



November 24, 2020

Jon Niski, PE  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

Re: **C and D Land Corp (Phase I)**  
**411 Wyoming SE**  
**Traffic Circulation Layout**  
**Engineer's Stamp 11-12-2020 (L19-D023)**

Dear Mr. Niski,

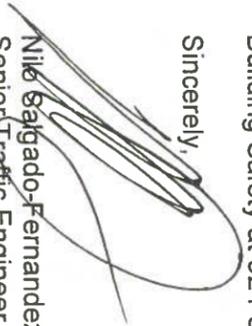
The TCL submittal received 11-12-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

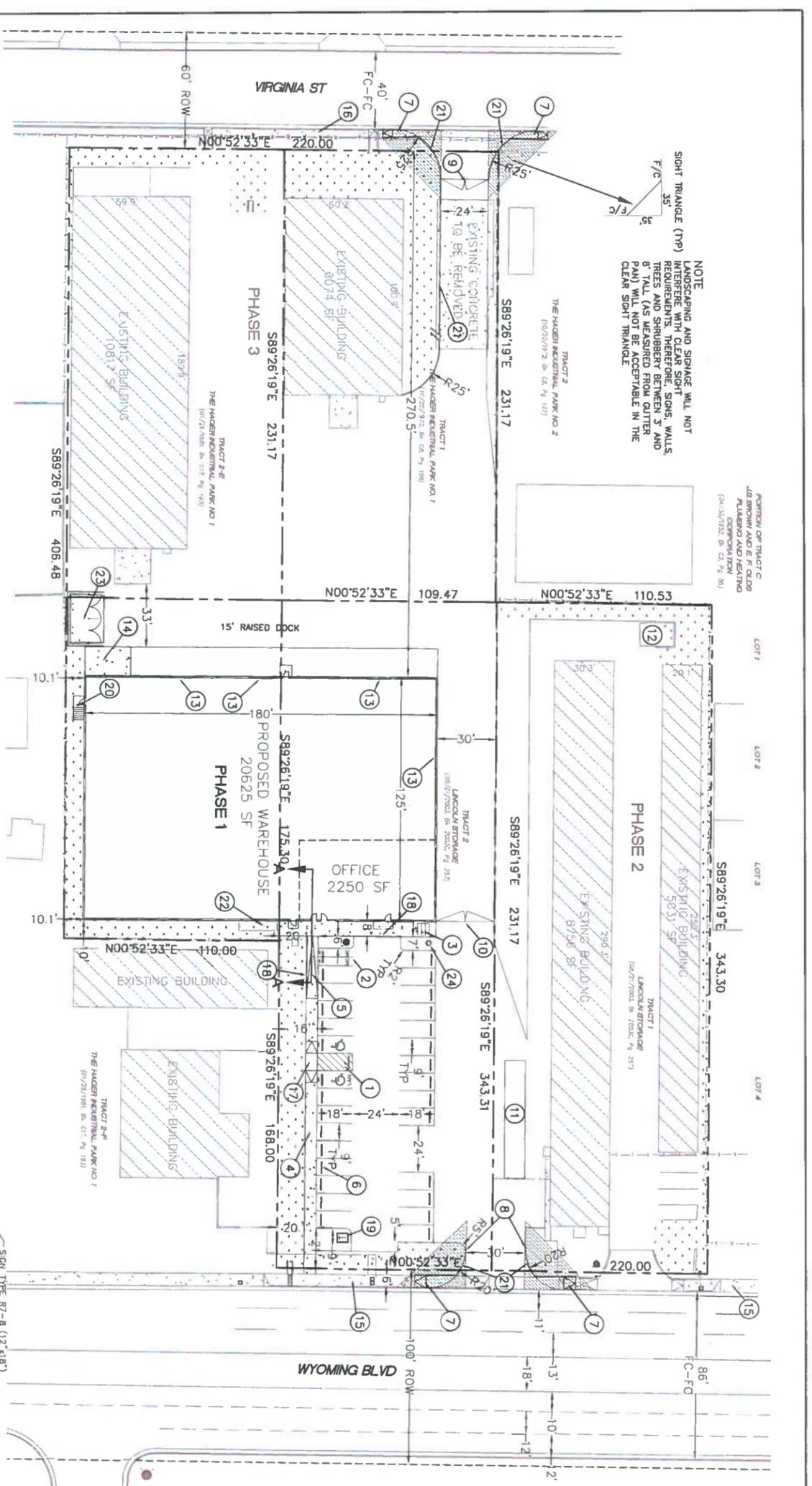
Sincerely,

[www.cabq.gov](http://www.cabq.gov)

