

CITY OF ALBUQUERQUE



March 24, 2010

A. Miguel Trujillo, R.A.
Miguel Trujillo & Associates
918 Highway 304
Veguita, NM 87062

Re: Cuauhtemoc Carneceria Building, 520 Louisiana Blvd SE
Permanent Certificate of Occupancy – Transportation Development
Architect's Stamp dated 12-20-04 (L19-D030A)
Certification dated 03-19-10

Dear Mr. Trujillo,

Based upon the information provided in your submittal received 03-24-10, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 12/2005)

PROJECT TITLE: CUAUHTEMOC CORNERERIA BLDG. ZONE MAP: L19/D030A
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: BLOCK 10 LOT A REPLATS OF LOTS 5 & 6
 CITY ADDRESS: 520 LOUISIANA S.E. EMIL MANN ADDITION

~~ENGINEERING FIRM:~~ _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: JUAN M. JACQUEZ CONTACT: JUAN
 ADDRESS: 844 BRIDGE S.W. PHONE: 239-9615
 CITY, STATE: ALBUQ. NM ZIP CODE: 87105

ARCHITECT: MTA ARCHITECTURE CONTACT: MIGUEL
 ADDRESS: 918 HIGHWAY 304 PHONE: 866-3722
 CITY, STATE: VESENTA, NM ZIP CODE: 87662

SURVEYOR: UNKNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: UNKNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ ~~ARCH.~~ ☒ TRAFFIC CIRCULATION LAYOUT
☒ ~~ARCH.~~ ☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ ~~ARCH.~~ ☒ CERTIFICATE OF OCCUPANCY (PERM)
☒ ~~ARCH.~~ ☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS ☒ PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: MARCH 19, 2010 HYDROLOGY: A. Miguel J. J. J.
 SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

MIGUEL TRUJILLO & ASSOCIATES

ARCHITECTURE

PLANNING

CONSTRUCTION MANAGEMENT

918 HIGHWAY 304 VEGUITA, NEW MEXICO 87062

TELE # [505] 864-3722

CELL # [505] 410-4776

March 19, 2010

City of Albuquerque
Planning Department
Development and Building Services
600 2nd Street N.W.
Albuquerque, NM 87102

Subject: Carnecería Cuauhtemoc, Retail Store
520 Louisiana Blvd. S.E.

Re: Site Plan/ Traffic Circulation Layout [L19-D30A]

Att: Ms. Kristal D. Metro,
Engineering Plan Reviewer

Ms. Metro:

I, A. Miguel Trujillo, a New Mexico registered Architect, dba Miguel Trujillo & Associates hereby certify my review and confirmation of the traffic circulation layout in reference to the above captioned project, only!

I personally visited the stated site on Wednesday March 17th, measured all parking spaces and compared them to the original TCL plan on file dated 12/20/04 in my possession. I reviewed the landscaping installation which is very close to the design layout.

There are some deviations within small tolerances, by measurement and visual inspection. There are improvements to finished site conditions and extent of materials.

