



November 24, 2020

Jon Niski, PE  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

Re: C and D Land Corp (Phase I)  
411 Wyoming SE  
Traffic Circulation Layout  
Engineer's Stamp 11-12-2020 (L19-D023)

Dear Mr. Niski,

The TCL submittal received 11-12-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

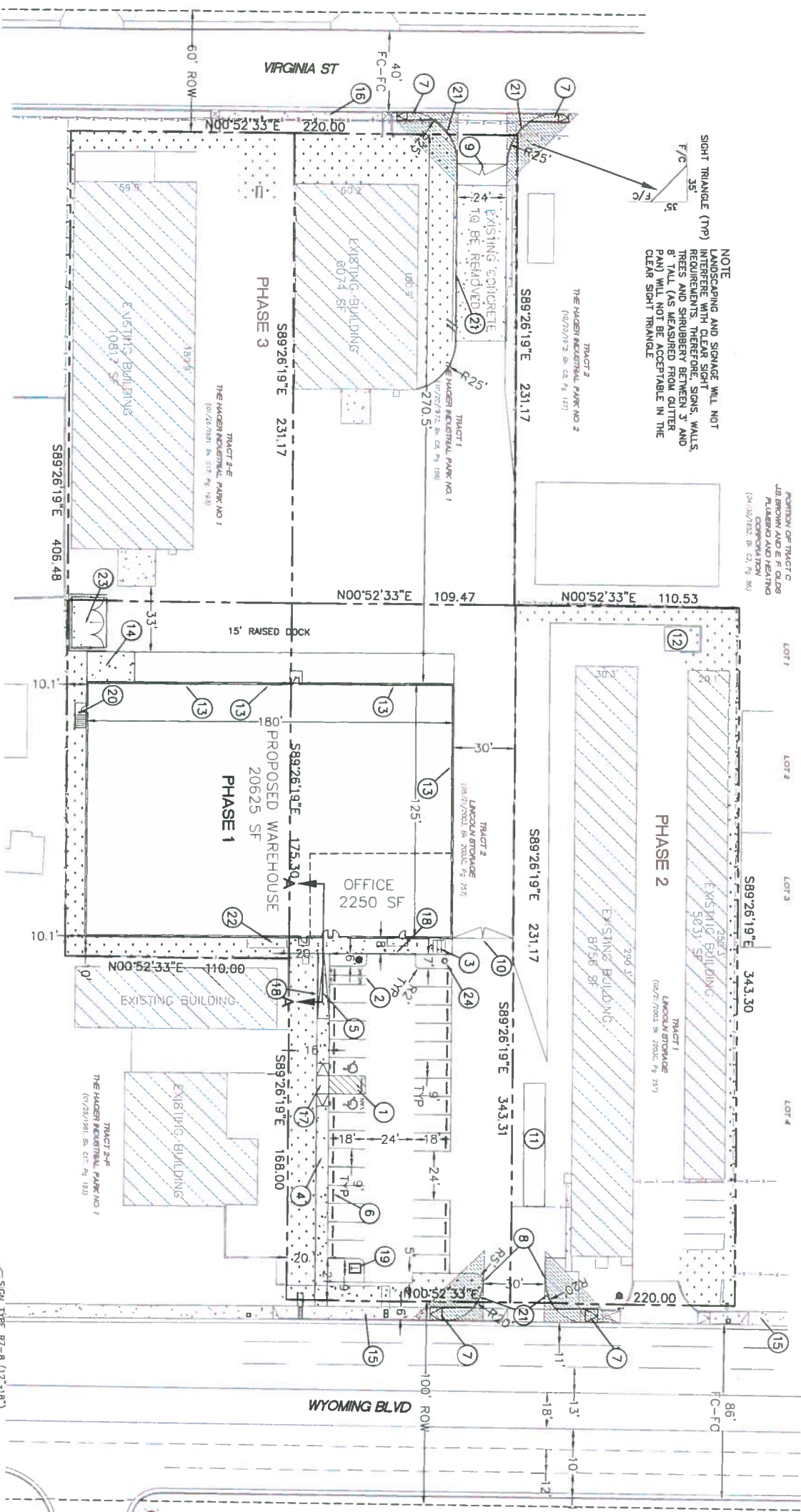
Sincerely

[www.cabq.gov](http://www.cabq.gov)

  
Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.