  
Niki Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

ALL WHEELCHAIR RAMP LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



**NOTE**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

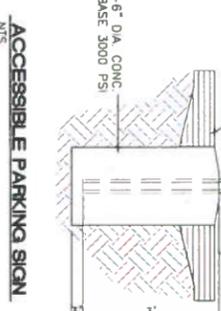
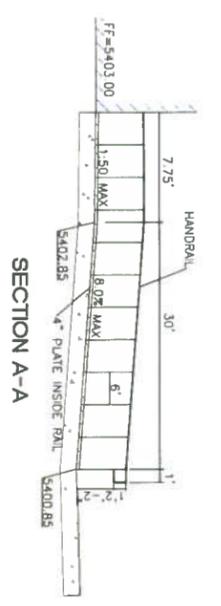
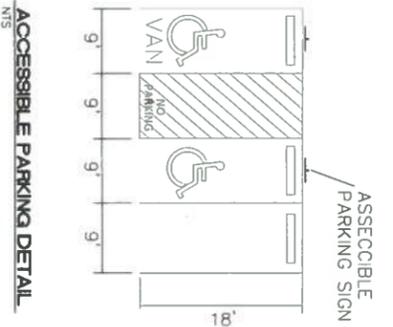
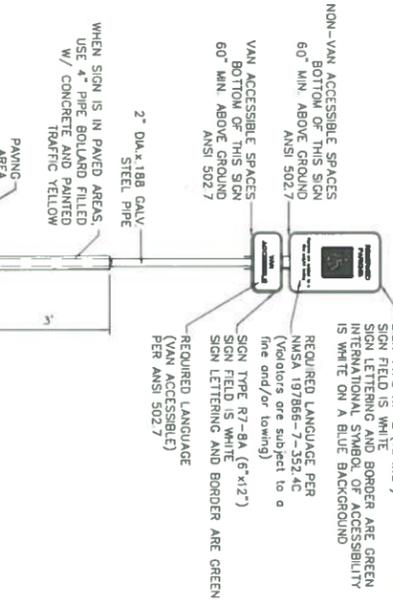
**LEGEND**

- BOUNDARY LINE
- EASEMENT
- PROPOSED BUILDING
- EXISTING CURB & GUTTER
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING SIDEWALK
- NEW SIDEWALK
- LANDSCAPE

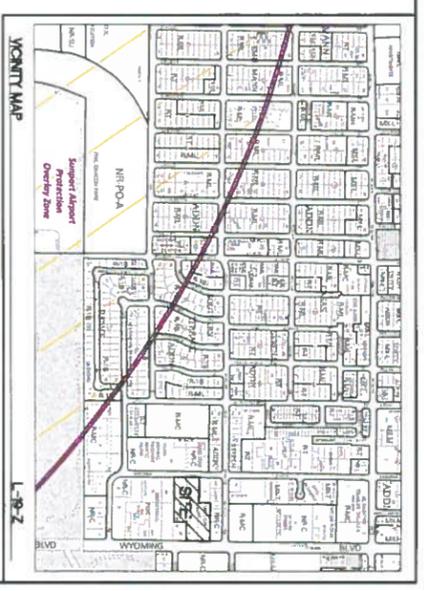
**KEYED NOTES**

- 1 ACCESSIBLE PARKING PER ADA REQUIREMENTS SEE DETAIL THIS SHEET
- 2 MOTORCYCLE PARKING (9'x4.5') W/SIGN SEE DETAIL SHEET DET-1
- 3 BICYCLE RACK SEE DETAIL SHEET DET-1
- 4 6" CONCRETE SIDEWALK PER COA STD DWG 2430
- 5 3" RAMP W/HANDRAIL
- 6 WHEEL STOP (TYP) SEE DETAIL SHEET DET-1
- 7 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 8 3" TRANSITION TO ZERO CURB
- 9 NEW 24" GATE
- 10 NEW 30" GATE
- 11 EXISTING SCALE
- 12 EXISTING DUMPSTER TO BE RELOCATED
- 13 ROLLUP BAY DOOR
- 14 23'x15' STORAGE AREA
- 15 EXISTING 6" SIDEWALK
- 16 EXISTING 4" SIDEWALK
- 17 ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 18 HANDRAIL SEE DETAIL SHEET DET-1
- 19 TRANSFORMER/BOLLARDS
- 20 6"x6" LANDING WITH STAIRS AND HANDRAIL
- 21 6" CURB AND GUTTER PER COA STD DWG 2415A
- 22 CONDENSING UNITS
- 23 DOUBLE DUMPSTER W/ENCLOSURE SEE DETAIL SHEET DET-1
- 24 GAS METER

