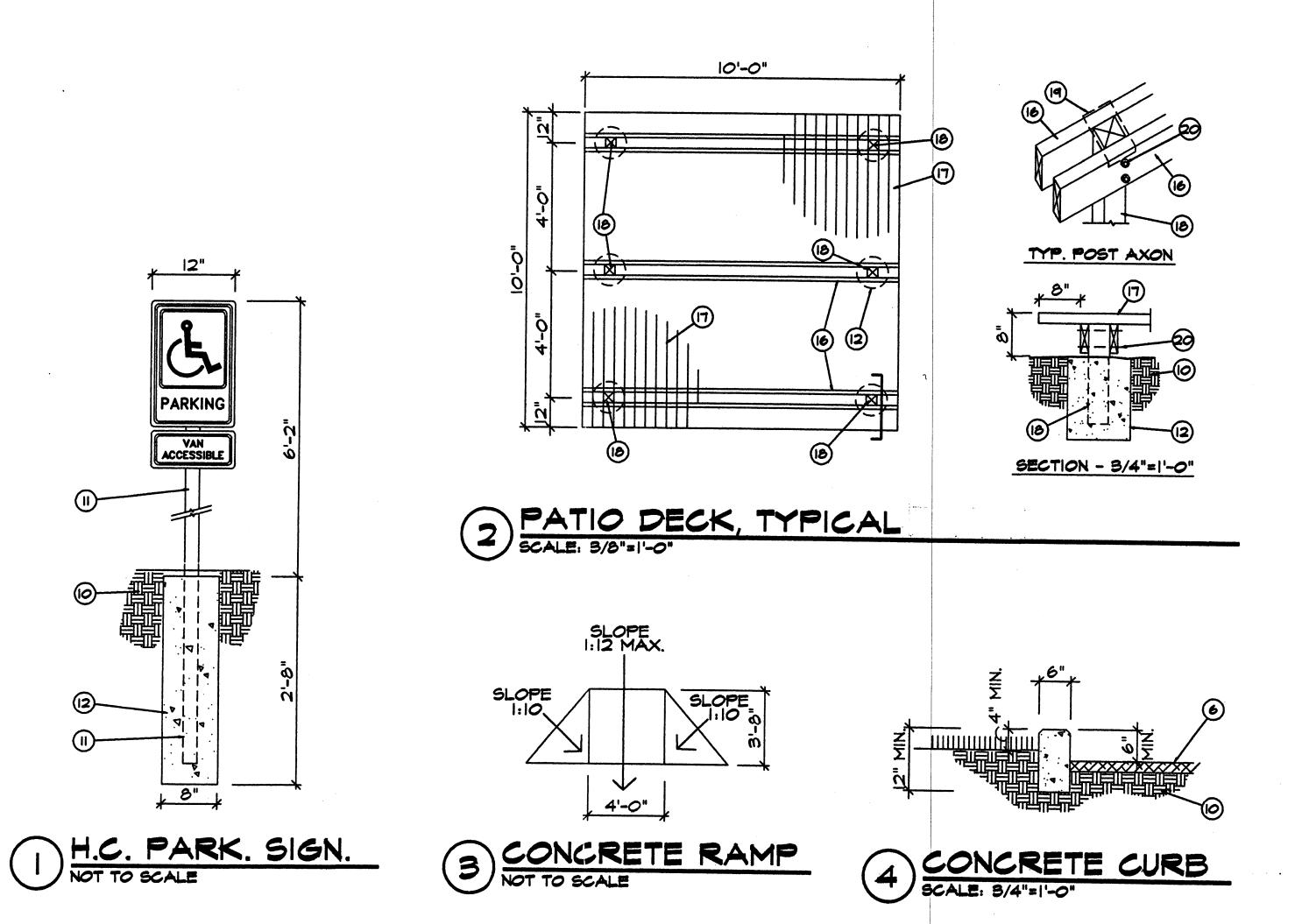
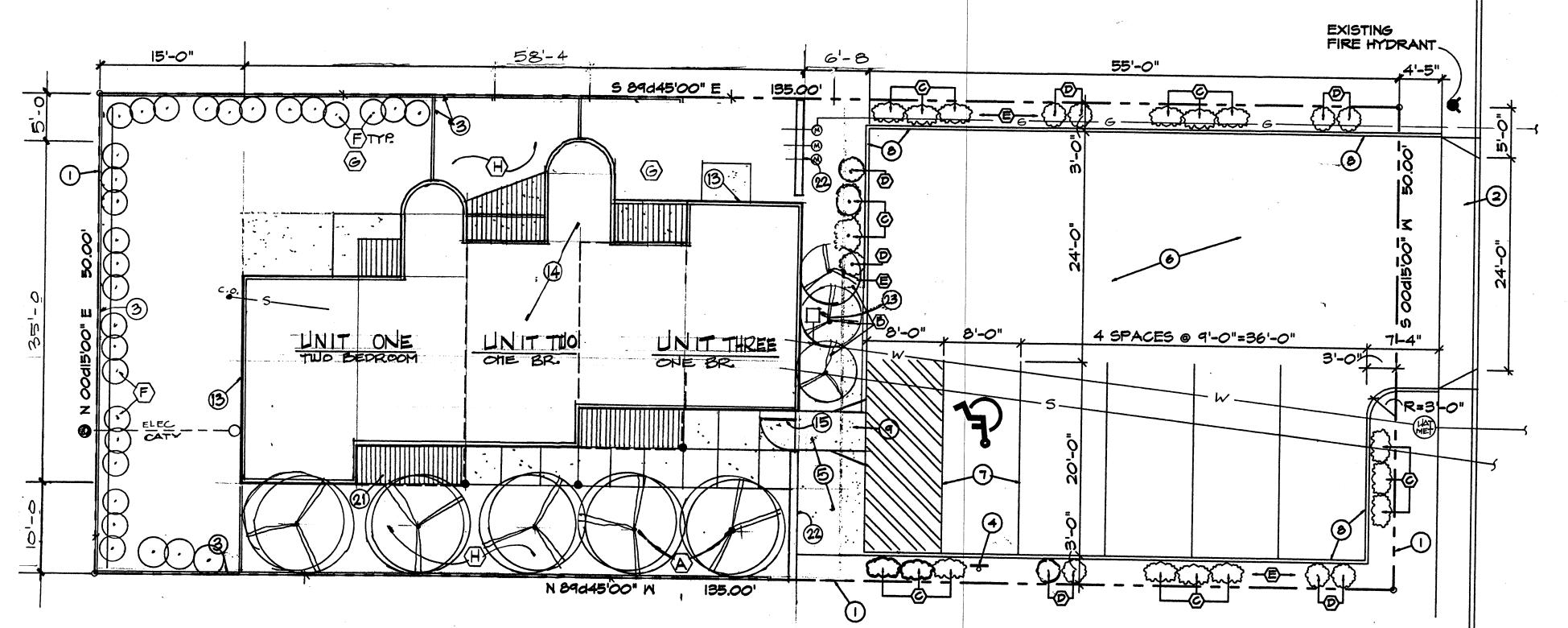
309 TENNESSEE SE, ALBUQUERQUE, NEW MEXICO



