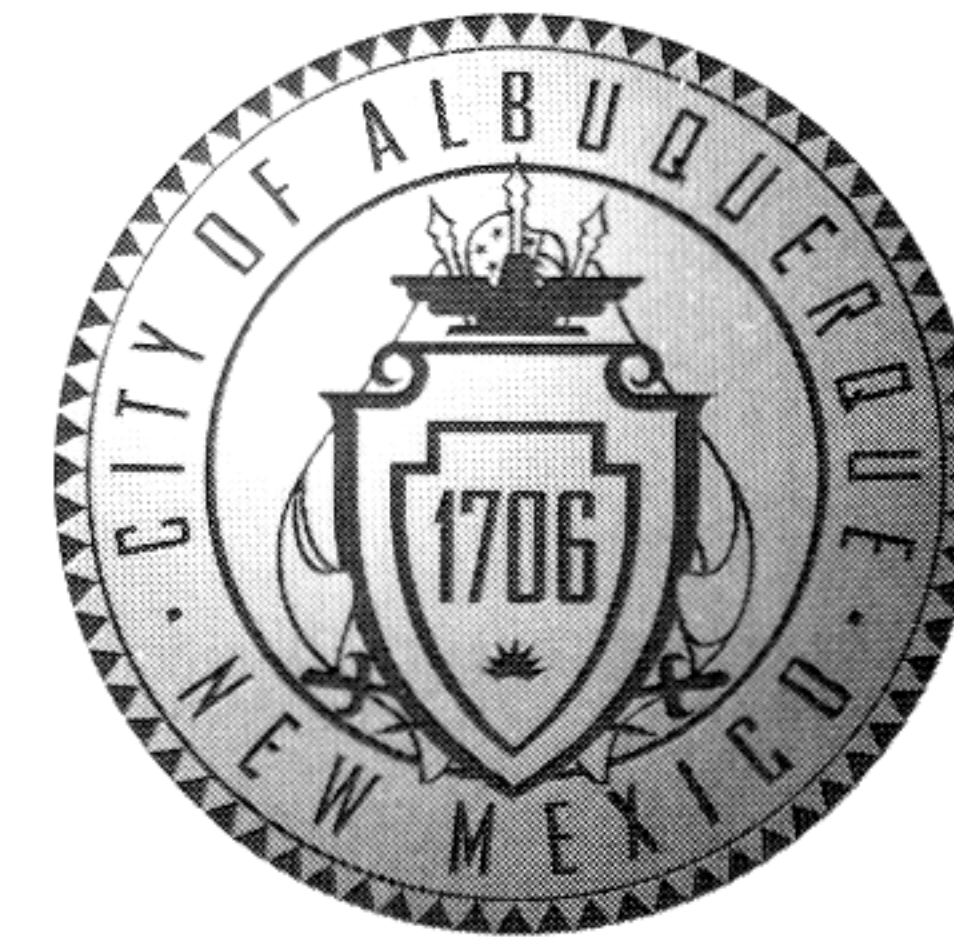


CITY OF ALBUQUERQUE



December 15, 2011

Robert Hall, R.A.
Integrated Design & Architecture
906 ½ Park Avenue SW
Albuquerque, NM 87102

Re: Plaza Feliz – Entire Site, 517 San Pablo Street SE
Permanent Certificate of Occupancy
for Buildings J1, J2, R2, T1, T2, Q, R1 and K – Transportation
Development
Architect's Stamp dated 10-18-10 (L19-D071)
Certification dated 12-12-11

Dear Mr. Hall,

PO Box 1293

Based upon the information provided in your submittal received 12-12-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk
File

December 12, 2011

City of Albuquerque
Attn: Kristal Metro
600 Second Street NW, Room 201
Albuquerque, NM 87102

**RE: GAHP: Plaza Feliz- Traffic Certification
Building Permit #201092253**

Dear Kristal Metro,

I, Bob Hall, AIA, NMRA 1769, of the firm Integrated Design & Architecture, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 11/17/10. The record information edited onto the original design documents has been obtained by Bob Hall of the firm Integrated Design & Architecture. I further certify that I have personally visited the site on 12/8/11 and have determined by visual observation that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