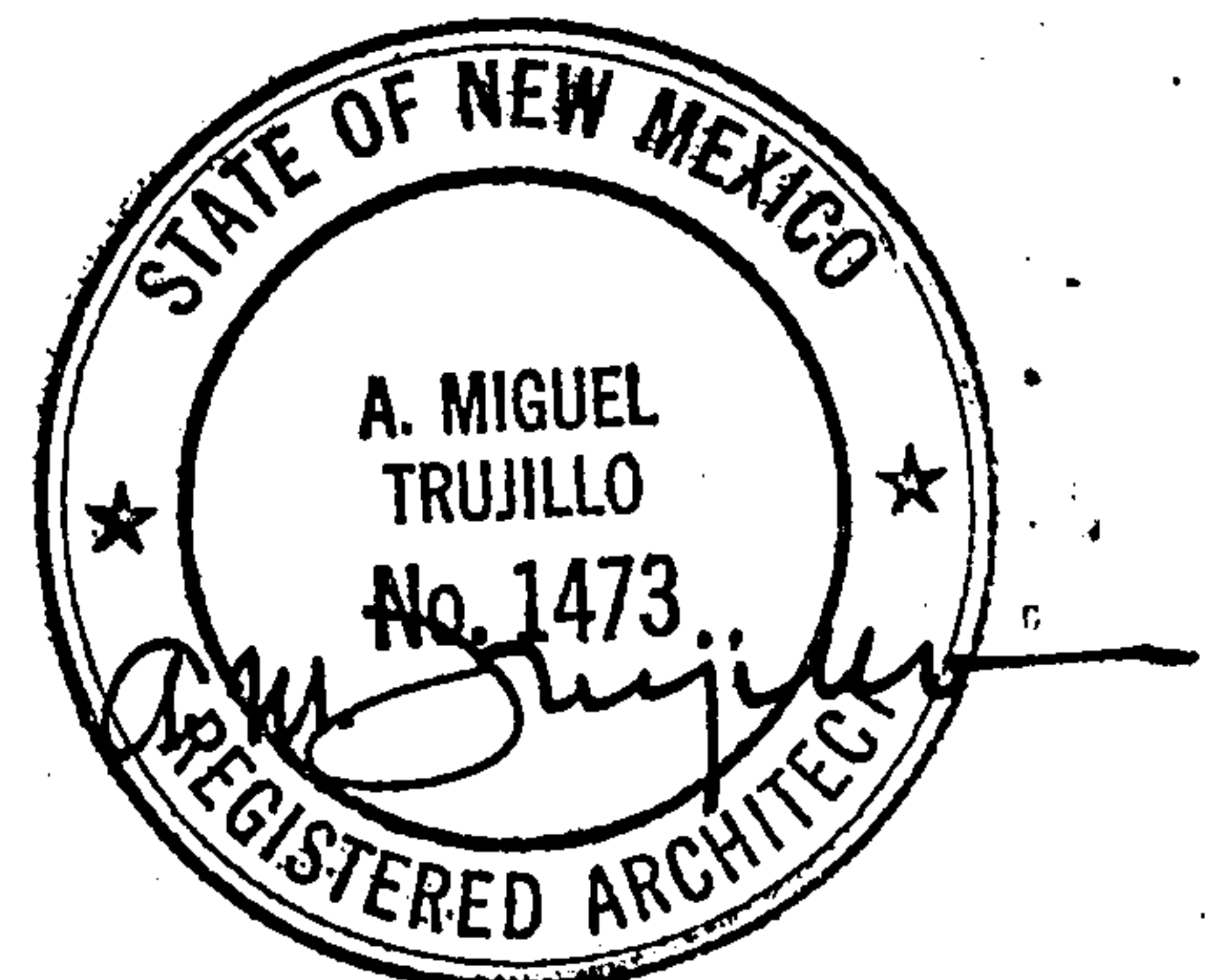
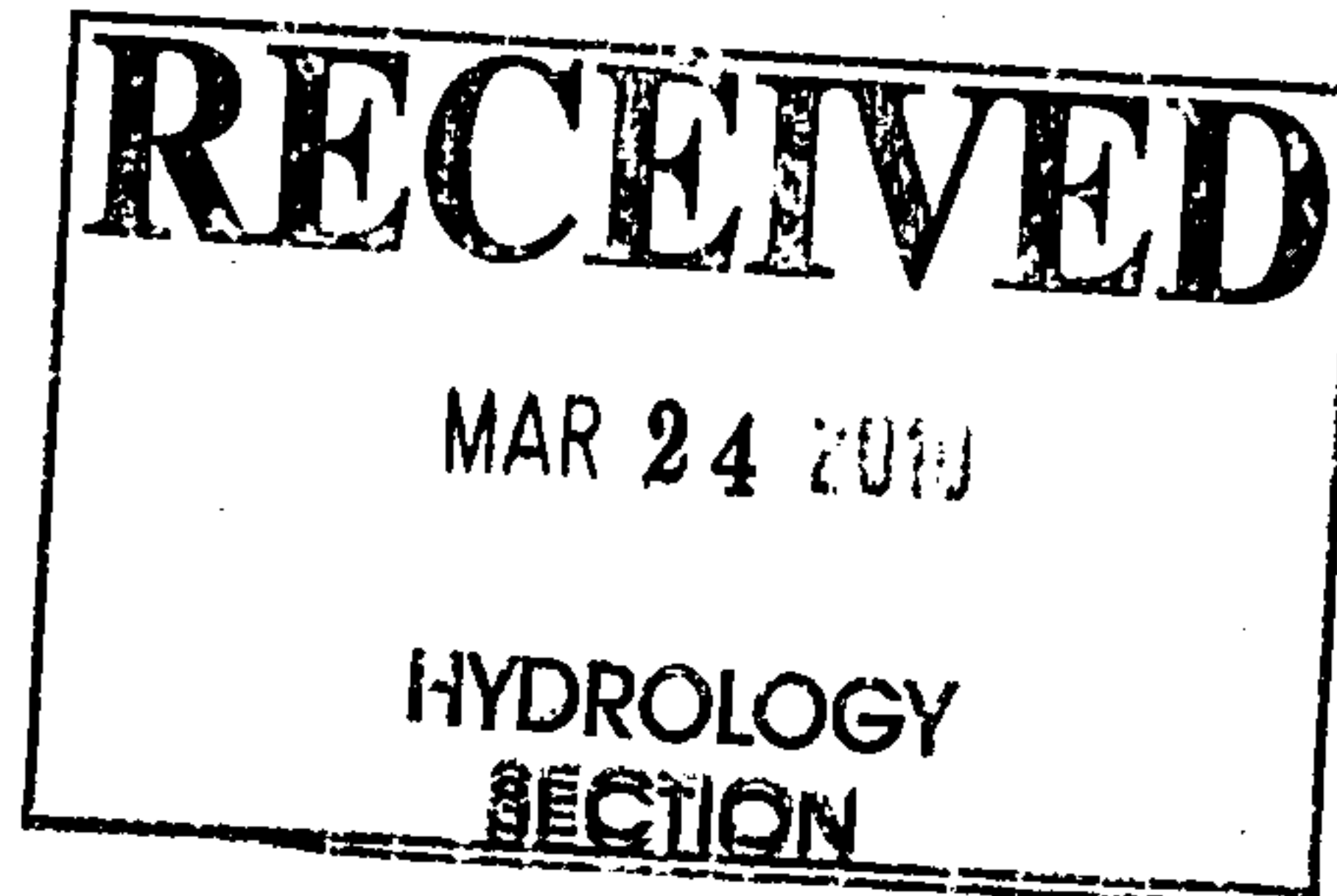
I herein certify that the above captioned project is in Substantial Compliance with the intent of the approved Site Development Plan dated 12/21/04.