*ccg and/or*



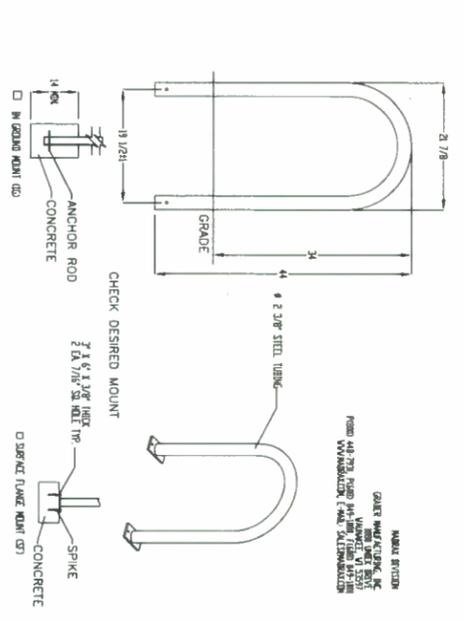
ENGINEER'S SEAL	ROALD R. BOJAWAN	PROFESSIONAL ENGINEER	11-12-2020
DATE	11-12-2020	DRAWN BY	PM
PROJECT	C and D LAND CORP 4TH WYOMING BLVD., ALBUQUERQUE, NM	DRAWING	2020055-SP
DESIGNER	TERESA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terestwest.com	SHEET	SP-1
DATE	11-12-2020	JOB #	2020055



**TRAFFIC CIRCULATION LAYOUT APPROVED**

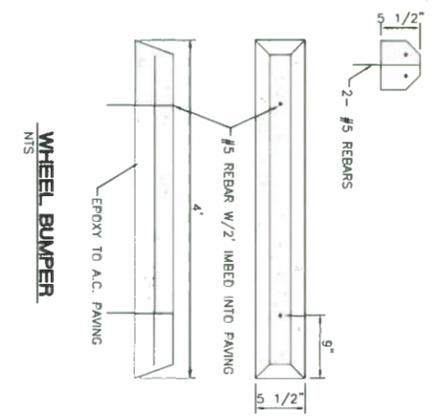
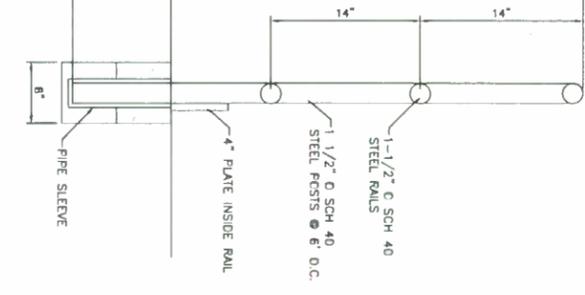
Signed: *[Signature]*  
Date: 11/24/20

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



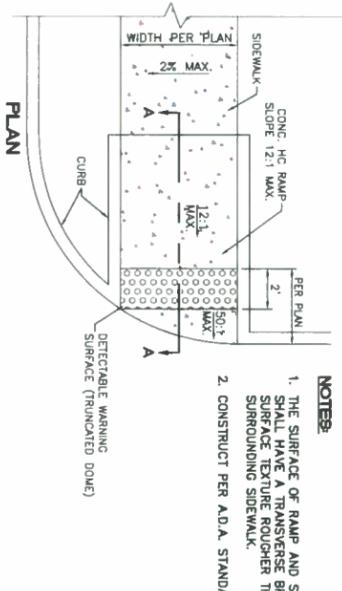
**BIKE RACK DETAIL**  
SCALE: NONE

PROVIDE (USE FOR) DESCRIPTION OF THE RACK MAT: 8'-4" 2" HIGH SURFACE OR IN GRADE MOUNT FOR USE CONSTRUCTION DRAWING AND MATERIALS TO BE USED OR REVIEWED BY THE USER. THE USER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE RACK. THE USER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE RACK. THE USER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE RACK.