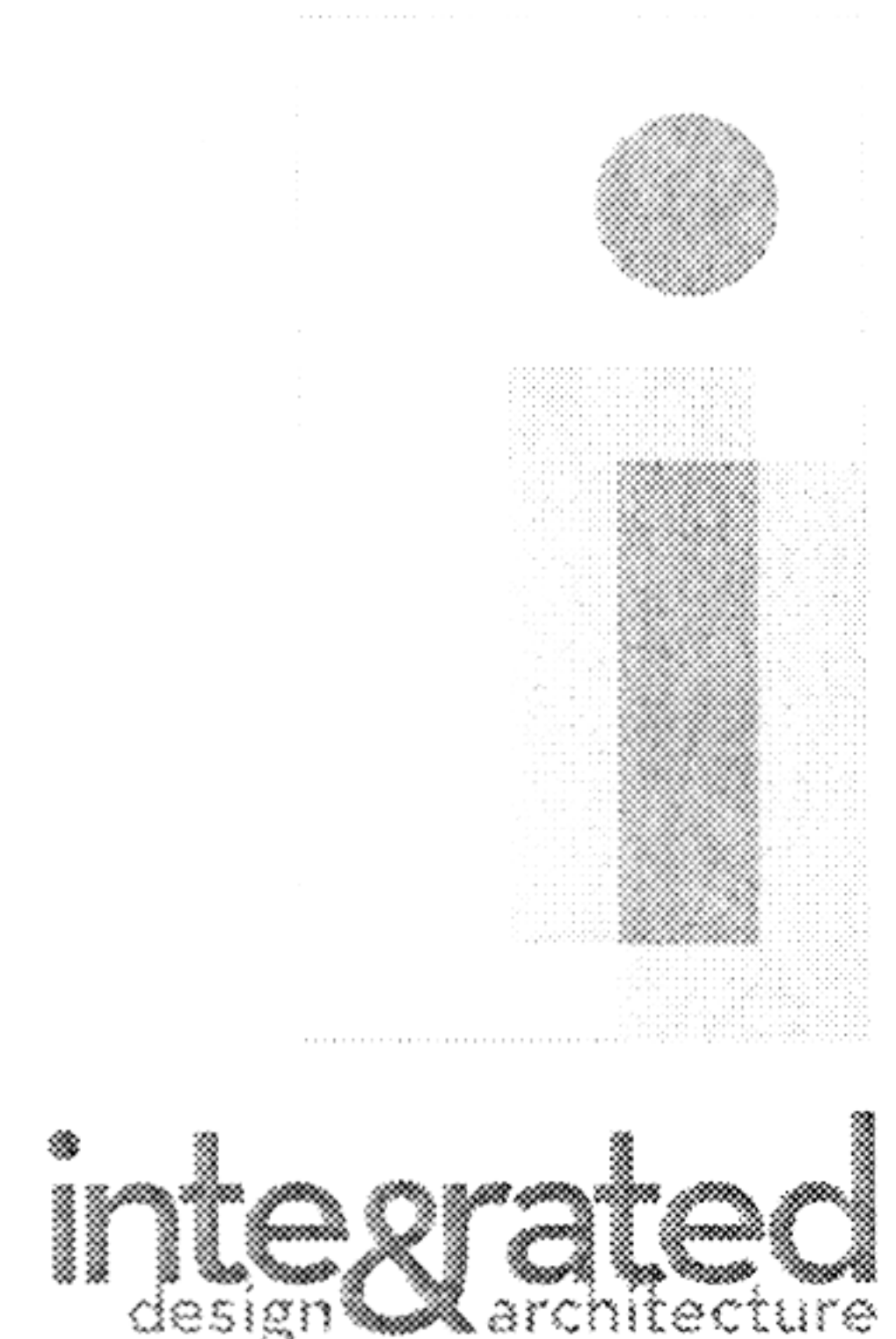
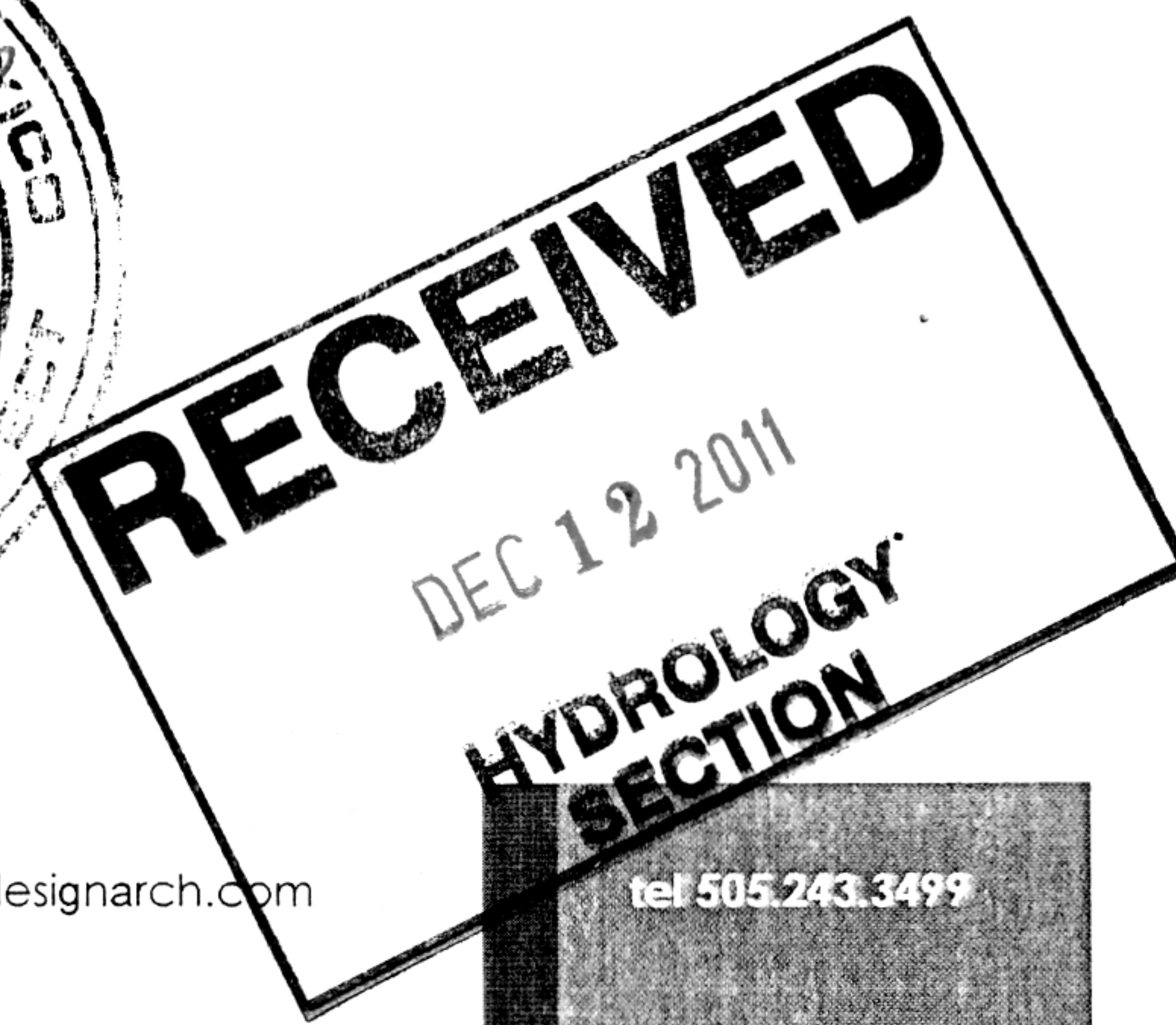
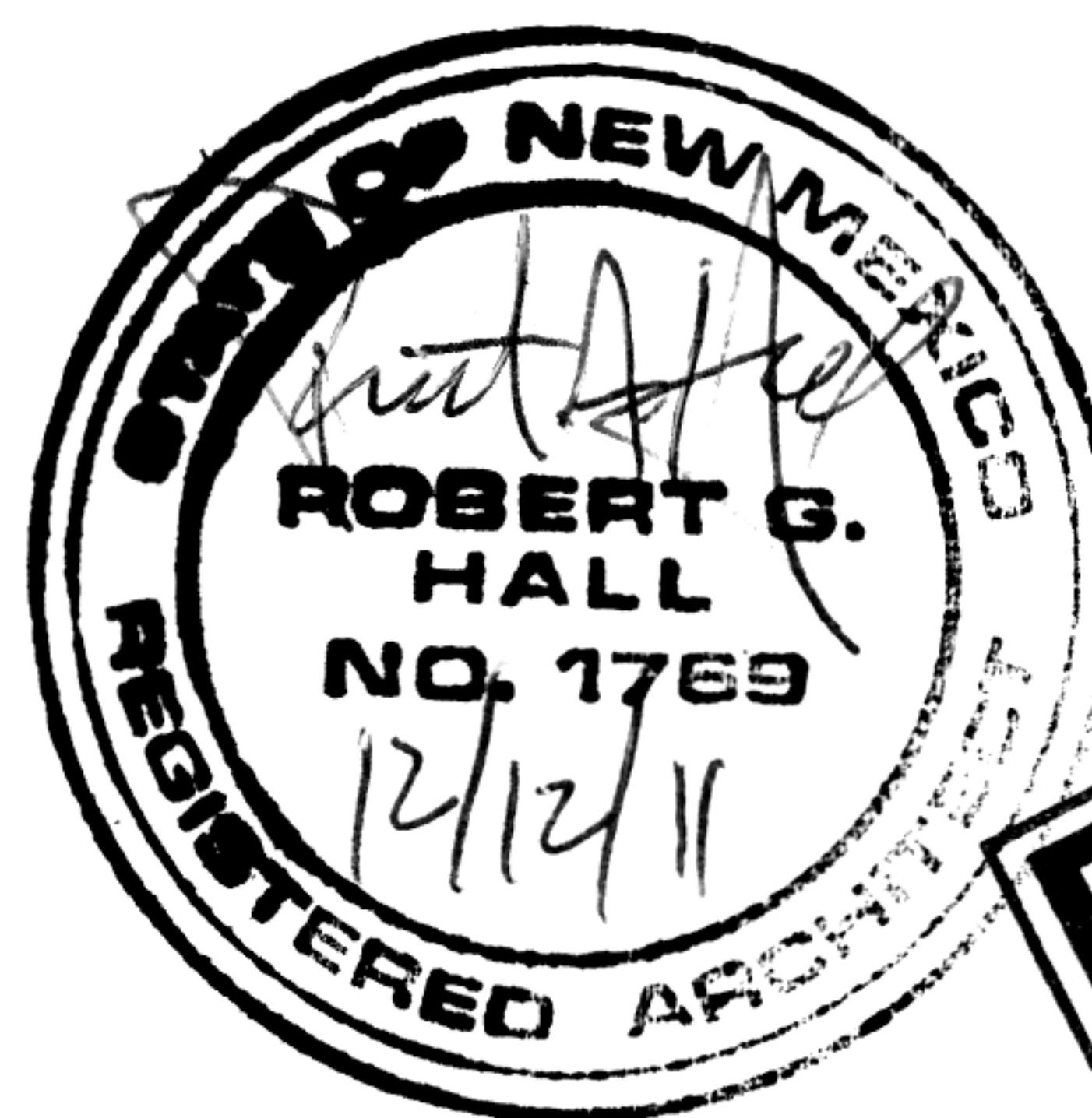
During the permitting process, after the TCL was approved, the project was asked to be phased by the Building Code Plan Reviewers. A plan that indicates the areas that will be completed in each phase of the work has been provided. At the time of this letter/ certification all phases, with respect to Transportation, have been completed. Two phases were excluded from the previous request on October 14, 2011 which are being addressed in this letter/ certification, those are Phase 6 (Building R1) and Phase 7 (Building K).