A few deviations in plan are shown marked up to show approx. as-built conditions.

This certification is submitted in support of a recent request by the Owner of the retail store, because of his need to acquire a final "Certificate of Occupancy".


A. Miguel Trujillo, Architect

XC: Owner Office Files



REGISTERED ARCHITECT
NM LIC. # 001473

A. MIGUEL TRUJILLO, NCARB
TEXAS LIC. # 20053

LICENSED CONTRACTOR
NM LIC. # 85898

CITY OF ALBUQUERQUE



March 29, 2010

Eufracio Sabay, P.E.
c/o Bernie J. Montoya
BJM CONSULTANT
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Cuauhtemoc Carneceria Building, 520 Louisiana Blvd. SE,
Request for Permanent C.O.—Approved
Engineer's Stamp dated: 08-01-04 (L-19/D030A)
Certification dated: 3-25-10**

Dear Mr. Sabay,

Based upon the information provided in the Certification received 3-26-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE:CUAUHTEMCO CARNECERIA BUILDING
DRB #:
PC#: N/A

ZONE MAP/DRG. FILE # L19/D30A
WORK ORDER#:

LEGAL DESCRIPTION: LOT "A", BLOCK 10 EMIL MANN ADDITION
CITY ADDRESS: 520 LOUISIANA BLVD. S.E.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT
ADDRESS: 8624 CASA VERDE AVE. N.W.
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA
PHONE: 250-7719
ZIP CODE: 87120

OWNER:
ADDRESS:
CITY, STATE: Albuquerque, New Mexico

CONTACT:
PHONE:
ZIP CODE:

ARCHITECT: MIGUEL TRUJILLO & ASSOCIATES
ADDRESS: 8504 SPAIN ROAD N.E.
CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: MIGUEL TRUJILLO
PHONE:821-5687
ZIP CODE:87111

SURVEYOR: N/A
ADDRESS:
CITY, STATE:

CONTACT:
PHONE:
ZIP CODE:

CONTRACTOR: N/A
ADDRESS:
CITY, STATE:

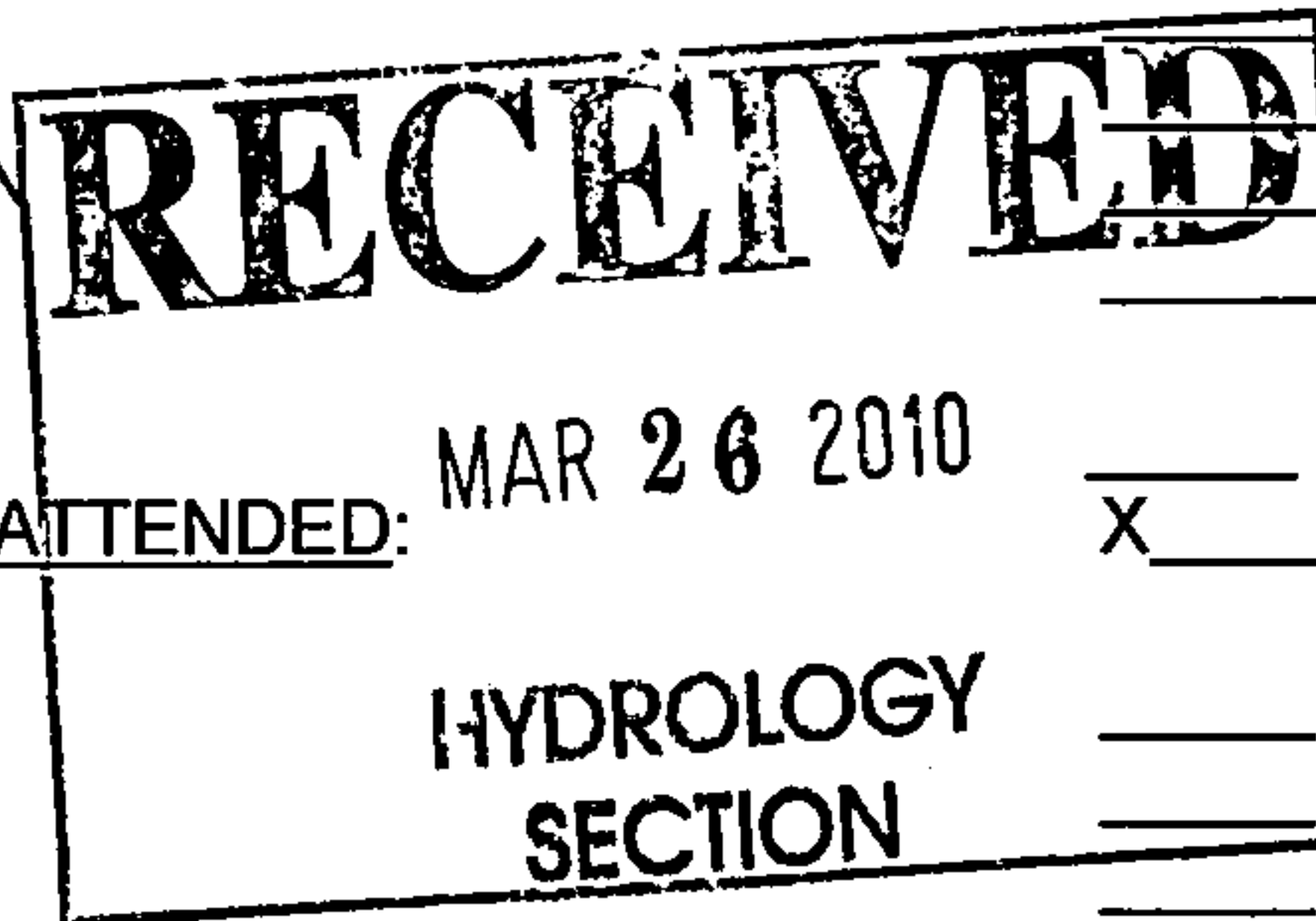
CONTACT:
PHONE:
ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ PAVING PLAN
☐ TCL CERTIFICATION
☐ RESUBMITTAL
WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) CERTIFICATION



DATE SUBMITTED: 3/26/2010 BY: Bernie J. Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 21, 2003

Richard Bennett, R.A.
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Retail Store (Cuahtemoc Tortilleria y Carneceria), 520 Louisiana Blvd. SE, Traffic Circulation Layout

Architect's Stamp dated 11-12-03 (L19/D3A)

Dear Mr. Bennett,

Based upon the information provided in your submittal received 11-12-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List radii for all curves shown.
2. Please show the location of the nearest driveway on the adjacent lots.
3. Provisions for service vehicles are required; please detail these provisions on the plan.
4. Is there a sidewalk in front of the building?
5. Please show a vicinity map.
6. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
7. Please list the size of the lot.
8. Where is the entrance to this building?
9. A ramp is needed for wheelchair access to the front sidewalk.
10. Label the street providing access and provide details, such as the number of lanes, their width, and median openings.
11. The handicap space must be 8.5 feet in width.
12. Is there a dumpster on this site? If so, it should be shown on the plan.
13. Where is the pedestrian connection to the public sidewalk?
14. Is the area east of the proposed building landscaped?