**NOTE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN J AND 8 TALL (AS MEASURED FROM GUTTER PAV) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

J. S. BROWN AND E. F. OLDS  
POLYMER AND HEATING  
COMPOSITION  
(34) 30/1952, D. C. 1, Pg. 56)

**TRAFFIC CIRCULATION LAYOUT**  
**APPROVED**

**Signed**

Date \_\_\_\_\_

- ## LEGEND

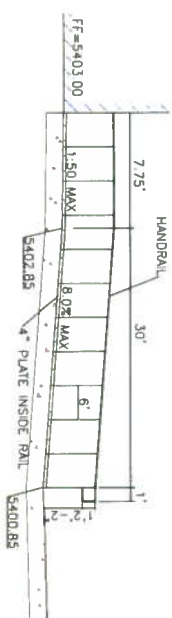
- 
- Diagram illustrating the layout of a residential lot, showing various features and their corresponding labels:
- BOUNDARY LINE
  - EASEMENT
  - PROPOSED BUILDING
  - EXISTING CURB & GUTTER
  - EXISTING FIRE HYDRANT
  - EXISTING BUILDING
  - EXISTING FENCE
  - EXISTING SIDEWALK
  - NEW SIDEWALK
  - LANDSCAPE

- ## KEYED NOTES

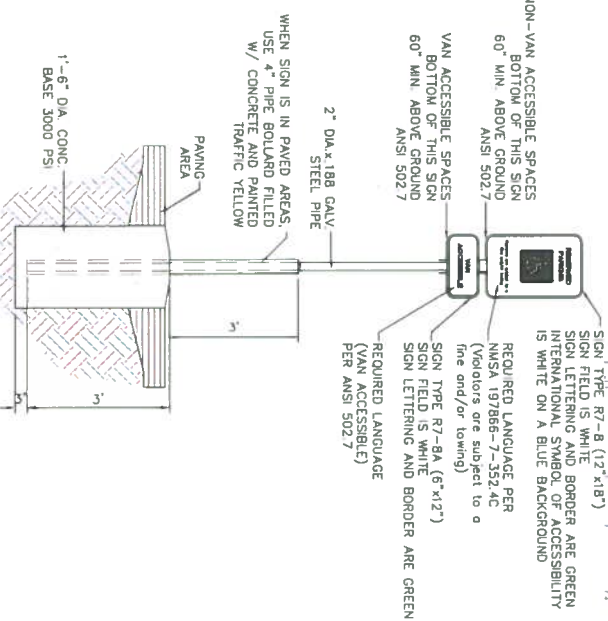
- 1 ACCESSIBLE PARKING PER ADA REQUIREMENTS  
SEE DETAIL THIS SHEET
- 2 MOTORCYCLE PARKING (9'x4.5') w/ SIGN  
SEE DETAIL SHEET DET-1
- 3 BICYCLE RACK  
SEE DETAIL SHEET DET-1
- 4 6" CONCRETE SIDEWALK PER COA STD DWG 2
- 5 32" RAMP w/HANDRAIL
- 6 WHEEL STOP (TYP)  
SEE DETAIL SHEET DET-1
- 7 UNIDIRECTIONAL ACCESSIBLE RAMP  
SEE DETAIL SHEET DET-1
- 8 3" TRANSITION TO ZERO CURB
- 9 NEW 24" GATE
- 10 NEW 30" GATE
- 11 EXISTING SCALE
- 12 EXISTING DUMPSTER TO BE RELOCATED
- 13 ROLLUP BAY DOOR
- 14 23'x15' STORAGE AREA
- 15 EXISTING 6" SIDEWALK
- 16 EXISTING 4" SIDEWALK
- 17 ACCESSIBLE RAMP  
SEE DETAIL SHEET DET-1

