



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 26, 2002

Frank Lovelady, P.E.
Lovelady & Assoc.
300 Alamosa NW
Albuquerque, New Mexico 87107

RE: APARTMENT COMPLEX (L-19/D53)
(309 Tennessee SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 11/3/1994
ENGINEERS CERTIFICATION DATED 2/18/2002

Dear Mr. Lovelady:

Based upon the information provided in your Engineers Certification submittal dated 6/29/2001, and based upon the SO19 approval on 6/26/2002, by the City's Storm Drainage Maintenance inspector, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

B1B

C: Vickie Chavez, COA
✓ drainage file
approval file

CITY OF ALBUQUERQUE
Public Works Department

L-19/053

INTER-OFFICE CORRESPONDENCE

2002

TO: Glenn Jurgensen, Superintendent, Storm Drainage Maint - PWD
FROM: Matthew Cline, Drainage Inspector, Storm Drainage Maint - PWD *MC*
SUBJECT: SO-19

A final inspection was conducted at (309 Tennessee Street SE) SO-19 project. The project was found to be non-compliant with all City requirements for drainage.

C: File

OK per matt
6/26/02
CAN ISSUE
PERMANENT C.O.

CITY OF ALBUQUERQUE

PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

CONTRACTOR LICENSE ADDRESS	PUFF, GEOMY CONSTR. GAGE P.O. BOX 10790 ALBUQUERQUE, NM 87184-0790	PERMIT NUMBER PROJECT NUMBER PERMIT ISSUE DATE BARRICADED BY BLUE STAKE PAVING BY	0047126 07/09/2001 07/27 CIV														
STREET	20 SE ST SE	EXCAVATION 443008-5810000 SIDEWALK 443012-5810000 DRIVEPAD 443011-5810000 CURB/GUTTER 443010-5810000 BARRICADING 443009-5810000 RESTORATION 443017-5810000 TOTAL FEE															
PERMIT AND DETOUR PLAN COMMENTS LETTER ON FILE PLANS ATTACHED		<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%; text-align: right;">42.00</td> <td style="width: 20%; text-align: left;">LX</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td style="text-align: left;">SW</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td style="text-align: left;">DP</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td style="text-align: left;">CG</td> </tr> <tr> <td style="text-align: right;">25.00</td> <td style="text-align: left;">BR</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td style="text-align: left;">R</td> </tr> <tr> <td style="text-align: right;">67.00</td> <td></td> </tr> </table>		42.00	LX	0.00	SW	0.00	DP	0.00	CG	25.00	BR	0.00	R	67.00	
42.00	LX																
0.00	SW																
0.00	DP																
0.00	CG																
25.00	BR																
0.00	R																
67.00																	
START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE ATLAS												
07/10/2001	07/12/2001	07/17/2001	11/09/2001	12/31/2001													
<div style="border-bottom: 1px solid black; height: 40px; margin-bottom: 5px;"> </div> <div style="border-bottom: 1px solid black; height: 40px; margin-bottom: 5px;"> </div> <div style="text-align: center;"> APPLICANT ISSUED BY </div>			VOID UNTIL VALIDATED BY CITY TREASURER														

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING IDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES. AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 768-2551 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

PWD 003 REV 07/98

DATE EXCAVATION STARTED _____

Backfill: Started _____ Completed _____ Accepted _____

Paved Cleared _____ Site Cleared _____ Warranty Exp _____

Restoration Fee Refund Authorized Yes _____ NO _____ BY: _____

Cash Disbursement Prepared for Refund Dated _____



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 9, 2001

Frank Lovelady, PE
Lovelady & Associates
300 Alamosa NW
Albuquerque, NM 87107

**Re: Apartment Complex – 309 Tennessee SE, Grading and Drainage Plan
Engineer's Stamp dated 11-3-94 (L19/D53)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal dated 6-28-01, the above referenced site is approved for Building Permit and SO #19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within the City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Hydrology

C: Pam Lujan
file

*Genny Fohl
pulled permit
2047126
67.00
7/9/01*

DRAINAGE INFORMATION SHEET

PROJECT TITLE: APARTMENT COMPLEX ZONE MAP/DRG. FILE #: L-19/D-53
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 14, BLOCK 2, CASAS SERENAS
 CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D. LOVEADY, P.E.
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: ALBUQUERQUE N.M.