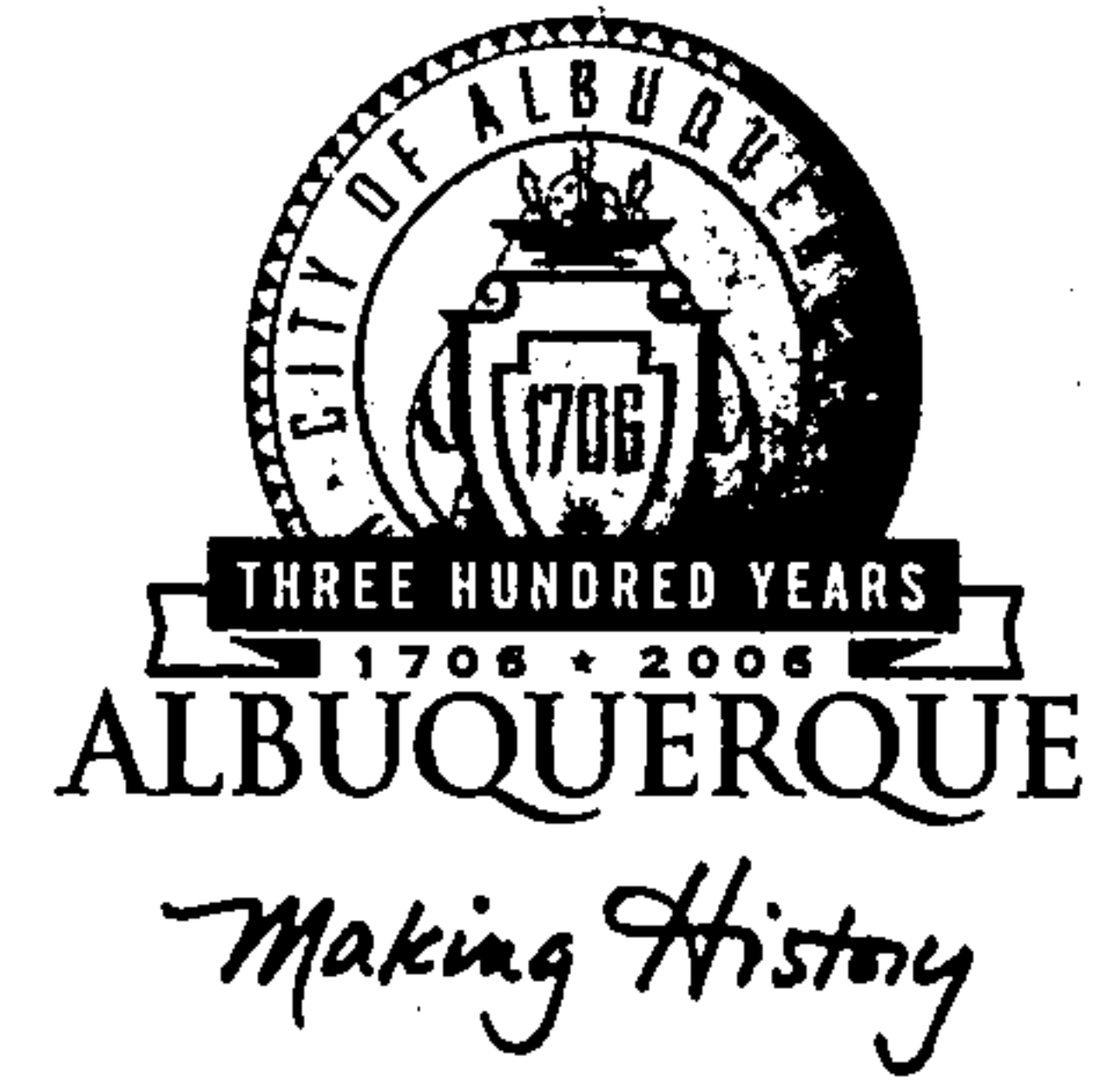
If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



August 3, 2004

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

**Re: Cuauhtemoc Carneceria Building, 520 Louisiana Blvd SE, Grading and
Drainage Plan**

Engineer's Stamp dated 8-01-04 (L19-D30A)

Dear Mr. Sabay,

Based upon the information provided in your submittal received 8-03-04, the
above referenced plan is approved for Building Permit. Please attach a copy of this
approved plan to the construction sets prior to sign-off by Hydrology. Prior to
Certificate of Occupancy release, Engineer Certification per the DPM checklist will be
required.

P.O. Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3981.

New Mexico 87103

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

www.cabq.gov

C: File



January 27, 2004

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Richard Bennett, R.A.
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Cuauhtemoc Tortilleria y Carneceria, 520 Louisiana Blvd. SE, Traffic Circulation Layout

Architect's Stamp dated 11-12-03 (L19/D30A)

Dear Mr. Bennett,

The TCL submittal received 1-27-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