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purposes.



Signature of Architect
Dated: December 12, 2011

Attachment: Copy of Approved TCL Letter



CITY OF ALBUQUERQUE



November 17, 2010

Robert Hall, R.A.
Integrated Design & Architecture
906 1/2 Park Avenue SW
Albuquerque, NM 87102

Re: Plaza Feliz, 500 Espanola Street SE, Traffic Circulation Layout
Architect's Stamp dated 10-18-10 (L19-D071)

Dear Mr. Hall,

The TCL submittal received 11-05-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

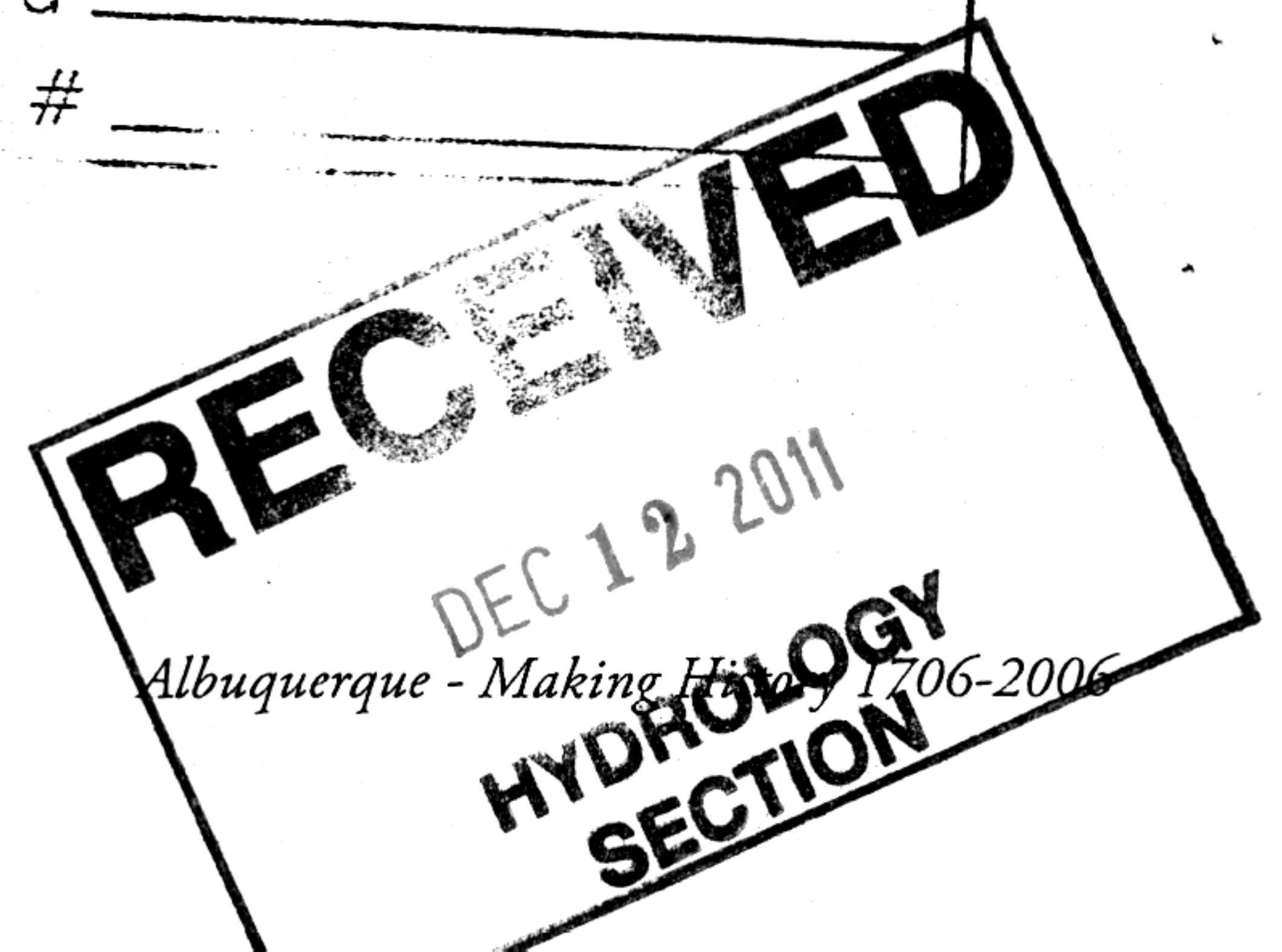
Sincerely,

A handwritten signature in black ink, appearing to read "Kristal D. Metro".