CONTACT: FRANK LOVEADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: MARK HARBERTS
 ADDRESS: 626 GRACE NE
 CITY, STATE: ALBUQUERQUE NM 87123

CONTACT: MARK HARBERTS
 PHONE: 296-8019
 ZIP CODE: 87123

ARCHITECT: MARK HARBERTS
 ADDRESS: 626 GRACE NE
 CITY, STATE: ALBUQUERQUE NM 87123

CONTACT: MARK HARBERTS
 PHONE: 296-8019
 ZIP CODE: 87123

SURVEYOR: SOUTHWEST SURVEYING
 ADDRESS: 333 LOMAS BLVD. NE
 CITY, STATE: ALBUQUERQUE NM

CONTACT: DAN GRANEY
 PHONE: 247-4444
 ZIP CODE: 87107

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ CLOMR/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

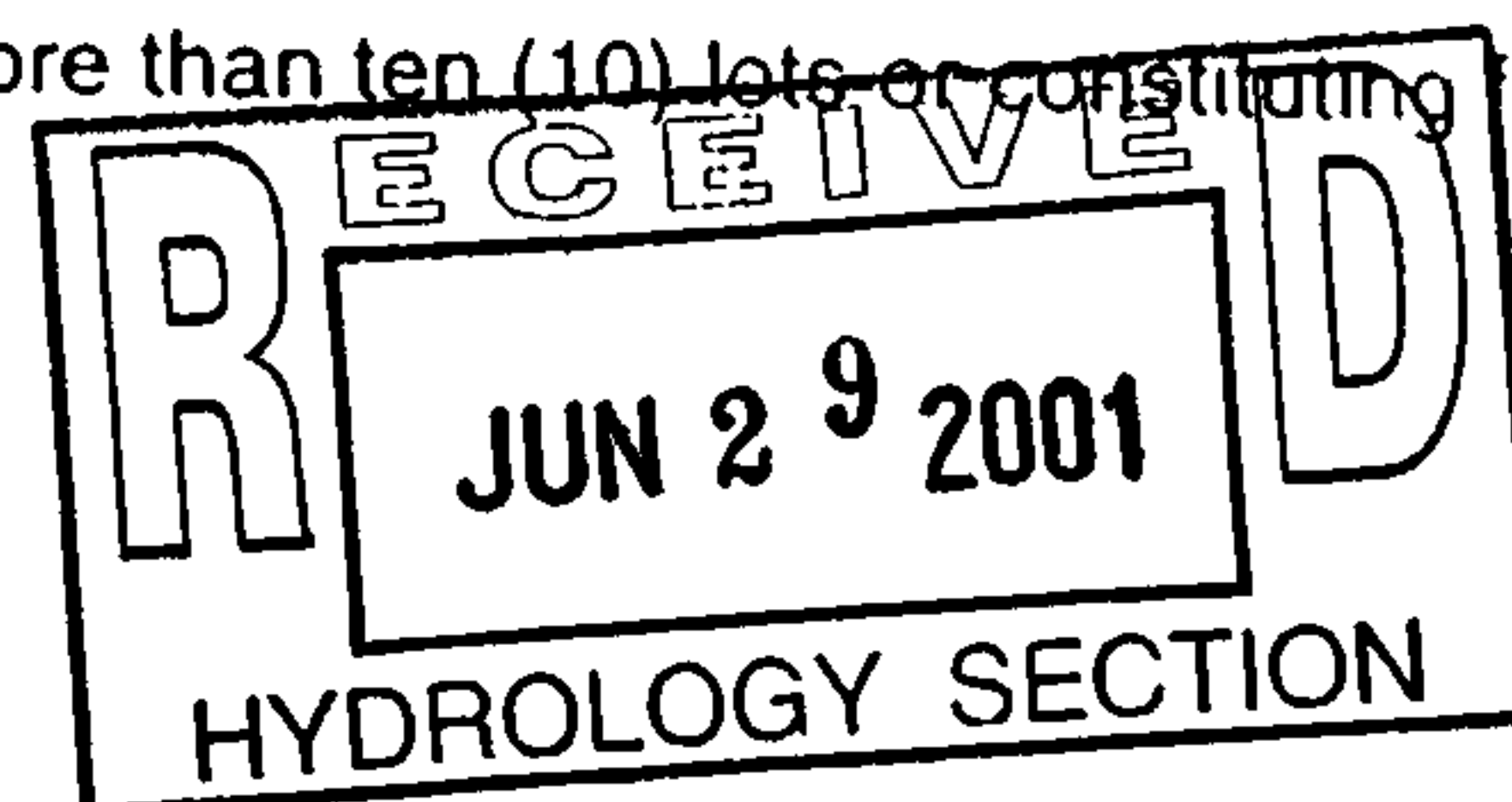
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: June 29, 2001 BY: Frank D. Loveady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

