
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:
NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

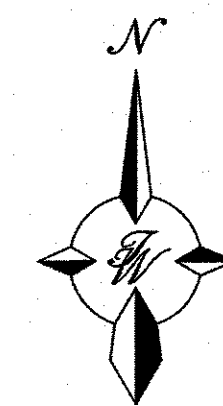


(SEAL)



LEGEND

- EDGE OF ASPHALT
- BOUNDARY LINE
- BUILDING
- SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- XXXX.XX SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING LIGHT STANDARD
- LANDSCAPING
- EXISTING BUILDING
- EXISTING CONCRETE



GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19-30-10)

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" OR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT AUGIE ARMIJO AT (505) 857-8607 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

Weighted E Method

On-Site Basins

100-Year											100-Year			10-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)						
1	94,768	2.18	0%	0	8%	0.17	0%	0.00	92%	2.00	2.442	0.443	9.42	1.536	0.278	5.81
2	39,990	0.92	0%	0	5%	0.05	0%	0.00	95%	0.87	2.494	0.191	4.03	1.575	0.120	2.50
3	10,740	0.25	0%	0	41%	0.10	0%	0.00	59%	0.15	1.875	0.039	0.90	1.107	0.023	0.52

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)	Excess Precipitation, E (inches)			Peak Discharge (cfs/acre)		
	Zone 3	100-Year	10-Year	Zone 3	100-Year	10-Year
Volume = Weighted D * Total Area	E_a	0.67	0.18	Q_a	1.84	0.51
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$	E_b	0.86	0.34	Q_b	2.49	1.07
	E_c	1.09	0.52	Q_c	3.17	1.69
	E_d	2.58	1.64	Q_d	4.49	2.81

WATER QUALITY PONDING

BASIN 1 87120 SF X 0.26"/12"=1888 CU FT
BASIN 2 37897 SF X 0.26"/12"=821 CU FT
BASIN 3 6534 SF X 0.26"/12"=142 CU FT

EXISTING DRAINAGE:

THE EXISTING SITE IS MOSTLY PAVED AND DRAINS FROM EAST TO WEST FROM WYOMING BLVD. TO VIRGINIA STREET. THE FLOWS ENTER VIRGINIA STREET THROUGH TWO 24 INCH SIDEWALK CULVERTS. FROM THERE THE WATER FLOWS TO TRUMBULL SE AND THEN WEST TO PENNSYLVANIA AVE. WHERE IT IS INTERCEPTED BY EXISTING CURB INLETS. THE EXISTING RUNOFF FROM THE SITE IS 21.28 CFS.

THE PROPERTY IS IN ZONE X AS SHOWN ON THE FIRM MAP. THERE IS A SLIGHT AMOUNT OF OFFSITE FLOWS THAT ENTER THE SITE AT THE SOUTHEAST CORNER OF THE PROPERTY WHICH WILL BE ALLOWED TO SHEET FLOW TO VIRGINIA STREET.

PROPOSED DRAINAGE:

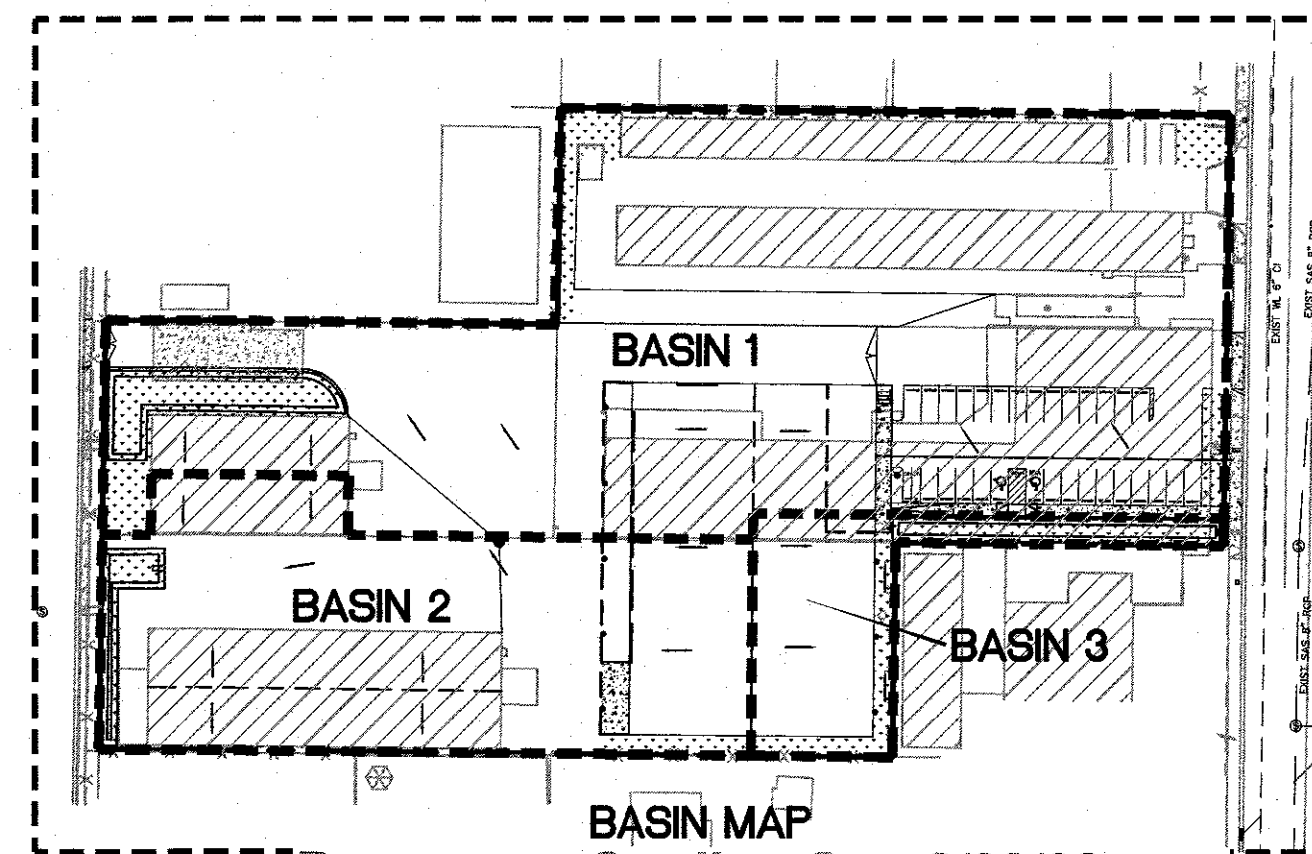
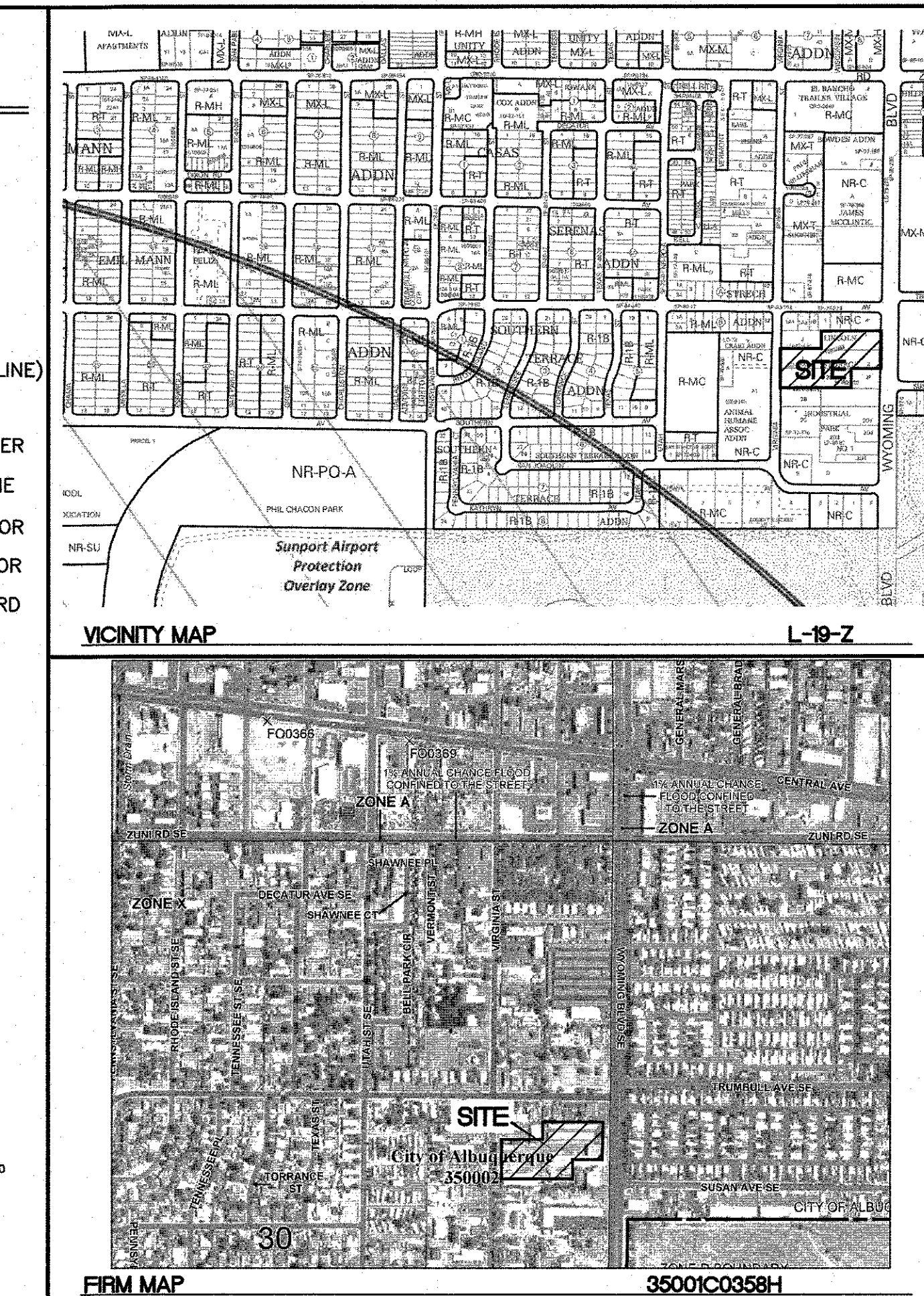
FOR THE MOST PART THIS PROJECT WILL DRAIN IN THE SAME PATTERN THAT CURRENTLY EXISTS WITH THE SIDEWALK CULVERTS REMAINING AND DISCHARGING INTO VIRGINIA STREET.