- (18) HANDRAL. SEE DETAIL SHEET DET-1
- (19) TRANSFORMER/BOLLARDS
- (20) 6"x6" LANDING WITH STAIRS AND HANDRAL
- (21) 6" CURB AND GUTTER PER COA STD DWG 2415A
- (22) CONDENSING UNITS
- (23) DOUBLE DUMPSTER W/ENCLOSURE SEE DETAIL SHEET DET-1
- (24) GAS METER

ALL BROKEN OR CRACKED CURB AND GUTTER MUST BE REPLACED WITH NEW CURB AND GUTTER PER COA STD DWG 2415-B



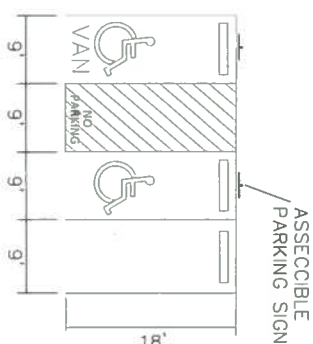
## SECTION A-A



**SOLID WASTE**

DATE \_\_\_\_\_

### ACCESSIBLE PARKING DETAIL



### ASSESSIBLE PARKING SIGN

**ADDRESS**  
423 WYOMING BLVD SE  
ALBUQUERQUE NM 87108

UPC NO: UPC NO: 101905652937411026, 101905649436211021

**SITE DATA**

PROPOSED USAGE: STORAGE/WAREHOUSE

LOT AREA:  
ENTIRE SITE 145,511 SF (3.34 ACRES)  
PHASE 1 56,955 SF (1.30AC)

ZONING MR-C

BUILDING AREA: 22,500 SF (20,625 WAREHOUSE, 1875 OFFICE)

PARKING REQUIRED: 7 SPACES (3.5 SPACES/1000 SF OF OFFICE)

PARKING PROVIDED: 28 SPACES (INCLUDES ACCESSIBLE PARKING)

HC PARKING REQUIRED: 2 SPACES  
HC PARKING PROVIDED: 2 SPACES  
1 SPACE VAN ACCESSIBLE

MC PARKING PROVIDED: 1 SPACES  
MC PARKING PROVIDED: 2 SPACES (1 SPACE FOR 1 TO 25 REQUIRED PARKING)

BICYCLE PARKING REQUIRED: 3 SPACES (3 SPACES OR 10% OF REQUIRED PARKING)  
BICYCLE PARKING PROVIDED: 3 SPACES

LANDSCAPE AREA REQUIRED: 13,849 SF (15% OF NET AREA)  
LANDSCAPE AREA PROVIDED: 14,000 SF

**LEGAL DESCRIPTION:**  
TRACTS 2 AND 2E HAGAR INDUSTRIAL #11




GRAPHIC SCALE

( IN FEET )