July 29, 1999

Frank Lovelady, P.E.
Lovelady & Associates, PA
300 Alamosa NW
Albuquerque, NM 87107

- **Case No:** L19 / D053
 - **Submittal dated:** June 25, 1999
 - **Engineer Stamp:** June 25, 1999
 - **Project Title:** Apartment Complex
 - **Address:** 309 Tennessee NE
 - **Location:** Alameda east of Coors
 - **Owner:** Waterman Associates, 626 Glace NE
 - **Approval Type:** building permit
-
- **Note:** *This submittal concerns the infill development of a 6,700 sf site. The site will drain 0.76-cfs east onto Tennessee Street utilizing two 4-inch PVC culverts under the curb.*

Dear Mr. Lovelady:

Based on your submittal dated June 25, 1999, the proposed drainage plan is approved for building permit. Please clarify that Tennessee Drive will drain continuously from south to north. According to the spot elevations along the flowline of the gutter, the culvert discharge will pond at the low spot shown at elevation 70.44 feet and will create a puddle in front of the driveway. Also, be sure to maintain a minimum slope of one-half percent around the proposed building to drain to the parking lot.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 924-3980. As always, it's a pleasure reviewing your work. Thanks for submitting and have a wonderful day!

Sincerely,

Fred J. Aguirre, P.E.
City Engineer



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 7, 1994

Frank Lovelady
Lovelady & Associates
300 Alamosa Rd. NW
Albuquerque, NM 87107

RE: DRAINAGE PLAN FOR AN APARTMENT COMPLEX @ LOT 14, BLK. 2
CASAS SERENAS ADDITION (L19-D53) ENGINEER'S STAMP DATED
11/3/94.

Dear Mr. Lovelady:

Based on the information provided on your November 7, 1994
submittal, the above referenced site is approved for Building
Permit.

Listed are some touchy concerns that you may want to follow up
during construction:

1. Proposed swale on the north side of building is about or
less than the required 1/2% slope.
2. Provision must be made to allow free flow within the swales
without fence obstructions.

Prior to Certificate of Occupancy release, Engineer Certification
per the D.P.M. checklist will be required.

Also, a separate permit is required for construction within City
Right-of-Way. A copy of this approval letter must be on hand
when applying for the excavation permit.

Please attach a copy of this approved plan to the construction
sets prior to sign-off by Hydrology.

If I can be of further assistance, Please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

c: Andrew Garcia
Arlene Portillo
Mark Harberts
File



City of Albuquerque

August 18, 1999

Frank Lovelady, P.E.
Loevlady & Associates,
300 Alamosa NW
Albuquerque, NM 87107

RE: APARTMENT COMPLEX (L19-D53). DRAINAGE PLAN FOR
BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED JUNE 25, 1999.