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

Date received	11/19/10
Approved	_____
Entered	_____
Date Pd	_____
Check #	_____



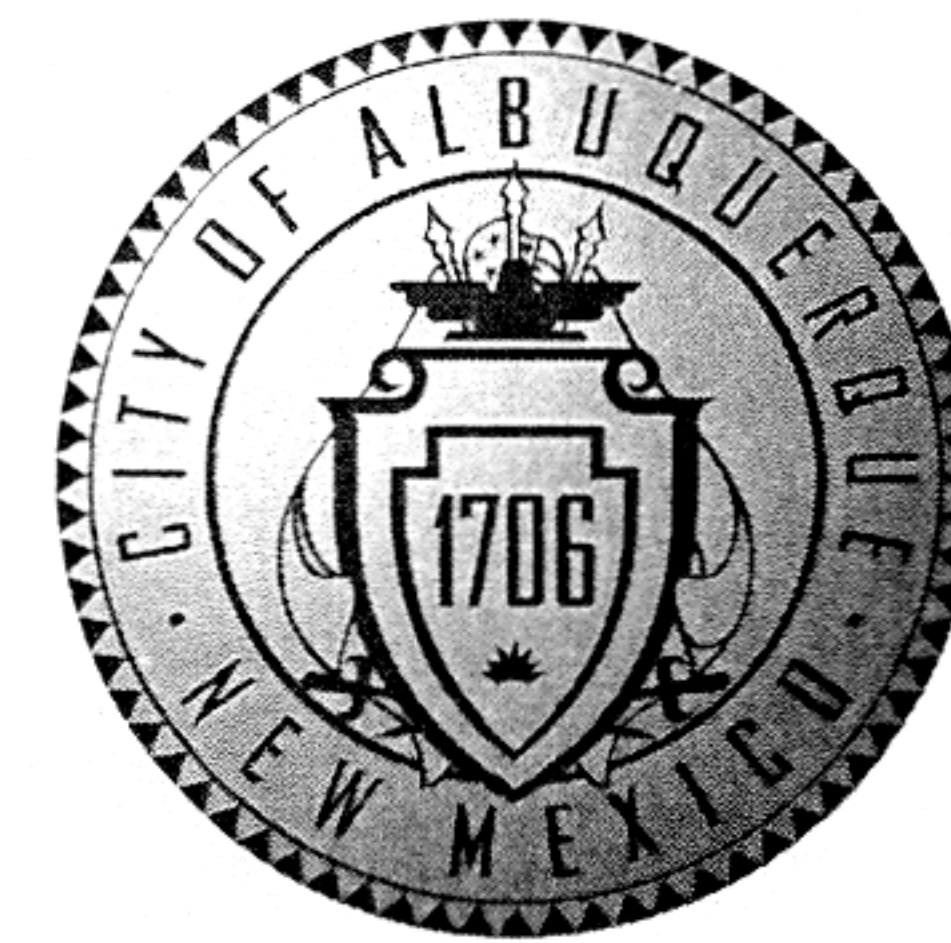
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



October 14, 2011

Robert Hall, R.A.
Integrated Design & Architecture
906 ½ Park Avenue SW
Albuquerque, NM 87102

**Re: Plaza Feliz, 517 San Pable Street SE
Permanent Certificate of Occupancy
for Buildings J1, J2, R2, T1, T2, and Q – Transportation Development
Architect's Stamp dated 10-18-10 (L19-D071)
Certification dated 10-14-11**

Dear Mr. Hall,

PO Box 1293

Based upon the information provided in your submittal received 10-14-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PLAZA FELIZ ZONE MAP: L-19/2071
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION:
CITY ADDRESS: 517 SAN PABLO STREET S.E.