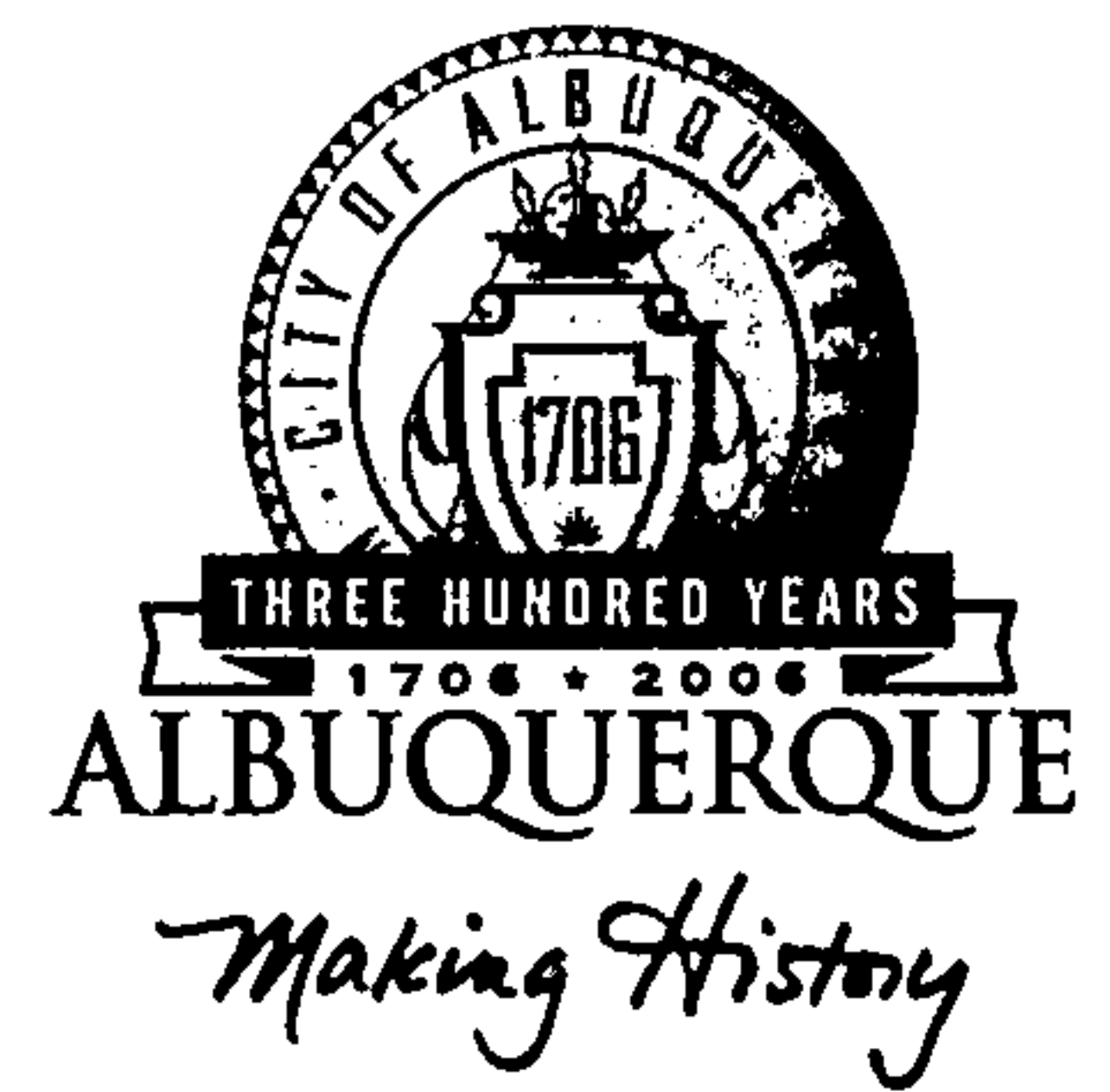
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept. 
Development and Building Services

cc: file

CITY OF ALBUQUERQUE



September 20, 2004

A. Miguel Trujillo, R.A.
Miguel Trujillo & Associates
8504 Spain Rd. NE
Albuquerque, NM 87111

**Re: Retail Store (Cuauhtemoc Carneceria), 520 Louisiana Blvd. SE, Traffic
Circulation Layout
Architect's Stamp dated 9-09-04 (L19-D30A)**

Dear Mr. Trujillo,

Based upon the information provided in your submittal received 9-10-04, the
above referenced plan cannot be approved for Building Permit until the following
comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

1. Please refer to all applicable city standards.
2. How will the spaces along the proposed trash enclosure exit? (How will they open their car doors?)
3. Please show a vicinity map.
4. The handicapped spaces must be a minimum of 8.5 feet in width.
5. Will bumpers be used to protect the porch columns from vehicles?