Bymbo I	Guan.	Common Name	Botanical Name	Size
٨	35	GREEN ASH	FRAXINUS PENNSYLVANICA	2 1/2" CALIFER,
В	33	PURPLE LEAF PLUM	PRUNUS CERASITERA "ATROPURPUREA"	2 CALIFE
C	1917	TAM JUNIPER	Juniperus Sasina "Tamariscipolia"	5 GAL
D	(2010	EVERSREEN EUCHYMUS	EUONYMUS JAPONICA	5 GAL
E	—	BARK MULCH GROUND COVER		
F		FIRETHORN	PYRACANTHA lelandil	IBAL
6		BLUE GRAMA	BOUTELOUA gracilis	SEED
<u>H_</u>	-	ke plant	DELOSPERMA nubigenum	SEED



SITE PLAN LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

Keyed Notes PROPERTY LINE. EXISTING CURB CUT AND DRIVE PAD TO REMAIN. 6 FT HIGH STEEL PICKET FENCE. "VAN ACCESSIBLE" SIGN, SEE DETAIL THIS NEW 4" CONCRETE SIDEWLK, BROOM FINISH NEW 3" ASPHALT OVER CRUSHER FINES BASE COURSE ON COMPACTED SUBGRADE. PROVIDE STRIPING AND "HC" SYMBOL AS SHOWN. NEW 6" CONCRETE CURB, SEE DETAIL THIS SHEET. NEW CONCRETE RAMP, SEE DETAIL THIS COMPACTED SUB GRADE. SCHEDULE 40 CONDUIT BENT AS SHOWN CONCRETE BASE. LINE OF EXERIOR WALL ROOF AREA. 6 FT. STEEL GATE. 2 X 6 PRESSURE TREATED CEDAR JOIST. 2 X 4 PLASTIC "CEDAR" DECK BOARDS. 18. 4 X 4 POST. 19. GALVANIZED METAL FLASHING. 20. THROUGH BOLTS. 21. DECK, SEE DETAIL THIS SHEET 22. 5 FT HIGH CMU, STUCCO WALL H 23. IRREGATION SYSTEM CONTROL VAULT LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS OF COMPLETE SYSTEM Project Data 909 TENNESSEE STREET SE ALBUQUERQUE, NEW MEXICO OWNER/CONTRACTOR: MARKAHARBERTS 626 GRACE NE ALBUQUERQUE, NEW MEXICO 87124 LOT NUMBERED FOURTEEN (14), IN BLOCK NUMBERED TWO (2), AS SHOWN AND DESIGNATED ON THE PLAT ENTITLED "CASAS legal description: SERENAS", SAID PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 15, 1946 IN VOLUME: D, FOLIO: 7. BUILDING AREA! HEATED: UNIT ONE 770 SQ FT UNIT TWO 570 SQ FT UNIT THREE 460 SQ FT N TOTAL 1,800 SQ FT CONSTRUCTION TYPE: YN DESIGN DATA: COMF CONCRETE: ROOF LOAD! 20 PSF (LIVE) 35 TOTAL MIND LOAD: 75 mph Exp. C 1991 UBC SOIL BEARING ASSUMED: 1200 PSF MIN. "Fb" 1200 "E" 1.1 TRIPLEX CITY ZONING: SPECIAL EXCEPTION NO. ZA 94 295 General Notes ALL WORK SHALL BE INSTALLED AND COMPLETED BY THE GENERAL CONTRACTOR IN COMPLETE ACCORDANCE MITH APPLICABLE BUILDING CODES AND LOCAL ORDINANCES INCLUDING UNIFORM BUILDING CODE 1991 EDITION, NEC, UMC, UPC LIFE SAFETY CODE AND NATIONAL FIRE CODE. B. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ANY BUILDING PERMITS AS WELL AS ALL LICENSES, DEPOSITS, FEES, AND NOTICES REQUIRED TO COMPLETE THIS PROJECT C. THE GENERAL CONTRACTOR WILL COORDINATE THE WORK OF ALL Description SUB-CONTRACTORS. THE GENERAL CONTRACTOR WILL SEE THAT EACH SUBCONTRACTOR IS FAMILIAR WITH THOSE PARTS OF THE ン国の国の国 MORK WHICH WILL RELATE TO OTHER SUBCONTRACTORS AND EQUIPMENT INSTALLATIONS. JUN 2 5 1999 | L D. THE GENERAL CONTRACTOR WILL LAY OUT WORK FROM THE DATA SHOWN IN THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS OF THE BUILDING, GRADING, PAVING, AND YDROLOGY SECTION UTILITIES. E. THE MECHANCIAL DRAWINGS ARE SCHEMATIC IN NATURE.
MECHANICAL AND PLUMBING WORK WILL INCLUDE ALL LABOR AND MATERIALS TO PROVIDE A COMPLETE OPERATING SYSTEM IN COMPLIANCE WILL ALL CURRENT CODES. F. THE ELECTRICAL DRAWINGS ARE SCHEMATIC IN NATURE. ELECTRICAL WORK WILL INCLUDE ALL LABOR AND MATERIALS TO PROVIDE A COMPLETE, SAFE AND ACCEPTABLE POWER, LIGHTING, AND TELEPHONE SYSTEM IN ACCORDANCE MITH ALL CURRENT CODES. ALL MATERIALS SHALL BE U.L. APPROVED. 6. GENERAL CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITY INCLUDING MATERIAL STORAGE TO AREAS ON SITE. THE BUILDING DESIGN UTILIZES PRECONSTRUCTED MOOD FRAMED BUILDINGS INCLUDING ALL MALLS AND ROOF CONSTRUCTION. Date MAY 31, 1999 BRANINGS AS INVINUENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE ARCHITECT.
THEY ARE NOT TO BE USED ON OTHER PROJECTS WITHOUT WHITTEN COMMENT OF THE ARCHITECT. Sheet

Index to Drawings SHEET 1 SITE / LANDSCAPE PLANS

SHEET 2 FLOOR PLANS / ELEVATIONS SHEET 3 FOUNDATION/ FRAMING PLANS

SHEET 5 SCHEMATIC MECHANICAL PLANS SHEET 6 SCHEMATIC ELECTRICAL PLANS

SHEET 4 BUILDING SECTIONS

LEGEND;			Description	
			CONTOUR SPOT ELEVATION	
			PROPERTY LINE	
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		TA TC	TOP OF CURB/CO	
	10 mg (10 mg)	PL PROPERTY OF THE PROPERTY OF	POWER , POLE	

BENCH MARK:

City of Albuquerque Control Station 6-K20(R) ACS, located at the southwest corner of Wyoming and Central, Elevation = 5390,74