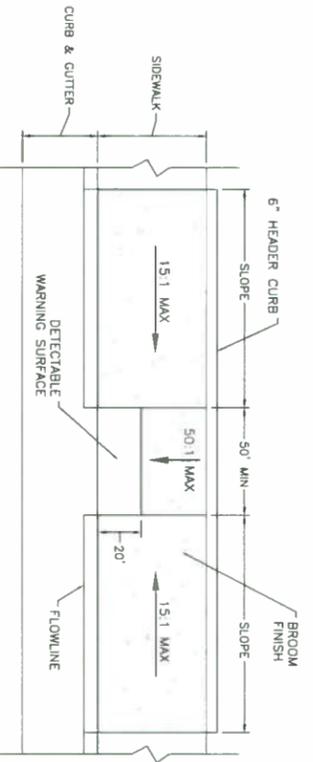


**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.

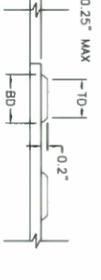


**SECTION A-A**  
**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE

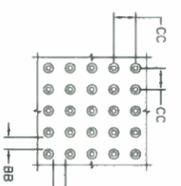


**NOTES:**

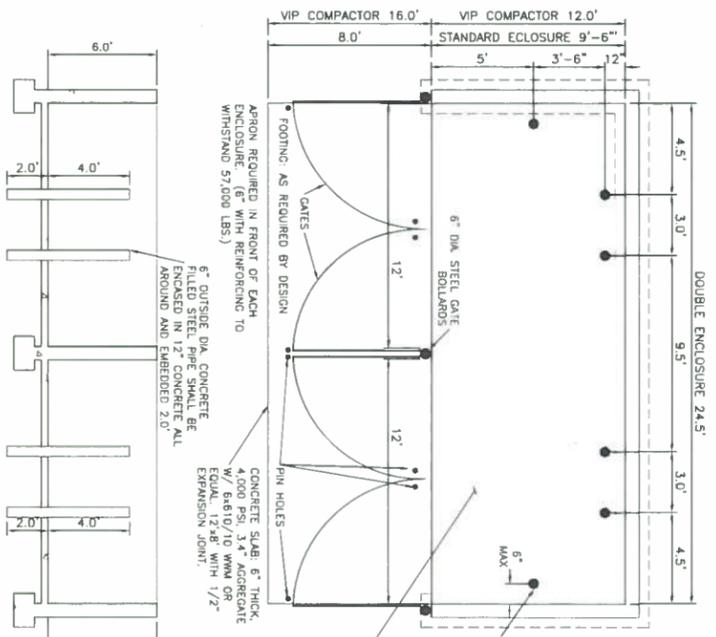
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



**DOME SECTION**  
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



**DOME SPACING**  
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN



**NOTE:** THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

2. SOLID WASTE IS TO BE PLACED IN THE APRON ENCLOSURE. THE APRON ENCLOSURE SHALL BE PREPARED FOR SOLID WASTE AND APRON, BOND BEAM, BOLLARD, AND TRAIL INSPECTION WILL BE CONDUCTED FOR SOLID WASTE SIGN OFF FOR FINAL CO.

**DUMPSTER W/SAS DRAIN - ENCLOSURE DETAIL**  
NTS

**TRAFFIC CIRCULATION LAYOUT APPROVED**

Signed \_\_\_\_\_ Date 11/24/20

<p>ENGINEERS SCALE RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868</p>	<p>5571 WIDMAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 885-3100 www.rbohannan.com</p>	<p>DRAWN BY pm</p>
<p>C and D LAND CORP 411 WYOMING BLVD ALBUQUERQUE, NM</p>	<p>DATE 11-12-2020</p>	<p>DATE 11-12-2020</p>
<p>CONSTRUCTION DETAILS</p>	<p>2020055-DT</p>	<p>SHEET / DET-1</p>
<p>JOB # 2020055</p>	<p>2020055</p>	<p>2020055</p>