Dear Mr. Lovelady:

Based on the information provided on your June 25, 1999 submittal, the proposed drainage plan is approved for building permit.

Please clarify that Tennessee Drive will drain continuously from south to north. According to the spot elevations along the flowline of the gutter, the culvert discharge will pond at the low spot shown at elevation 70.44 feet and will create a puddle in front of the driveway. Also, be sure to maintain a minimum slope of one-half percent around the proposed building to drain to the parking lot.

If I can be of any further assistance, please feel free to contact me at 924-3984.

Sincerely,

John P. Murray, P.E.
Hydrology

PROJECT TITLE: APARTMENT COMPLEX ZONE ATLAS/DRNG. FILE #: L-19/D-53

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 14, BLOCK 2 CASAS SERENAS ADDN

CITY ADDRESS: _____

ENGINEERING FIRM: Lovelady & Associates CONTACT: Frank D. Lovelady

ADDRESS: 300 ALAMOSA ROAD NW ⁸⁷¹⁰⁷ PHONE: 345-2267

OWNER: WATERMAN INC. CONTACT: Ted Waterman

ADDRESS: 510 WHEELER AVE SE PHONE: 842-8981

ARCHITECT: MARK HARBERTS ARCHITECT CONTACT: MARK HARBERTS

ADDRESS: 2001 CARLISLE NE ⁸⁷¹⁰⁶ PHONE: 268-1234

SURVEYOR: SOUTHWEST SURVEYING CO. CONTACT: DAN GRANEY

ADDRESS: 333 LOMAS BLVD NE PHONE: 247-4444

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER _____ (SPECIFY)

NOV 7 1994

DATE SUBMITTED: November 4, 1994

BY: Frank D. Lovelady

July 29, 1999

Frank Lovelady, P.E.
Lovelady & Associates, PA
300 Alamosa NW
Albuquerque, NM 87107

- **Case No:** L19 / D053
 - **Submittal dated:** June 25, 1999
 - **Engineer Stamp:** June 25, 1999
 - **Project Title:** Apartment Complex
 - **Address:** 309 Tennessee NE
 - **Location:** Alameda east of Coors
 - **Owner:** Waterman Associates, 626 Glace NE
 - **Approval Type:** building permit
- **Note:** *This submittal concerns the infill development of a 6,700 sf site. The site will drain 0.76-cfs east onto Tennessee Street utilizing two 4-inch PVC culverts under the curb.*

Dear Mr. Lovelady:

Based on your submittal dated June 25, 1999, the proposed drainage plan is approved for building permit. Please clarify that Tennessee Drive will drain continuously from south to north. According to the spot elevations along the flowline of the gutter, the culvert discharge will pond at the low spot shown at elevation 70.44 feet and will create a puddle in front of the driveway. Also, be sure to maintain a minimum slope of one-half percent around the proposed building to drain to the parking lot.

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 924-3980. As always, it's a pleasure reviewing your work. Thanks for submitting and have a wonderful day!

Sincerely,

Fred J. Aguirre, P.E.
City Engineer

FILE
2
!

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: APARTMENT COMPLEX ZONE ATLAS/DRNG. FILE #: L-19/D-053