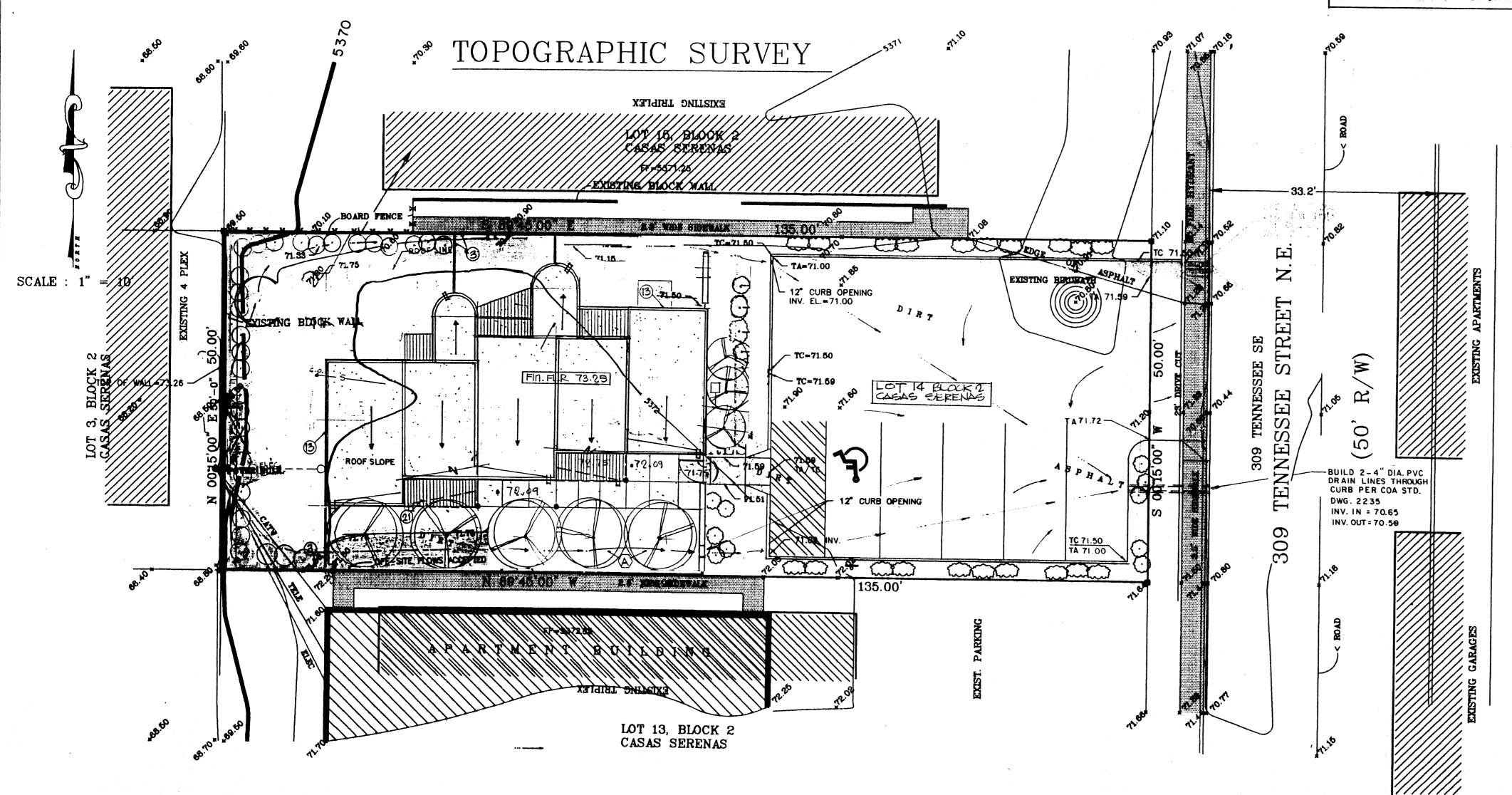
TEMPORARY BENCH MARK:

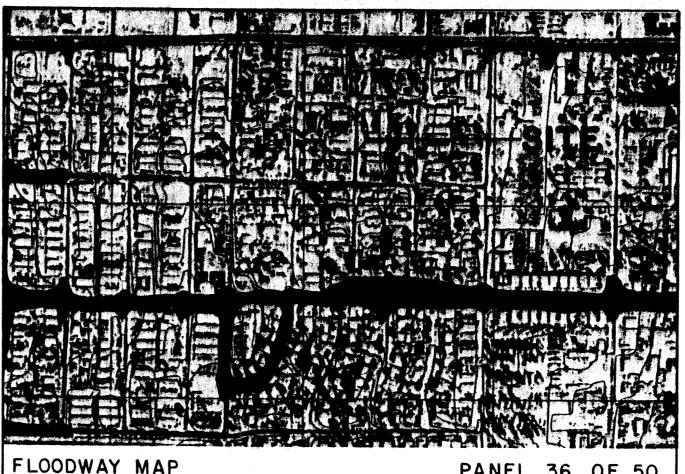
Temporary Bench Mark (TBM) located at the intersection of the south property line extended and top of west curb of Tennessee Street and marked with a slash mark. Blevation = 5371.44 feet.

LEGAL DESCRIPTION:

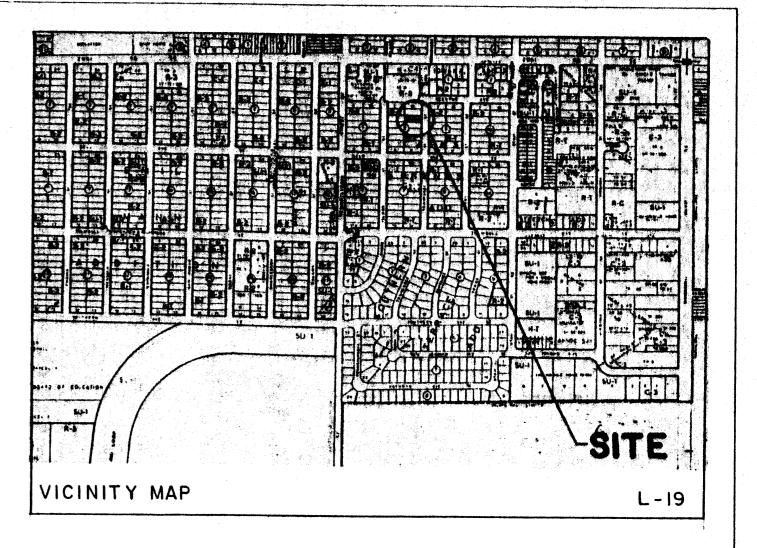
Lot numbered fourteen (14), in Block numbered two (2), as shown and designated; on the plat entitled "Casas Serenas", said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 1946 in Volume D, Folio 7. Legal description prepared by Franklin E. Wilson, N.M.P.S. 6446..