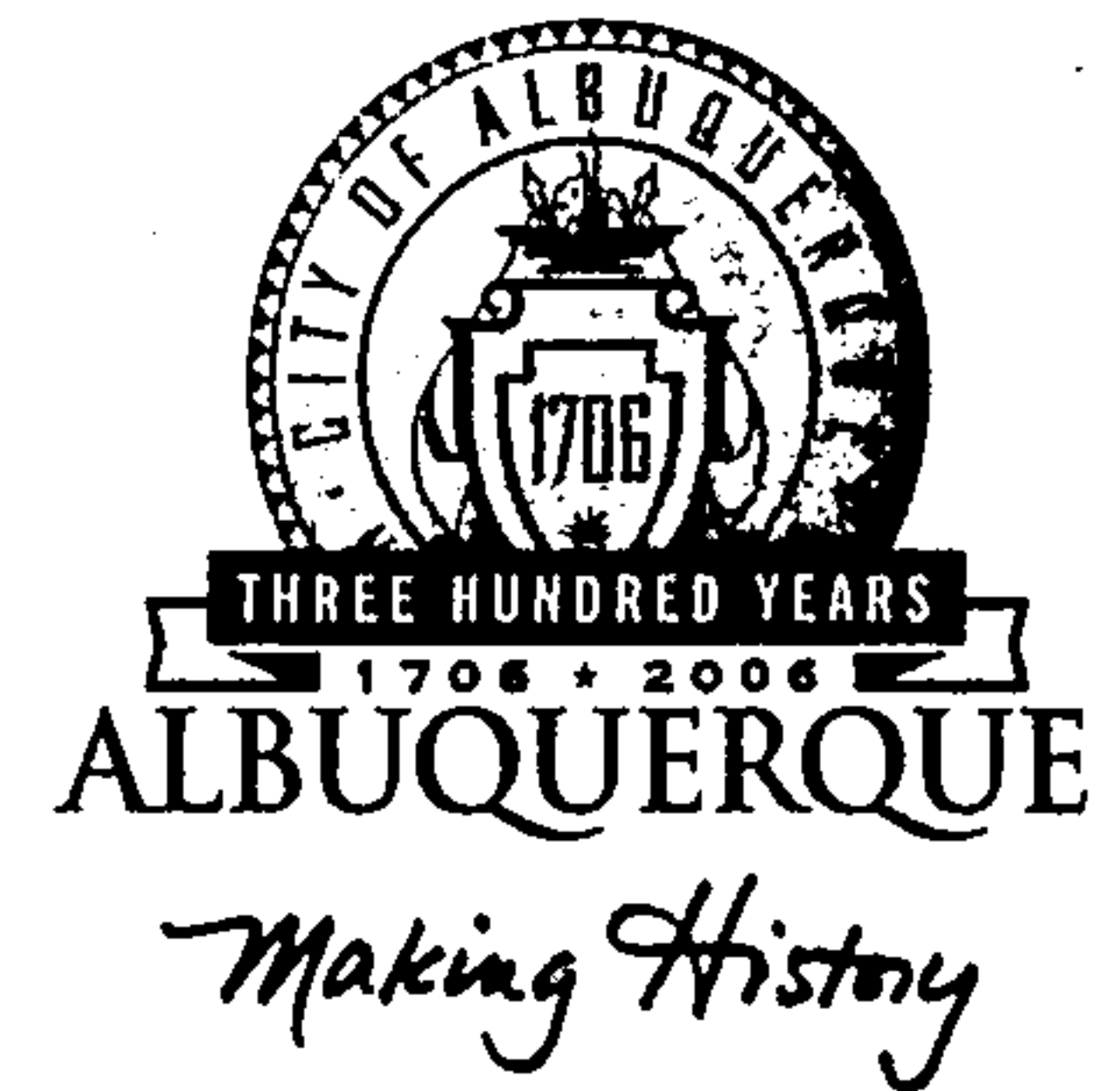
If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



September 29, 2004

A. Miguel Trujillo, R.A.
Miguel Trujillo & Associates
8504 Spain Rd. NE
Albuquerque, NM 87111

Re: Retail Store (Cuauhtemoc Carneceria), 520 Louisiana Blvd. SE,
Traffic Circulation Layout
Architect's Stamp dated 9-28-04 (L19-D30A)

Dear Mr. Trujillo,

The TCL submittal received 9-29-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

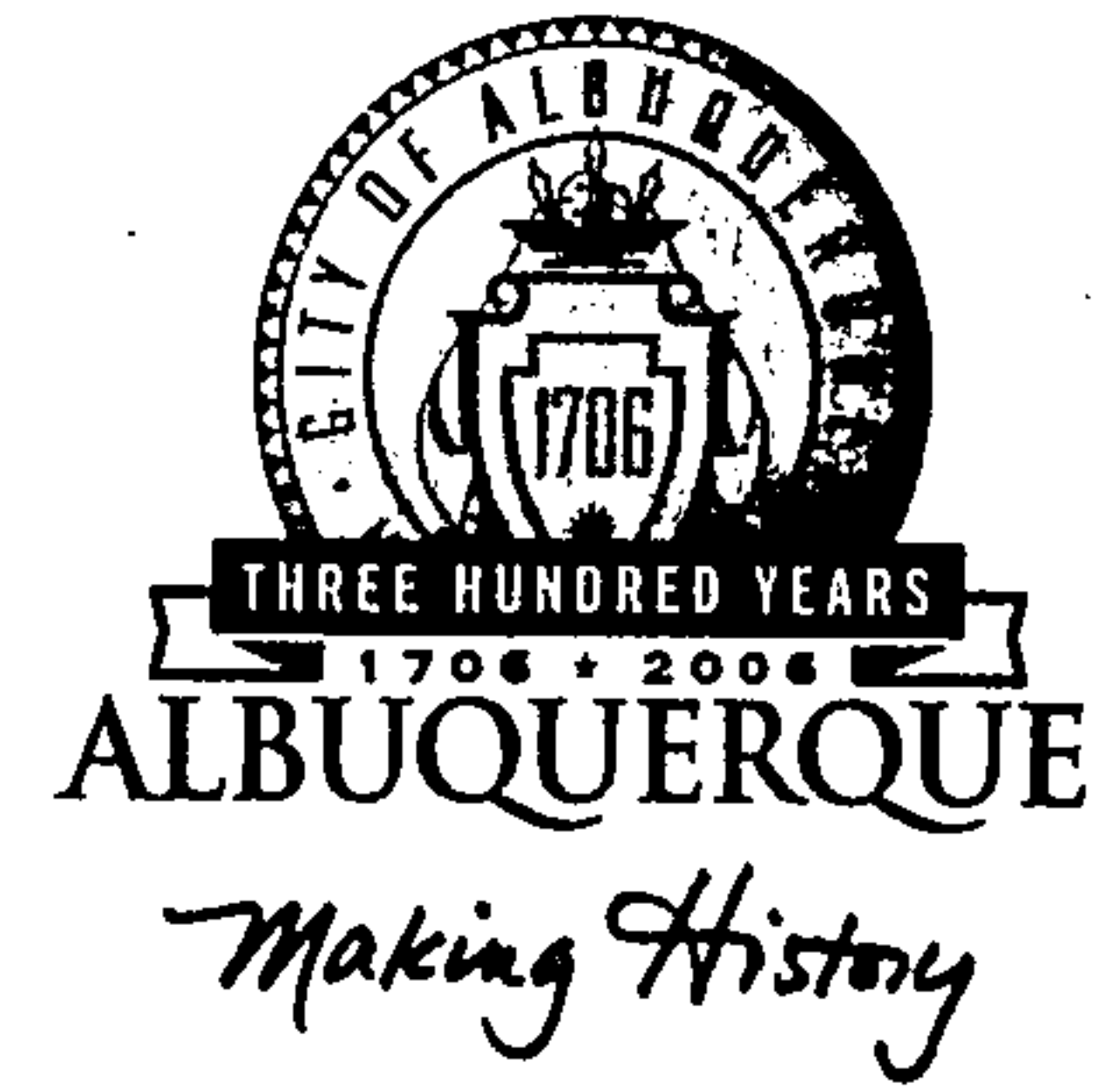
Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