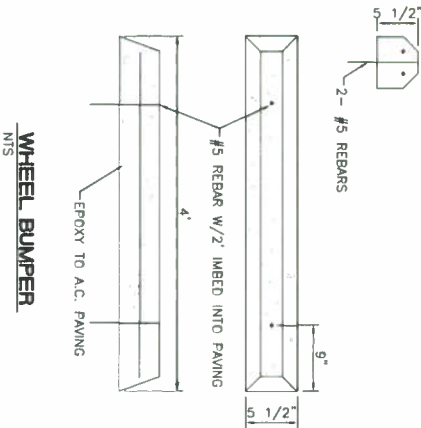
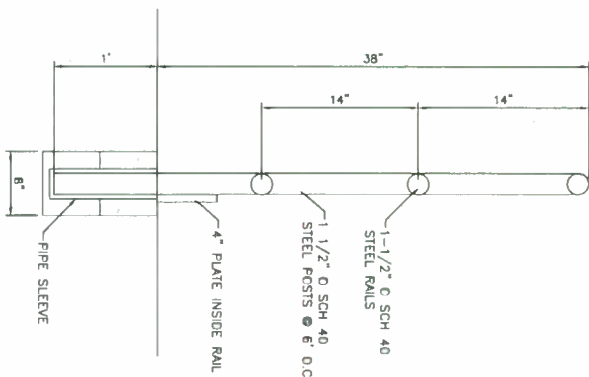
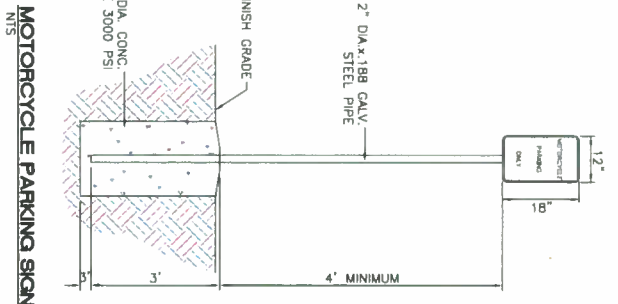
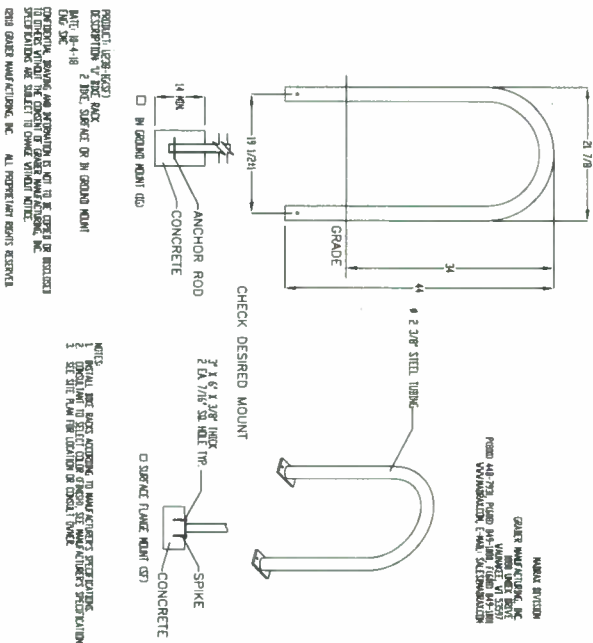
1 inch = 30 ft.

A horizontal graphic scale bar with alternating black and white segments. It is marked with '0', '10', and '20' at the top. The total length represents 20 feet.

|   |  |
|---|--|
| ENGINEER'S<br>SEAL  | DRAWN BY<br>pm   |
| C and D LAND CORP<br>411 WYOMING BLVD, ALBUQUERQUE, NM                              | DATE<br>11-12-2020   |
| 11-12-2020  | DRAWING<br>2020055-SP  |
| RONALD R BOJANWAN<br>P.E. #7866   | TRAFFIC CIRCULATION<br>PLAN  |
|  | TIERRA WEST, LLC<br>5571 MIDWAY PARK PL. NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 858-3100<br><a href="http://www.tierrawestllc.com">www.tierrawestllc.com</a> |
| SP-1  | SHEET /<br>JOB #<br>2020055  |

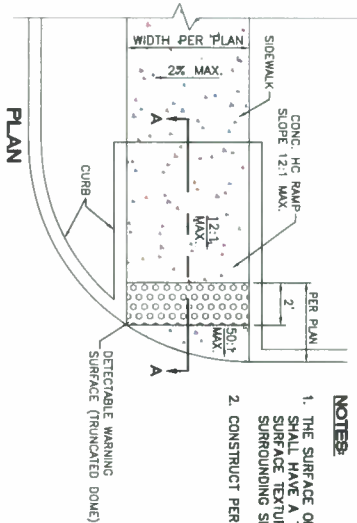


ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



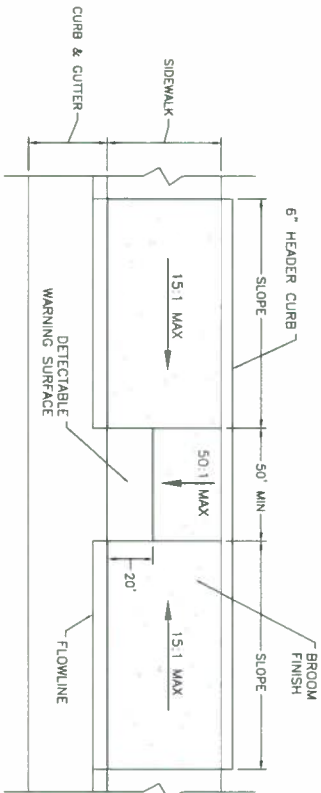
**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