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PANEL 36 OF 50



DRAINAGE

The site is located on Tennessee Street S.E. between Bell Avenue SE and Decatur Avenue 82, on the west side of the street. The site is the third lot south of Decatur Avenue. The site is presently unpaved. The slope in Tennessee Street is from south to north. There is a 21" RCP storm sewer in Tennessee Street with a single G inlet on the west and east side of Tennessee Street at Decatur Avenue. This storm drain connects to the Pennsylvania/Dallas storm drain which empties into the I-040 channel. There are apartments on the north, west and south sides of the site. The apartment on the south is the only one which may contribute some off-site flow. There is a CMU wall slong the west property line that is about 5' above the ground on the west side and 3' above the ground on the east side. The apartment to the north is about 1.5' lower than the existing average grade on the site. The apartment on the south is about flush with the existing average grade on the site.

CALCULATIONS

It is proposed to construct an apartment complex of three apartments as shown on the plan. All runoff from the roofs will be directed to Tennessee Street. In order to accept off-site flow from Lot 13, it will be necessary for the grades on Lot 14 to be as low as possible. If runoff leaves the site through the drivepad the grades must be considerably higher than if runoff can leave the site through a sidewalk culvert or pipe through the curb.

DRAINAGE CRITERIA;

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arreyo Flood Control Authority, January 1993.

PRECIPITATION SONE:

The site is west of Eubank Boulevard and is, therefore, in Precipitation Zone

The existing site is all Land Treatment C. The developed land treatment areas are shown in the following table:

Land Treatment	100-yr.	q 10-yr.	100-yr.	10-yr.	Percent of Site	Area of Sq.Pt.	Site Acres
	1.87	0.58	0.66	0.19			0.0
	2.60	1.19	0.92	0.36	29.60	1,998	0.0459
C	3.45	2.00	1,29	0.62			0.0
	5.02	3.39	2,36	1.50	70.40	4,752	0.1091
Totals					100.00	6,750	0.1550

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

Existing Conditions:

V100 = 6,750 X (1.29/12) = 726 CF

V10 = 6,750 X (0.62/12) = 348 CF

Developed Conditions:

 $V_{100} = (0.92 \times 1,988 + 2.36 \times 4,752)/12 = 1,088 \text{ CF}$

V10 = (0.36 x 1,988 + 1.50 x 4,752)/12 = 654 CF

PEAK DISCHARGE, 100-YEAR AND 10-YEAR;

Existing Conditions:

Q100 = 0.1550 x 3.45 = 0.53 CFS

Q10 = 0.1550 % 0.58 = 0.31 CFS

Developed Conditions:

Q100 = 2.60 X 0.0459 + 5.02 X 0.1091 = 0.67 CFS

Q10 = 1.19 x 0.0459 + 3.39 x 0.1091 = 0.42 crs

OFF-SITE FLOW:

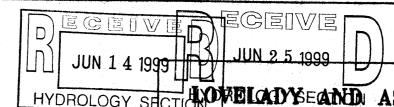
The site has a very small amount of off-site flow generated by the apartment building to the south. The area is approximately (65 x 12) / 43560 = 0.0179ac Q100 = 5.02 x 0.0179 = 0.09 cfs.

SITE DISCHARGE:

It is proposed to discharge the site through a PVC pipe or pipes. The Orifice Equation is used to calculate the required number of pipes. The high water level will be elevation 71.5. Invert is at 70.74. H = 0.76 - 0.17 = 0.59.

Q = CA(2GH) 1/2 C = 0.6 A = 0.0873 af

Q = 0.6 x 0.0873 (2 x 32.2 x 0.59) 1/2 = 0.32 cfe Q180 = 0.67 + 0.09 = 0.76 cfs Two each PVC pipes will convey 0.64 cfs. There is insufficient space to install more than two 4" PVC pipes. The remaining 0.12 ofe will overflow the curb in the event of a 100-year rainfall.



AND ASSOCIATES 7319 4TH STREET, N.W. ALBUQUERQUE, NEW MEXICO 87107

TEL. (505) 898-0142

DATE: NOV. 3, 1994 REV MAY 199 SHEET_1_OF_1__

FILE: 461

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City of Albuquerque Control Station 6-K20(R) ACS, located at the southwest corner of Wyoming and Central. Elevation = 5390,74

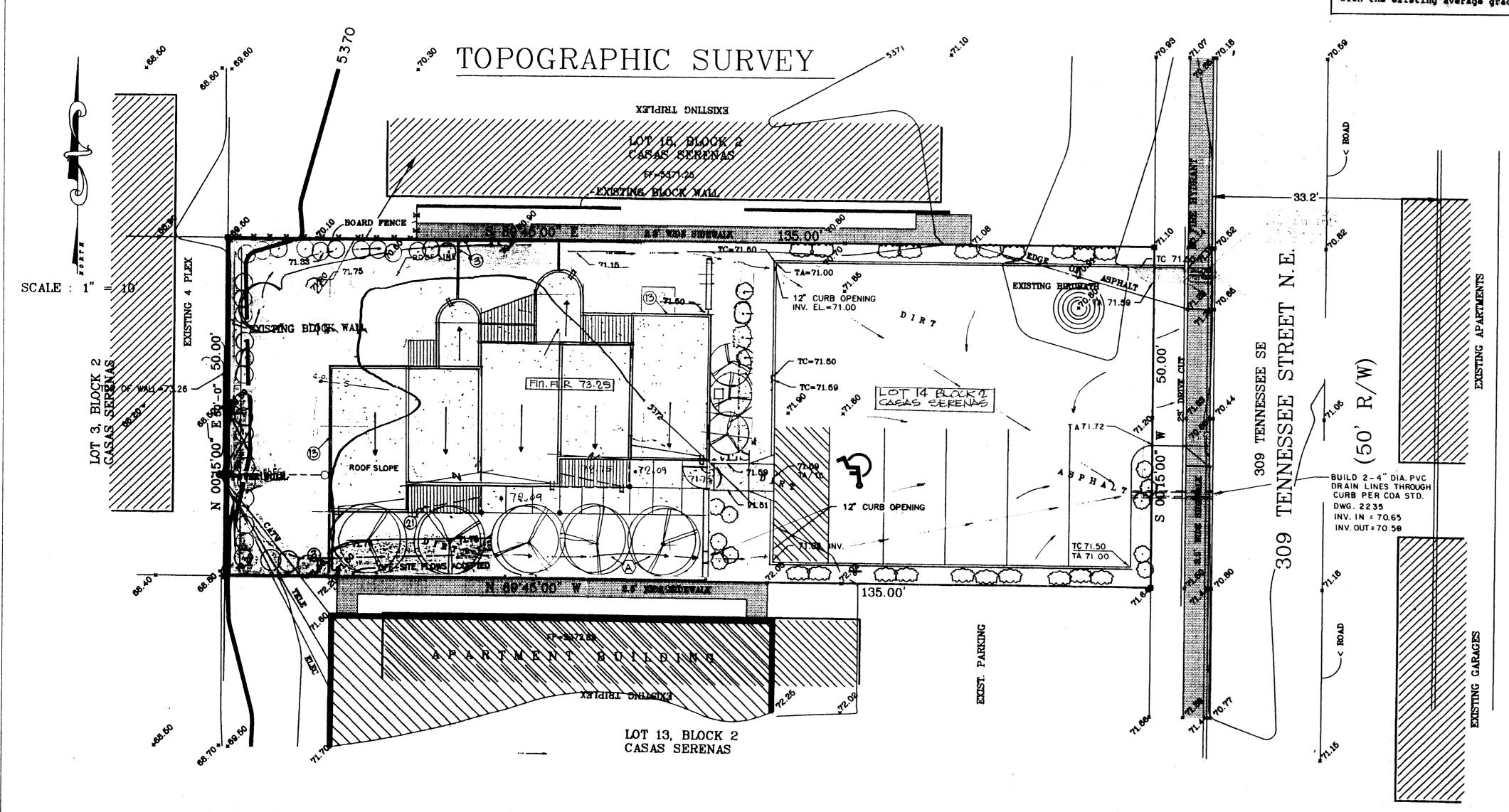
TEMPORARY BENCH MARK:

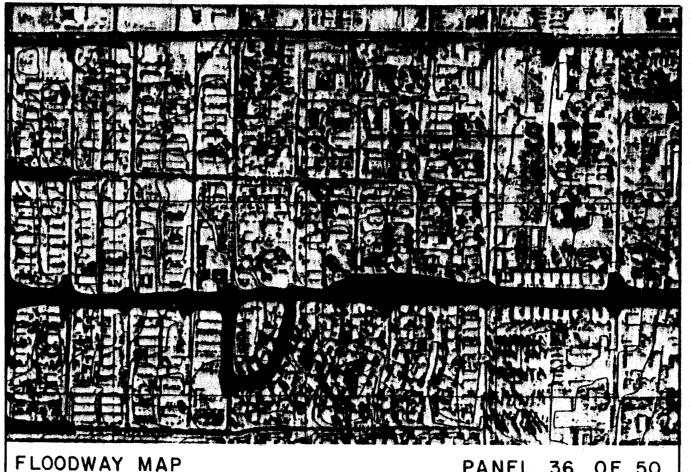
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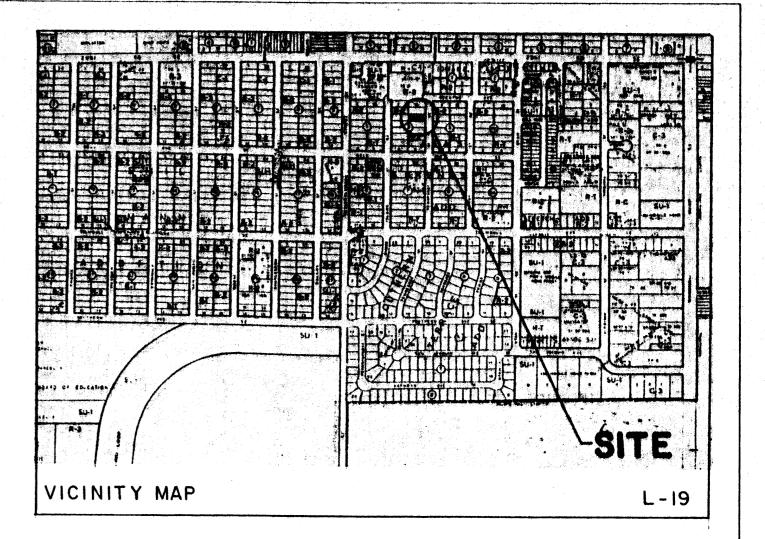
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2. ALL WORK DE AS STATED (WITH STANDAL REVISED.	OR PROVIDED FOR HEREON, SHALL RD SPECIFICATIONS FOR PUBLI	RPORKED UNDER CONTRACT, EXCEPT L BE CONSTRUCTED IN ACCORDANCE G WORLD CONSTRUCTION, 1985, AS ATION, CONTRACTOR MUST, CONTACT TION OF EXISTING UTILITIES.
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PANEL 36 OF 50



DRAINAGE

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PRECIPITATION TONE:

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L a nd Treatment	100-yr.	q 10-уг.	100-yr.	10-yr.	Percent of Site	Area of sq.Ft.	Site Acres
	1.87	0.58	0.66	0.19			0.0
	2.60	1.19	0.92	0.36	29.60	1,998	0.0459
	3.45	2.00	1,29	0.62			0.0
	5.02	3.39	2.36	1,50	70.40	4,752	0.1091
Totals					100.00	6,750	0.1550

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR!

Existing Conditions:

V100 = 6,750 X (1.29/12) = 726 CF

V10 = 6,750 X (0.62/12) = 348 CF

Developed Conditions:

V100 = (0.92 X 1,988 + 2.36 X 4,752)/12 = 1,088 CF

V10 = (0.36 X 1,988 + 1.50 X 4,752)/12 = 654 CF

PEAK DISCHARGE, 100-YEAR AND 10-YEAR:

Existing Conditions:

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Q10 = 0.1550 x 0.58 = 0.31 CFS

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Q100 = 2.60 X 0.0459 + 5.02 X 0.1091 = 0.67 CFS

Q10 = 1.19 x 0.0459, + 3.39 x 0.1091 = 0.42 CFS

OFF-SITE FLOW!

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curb in the event of a 100-year rainfall.

DATE: NOV. 3, 1994 REV MAY 1999 TEL. (505) 898-0142

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FILE: 461



HYDROLOGY SECTION EADY NAND ASSOCIATES 7319 4TH STREET, N.W. ALBUQUERQUE, NEW MEXICO 87107

XISTING	NEW		DESCRIPTION
			CONTOUR
	*		SPOT ELEVATION
			PROPERTY LINE
			SWALE
			SHEET FLOW
		TA	TOP OF ASPHALT
		TC	TOP OF CURB/CONCRETE
		FL	FLOWLINE
		PP	POWER POLE

BENCH MARK:

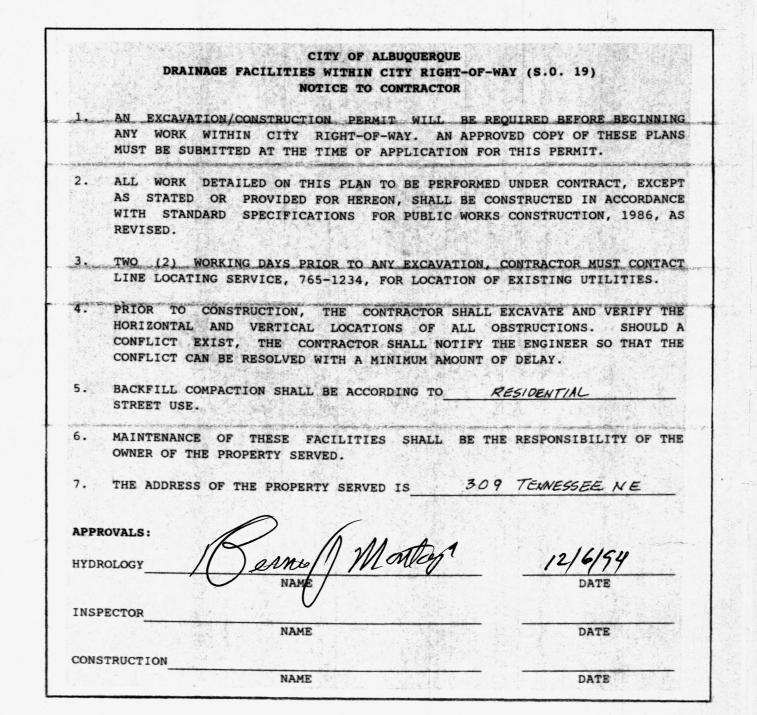
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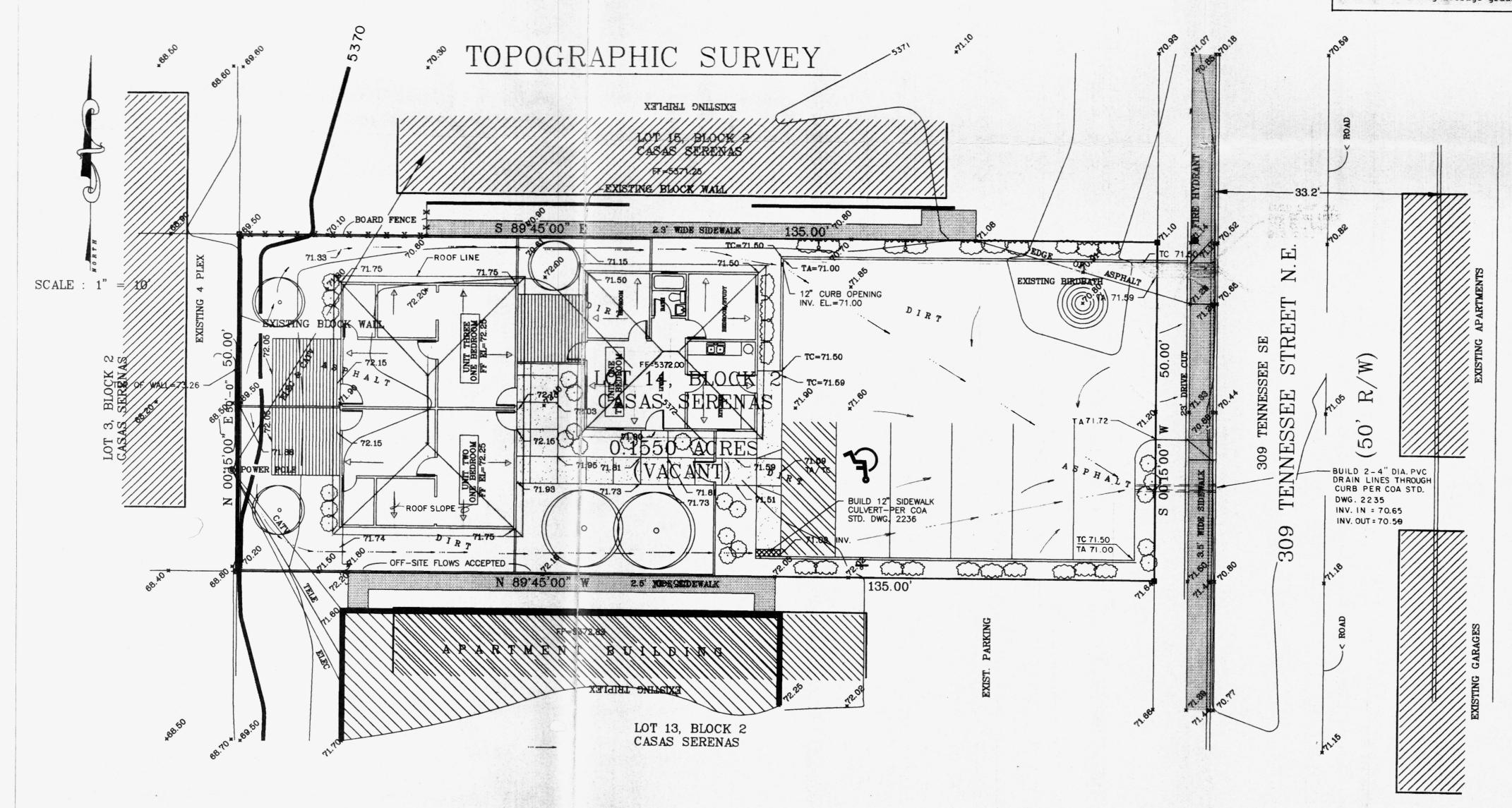
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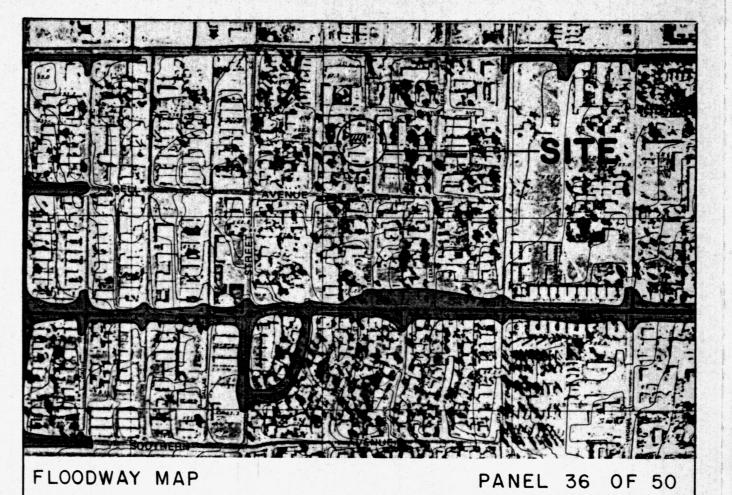
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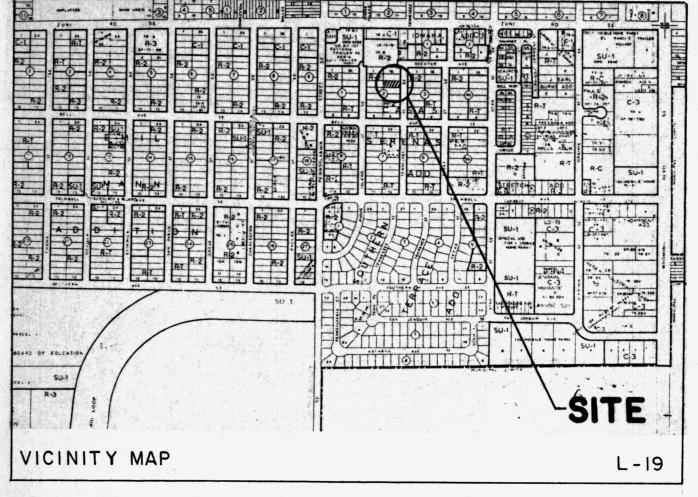
LEGAL DESCRIPTION:

Lot numbered fourteen (14), in Block numbered two (2), as shown and designated on the plat entitled "Casas Serenas", said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 1946 in Volume D, Folio 7. Legal description prepared by Franklin E. Wilson, N.M.P.S. 6446..