CITY OF ALBUQUERQUE

L-19/D30A



December 21, 2004

A. Miguel Trujillo, R.A.
Miguel Trujillo & Associates
8504 Spain Rd. NE
Albuquerque, NM 87111

Re: Retail Store (Cuauhtemoc Carneceria), 520 Louisiana Blvd. SE, Traffic Circulation
Layout
Architect's Stamp dated 12-20-04 (L19-D30A)

Dear Mr. Trujillo,

The TCL submittal received 12-21-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 6, 2003

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

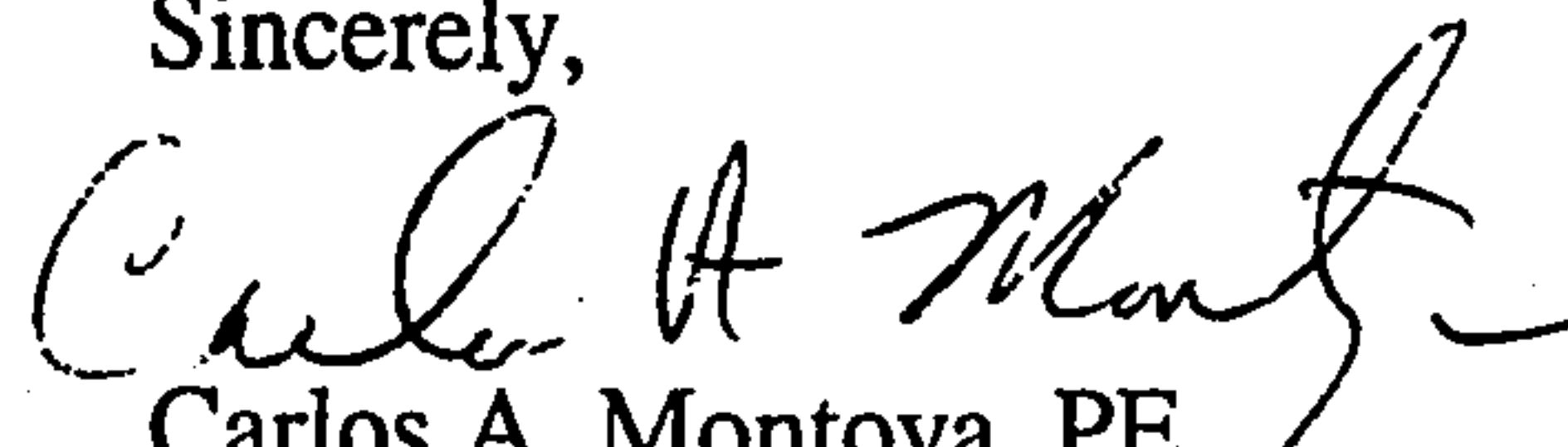
**Re: Retail Store, 520 Louisiana Blvd. SE, Grading and Drainage Plan
Engineer's Stamp dated 11-05-03 (L19/D30A)**

Dear Mr. Sabay,

Based upon the information provided in your submittal received 11-06-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Carlos A. Montoya, PE
City Floodplain Administrator

C: file