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 14, BLK 2 Casas Serenas

CITY ADDRESS: 309 TENNESSEE NE

ENGINEERING FIRM: LOVELADY & ASSOC. CONTACT: FRANK LOVELADY

ADDRESS: 300 ALAMOSA NW 87107 PHONE: 345-2267

OWNER: WATERMAN ASSOCIATES CONTACT: MARK HARBERTS

ADDRESS: 626 GRACE NE PHONE: 296-8019

ARCHITECT: Mark Harberts CONTACT: MARK HARBERTS

ADDRESS: 626 GRACE NE PHONE: 296-8019

SURVEYOR: Harris Surveying Co. CONTACT: Tony Harris

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

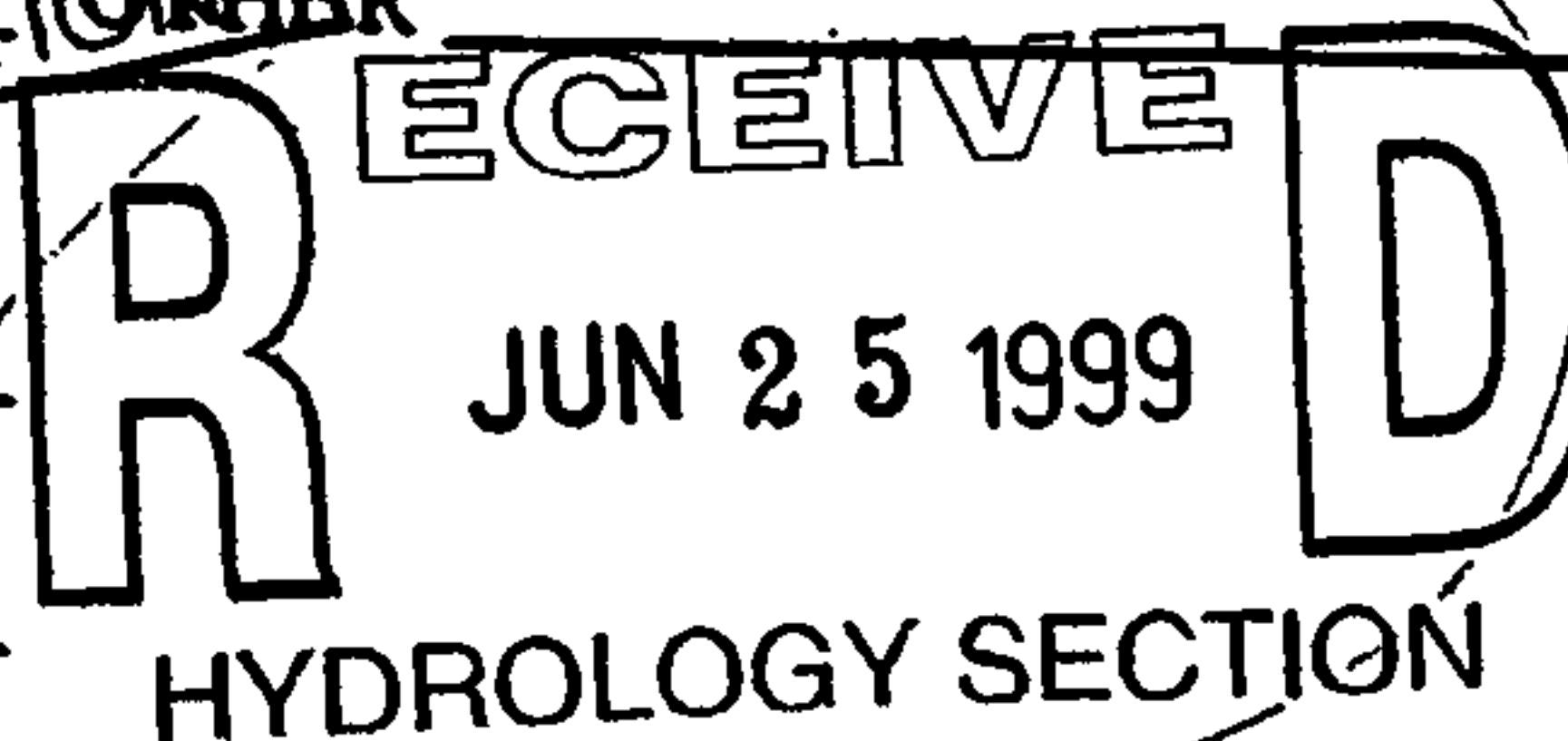
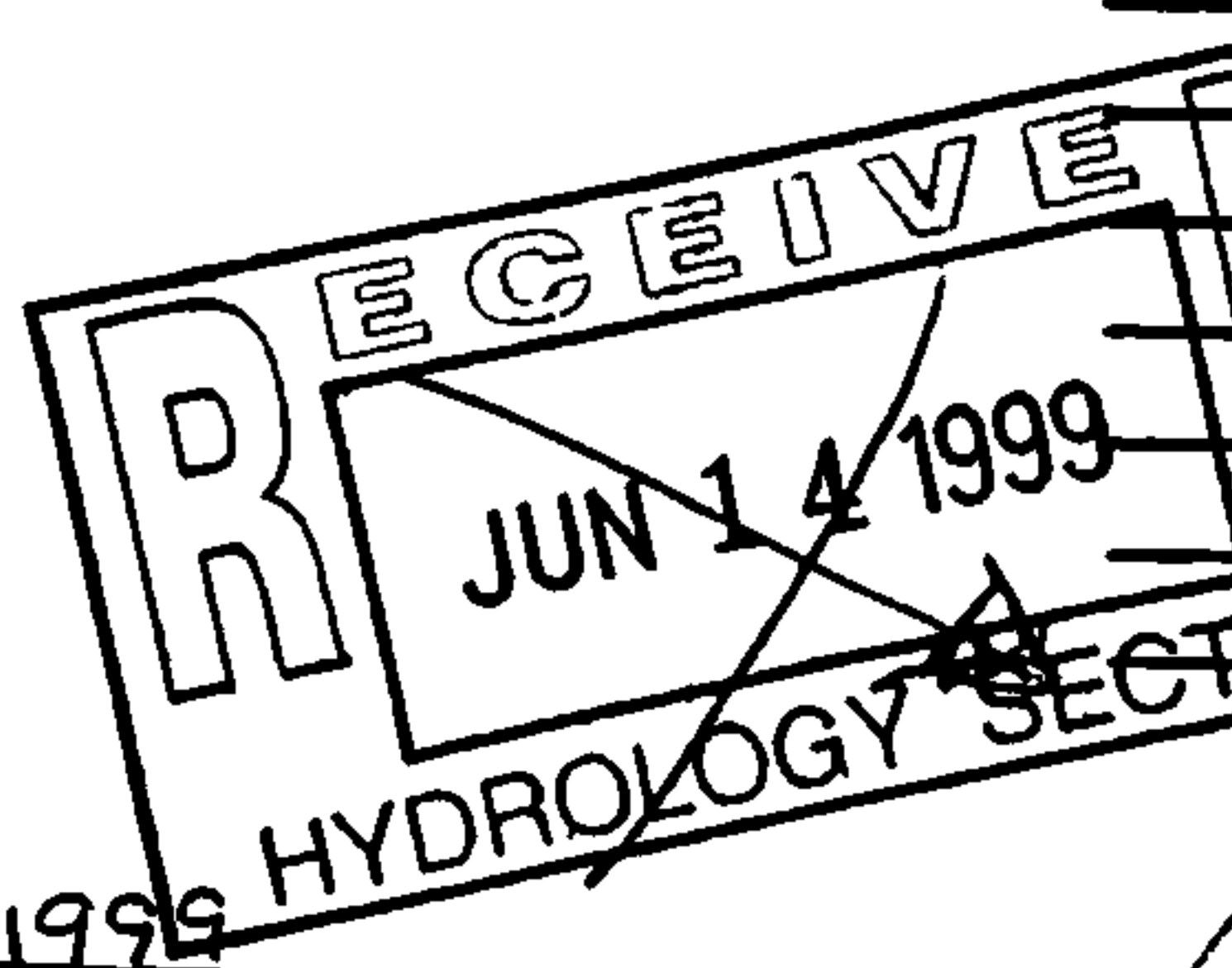
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
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- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: JUNE 14, 1999

BY: Frank D. Lovelady



Revised 02/98

NOTE: FOOTPRINT OF BUILDING IS THE ONLY CHANGE.