DRAINAGE

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CALCULATIONS

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PRECIPITATION ZONE:

The site is west of Eubank Boulevard and is, therefore, in Precipitation Zone

LAND TREATMENTS:

The existing site is all Land Treatment C. The developed land treatment areas are shown in the following table:

Land Treatment		q 10-yr.	100-yr.	E 10-ws		Area of	
A	1.87	0.58	0.66	0.19	_		0.0
В	2.60	1.19	0.92	0.36	29.60	1,998	0.0459
c	3.45	2.00	1.29	0.62	-		0.0
Ď	5.02	3.39	2.36	1.50	70.40	4,752	0.1091
Totals					100.00	6,750	0.1550

VOLUME, 100-YEAR AND 10-YEAR, 6-HOUR:

Existing Conditions:

 $V_{100} = 6,750 \text{ X } (1.29/12) = 726 \text{ CF}$

 $V_{10} = 6,750 \text{ X } (0.62/12) = 348 \text{ CF}$

Developed Conditions:

 $V_{100} = (0.92 \text{ X } 1,988 + 2.36 \text{ X } 4,752)/12 = 1,088 \text{ CF}$

 $V_{10} = (0.36 \text{ X } 1,988 + 1.50 \text{ X } 4,752)/12 = 654 \text{ CF}$

PEAK DISCHARGE, 100-YEAR AND 10-YEAR:

Existing Conditions:

Q100 = 0.1550 X 3.45 = 0.53 CFS

Q10 = 0.1550 X 0.58 = 0.31 CFS

Developed Conditions:

Q100 = 2.60 X 0.0459 + 5.02 X 0.1091 = 0.67 CFS

Q10 = 1.19 X 0.0459 + 3.39 X 0.1091 = 0.42 CFS

OFF-SITE FLOW:

The site has a very small amount of off-site flow generated by the apartment building to the south. The area is approximately (65 X 12) / 43560 = 0.0179ac $Q100 = 5.02 \times 0.0179 = 0.09 \text{ cfs.}$

SITE DISCHARGE:

It is proposed to discharge the site through a PVC pipe or pipes. The Orifice Equation is used to calculate the required number of pipes. The high water level will be elevation 71.5. Invert is at 70.74. H = 0.76 - 0.17 = 0.59. $Q = CA(2GH)^{1/2}$

C = 0.6 A = 0.0873 sf $Q = 0.6 \times 0.0873(2 \times 32.2 \times 0.59)^{1/2} = 0.32 \text{ cfs}$

Q100 = 0.67 + 0.09 = 0.76 cfsTwo each PVC pipes will convey 0.64 cfs. There is insufficient space to install more than two 4" PVC pipes. The remaining 0.12 cfs will overflow the curb in the event of a 100-year rainfall.

7319 4TH STREET, N.W. ALBUQUERQUE, NEW MEXICO 87107

SHEET_1_DF_1__

DATE: NOV. 3, 1994

FILE: 461

LOVELADY AND ASSOCIATES

TEL. (505) 898-0142

LEGEND:			
EXISTING	NEW		DESCRIPTION
			CONTOUR
	*		SPOT ELEVATION
			PROPERTY LINE
	· · · · · · · · · · · · · · · · · · ·		SWALE
			SHEET FLOW
		TA	TOP OF ASPHALT
		TC	TOP OF CURB/CONCRETE
		FL	FLOWLINE
	7.5	PP	POWER, POLE
•			

BENCH MARK:

City of Albuquerque Control Station 6-K20(R) ACS, located at the southwest corner of Wyoming and Central. Elevation = 5390.74

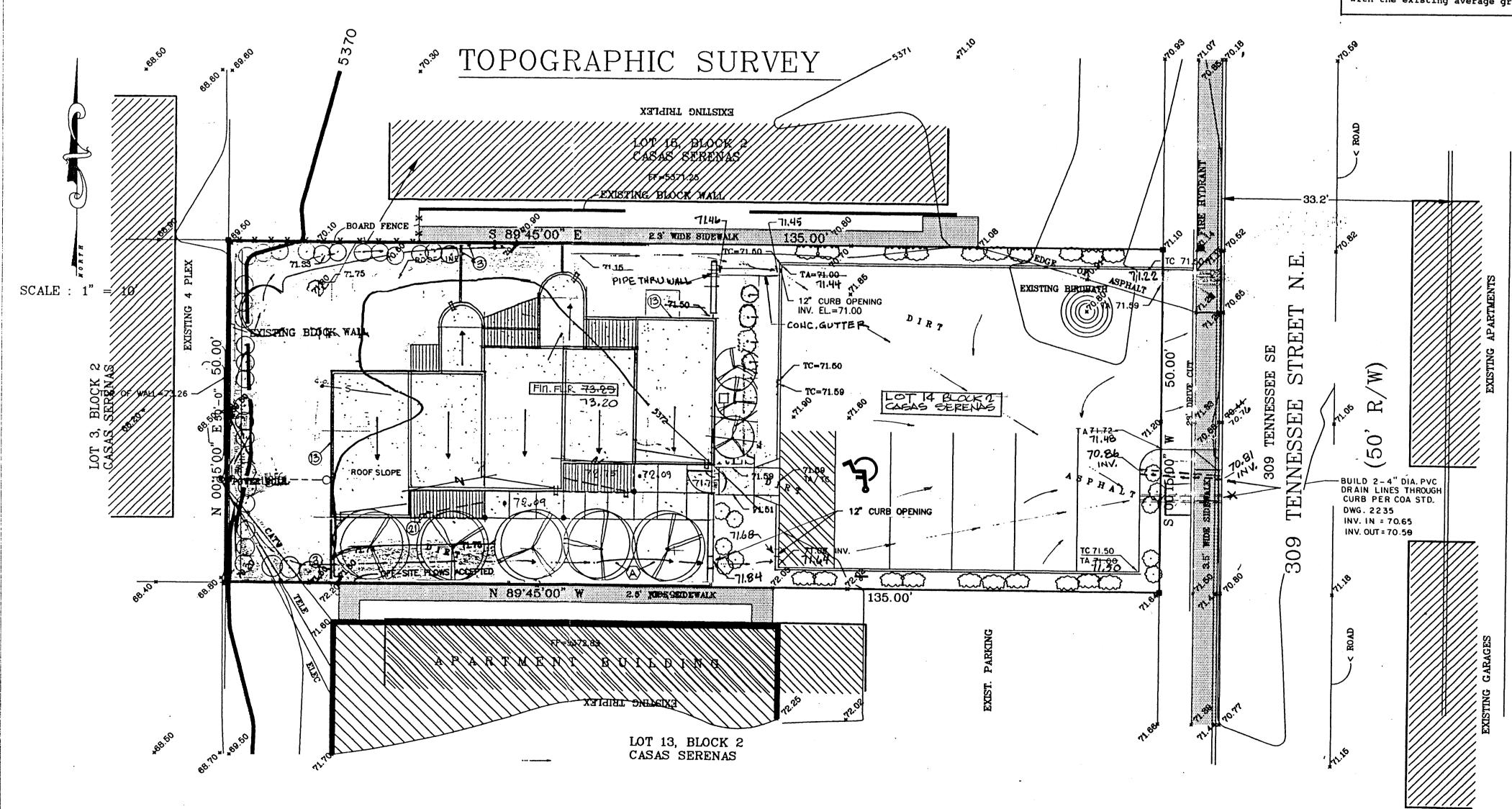
TEMPORARY BENCH MARK:

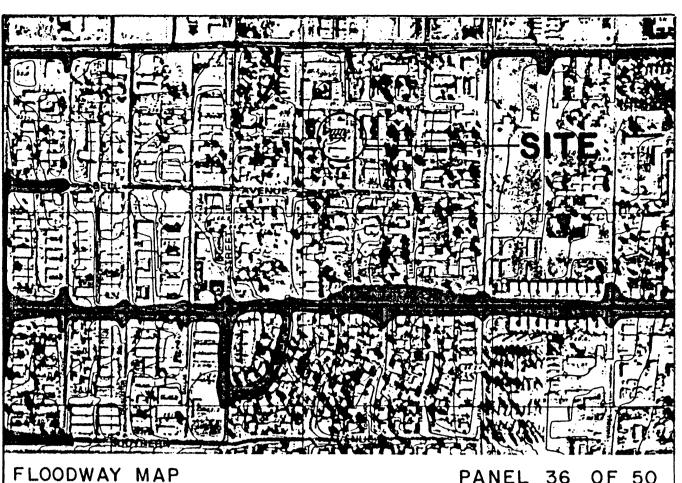
Temporary Bench Mark (TBM) located at the intersection of the south property line extended and top of west curb of Tennessee Street and marked with a slash mark. Elevation = 5371.44 feet.

LEGAL DESCRIPTION:

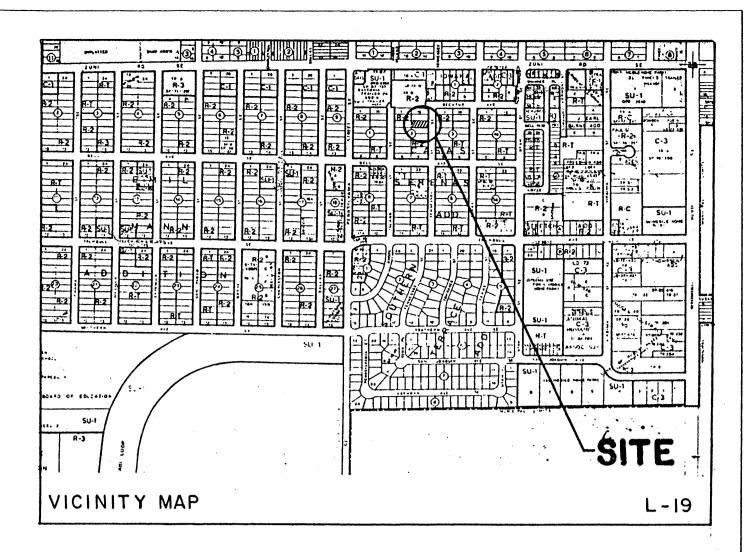
Lot numbered fourteen (14), in Block numbered two (2), as shown and designated on the plat entitled "Casas Serenas", said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 1946 in Volume D, Folio 7. Legal description prepared by Franklin E. Wilson, N.M.P.S. 6446..

DF	RAINAGE FAC	ILITIES W	Y OF ALBUQ VITHIN CITY CE TO CONT	RIGHT	C-OF-WA	Y (S.O.	. 19)		
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PANEL 36 OF 50



250-2640

DRAINAGE

EXISTING CONDITIONS:

The site is located on Tennessee Street S.E. between Bell Avenue SE and Decatur Avenue SE, on the west side of the street. The site is the third lot south of Decatur Avenue. The site is presently unpaved. The slope in Tennessee Street is from south to north. There is a 21" RCP storm sewer in Tennessee Street with a single C inlet on the west and east side of Tennessee Street at Decatur Avenue. This storm drain connects to the Pennsylvania/Dallas storm drain which empties into the I-040 channel. There are apartments on the north, west and south sides of the site. The apartment on the south is the only one which may contribute some off-site flow. There is a CMU wall along the west property line that is about 5' above the ground on the west side and 3' above the ground on the east side. The apartment to the north is about 1.5' lower than the existing average grade on the site. The apartment on the south is about flush with the existing average grade on the site.

CALCULATIONS

DEVELOPED CONDITIONS:

It is proposed to construct an apartment complex of three apartments as shown on the plan. All runoff from the roofs will be directed to Tennessee Street. In order to accept off-site flow from Lot 13, it will be necessary for the grades on Lot 14 to be as low as possible. If runoff leaves the site through the drivepad the grades must be considerably higher than if runoff can leave the site through a sidewalk culvert or pipe through the curb.

DRAINAGE CRITERIA;

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, January 1993.

PRECIPITATION ZONE:

The site is west of Eubank Boulevard and is, therefore, in Precipitation Zone

LAND TREATMENTS:

The existing site is all Land Treatment C. The developed land treatment areas are shown in the following table:

Land	q		E		Percent	Area of Site	
Treatment	100-yr.	10-yr.	100-yr.	10-yr.		Sq.Ft.	Acres
A	1.87	0.58	0.66	0.19	-	-	0.0
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c	3.45	2.00	1.29	0.62	·	•	0.0
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HYDROLOGY SECTION

ENGINEER'S CERTIFICATION:

HAVING FIELD-INSPECTED THE SITE AND

HAVING TAKEN SPOT ELEVATIONS AT

CRITICAL LOCATIONS, INCLUDING THE

FACILITY IS IN SUBSTANTIAL CONFORM-

PLAN WITH ENGINEER'S STAMP DATED.

FRANK D. LOVELADY N.M.P.E. 6512 DATE

11/3/94.

ANCE WITH THE GRADING AND DRAINAGE

FINISH FLOOR ELEVATION, I HEREBY CERTIFY THAT THE AS-CONSTRUCTED

> LOVELADY AND ASSOCIATES 7319 4TH STREET, N.W.

ALBUQUERQUE, NEW MEXICO 87107 TEL, (505) 898-0142

FILE: 461 DATE: NOV. 3, 1994 REV MAY 1999 SHEET_1_DF_1__