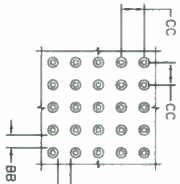
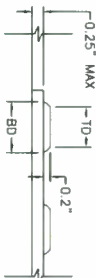
**SECTION A-A**

**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE

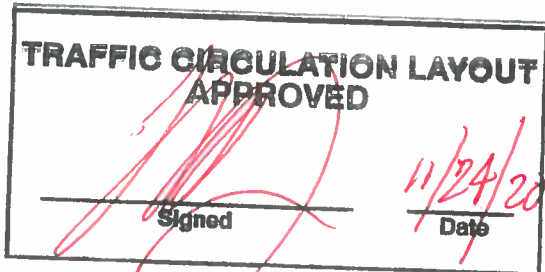
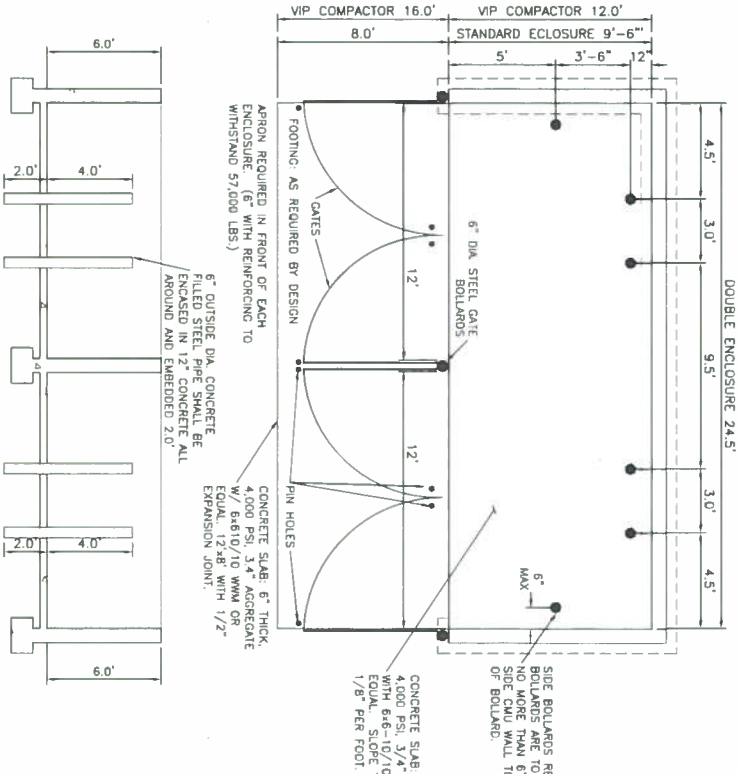


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**DOMES SPACING**  
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN



|   |  |   |  |                           |
|---|--|---|--|---------------------------|
| <b>ENGINEERS</b><br>SEAL<br>RONALD R. BOHANNAN<br>NEW MEXICO<br>PROFESSIONAL ENGINEER<br>7868<br>11-12-2020 |  | <b>C and D LAND CORP</b><br>411 WYOMING BLVD, ALBUQUERQUE, NM   |  | <b>DRAWN BY</b><br>pm     |
| <b>CONSTRUCTION DETAILS</b>   |  | <b>TIERRA WEST, LLC</b><br>5571 MIDWAY PARK PL. NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 882-5100<br>www.tierrawest.com |  | <b>DATE</b><br>11-12-2020 |
| <b>SHEET 1</b>  |  | <b>DET-1</b>  |  | <b>JOB #</b><br>2020055   |