THE BIGGEST DIFFERENCE IS THAT THE FLOWS FROM BASINS 1 AND 2 WILL BE ROUTED THROUGH A WATER QUALITY POND PRIOR TO DISCHARGING TO VIRGINIA STREET. BASIN 3 WILL BE CONTAINED IN A WATER QUALITY POND ALONG THE SIDEWALK AND ALLOWED TO OVER FLOW INTO BASIN 1.

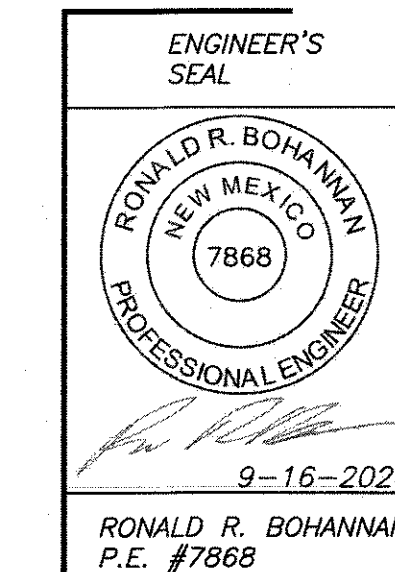
THE DRAINAGE CALCULATIONS WERE UPDATED TO THE NEW DPM STANDARDS AND SHOWS THAT THE RUNOFF IS NOW CALCULATED AT 14.35 CFS WHICH IS LESS THAN THE PREVIOUS CALCULATION OF 21.28 CFS.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



Permanent Grading Cert 3/28/23



C and D LAND CORP
411 WYOMING BLVD, ALBUQUERQUE, NM
GRADING AND DRAINAGE
PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
9-16-2020

DRAWING
2020055-GR

SHEET #

GR-1

JOB #
2020055