ENGINEERING FIRM: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

OWNER: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

ARCHITECT: INTEGRATED DESIGN & ARCHITECTURE CONTACT: BOB HALL
ADDRESS: 906 1/2 PARK AVE PHONE: 243-3999
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

SURVEYOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

- TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT
[X] ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
[X] CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
NO
COPY PROVIDED

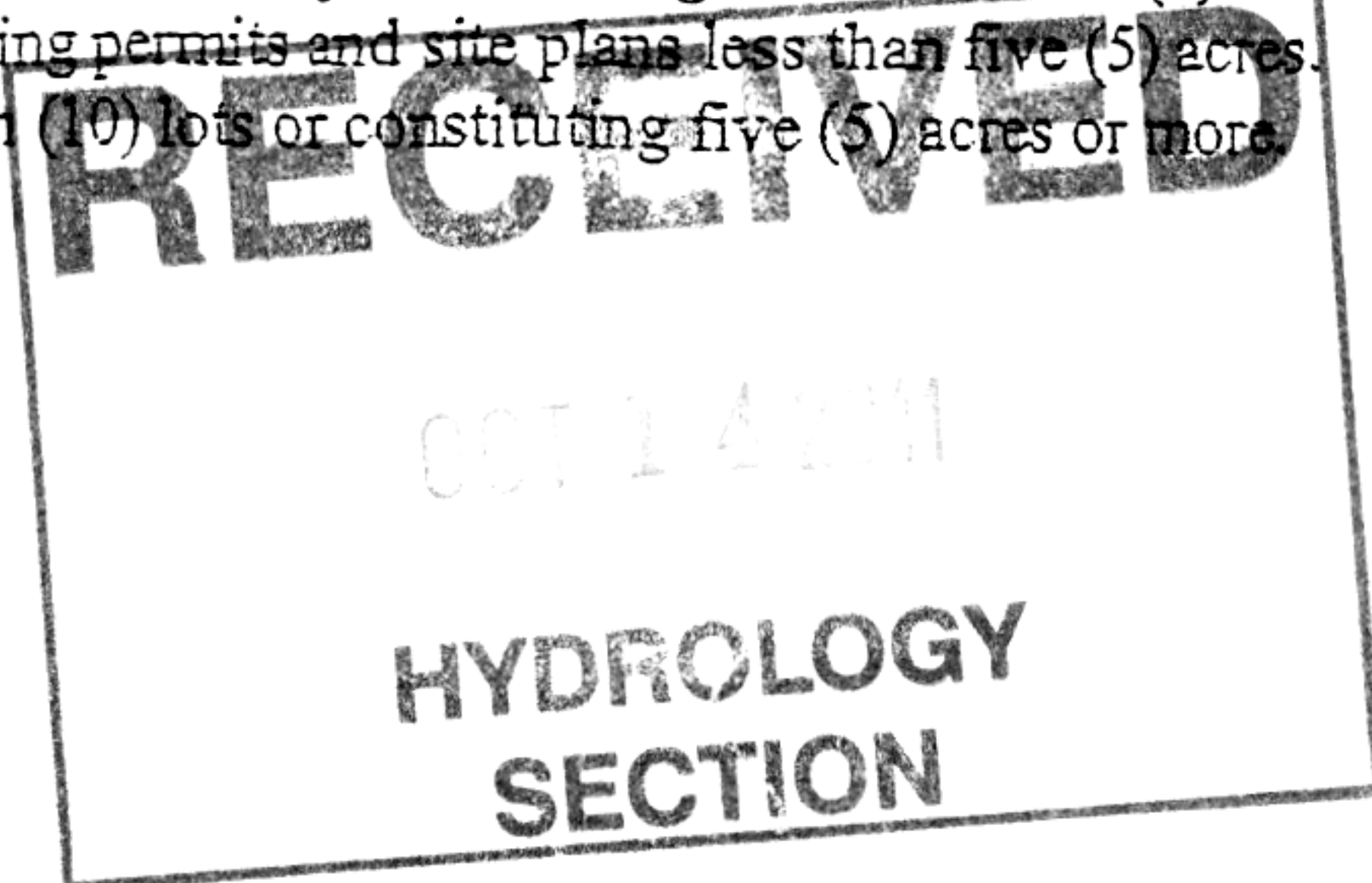
approved plan dated 10-18-10
cert dated Oct 14, 2011

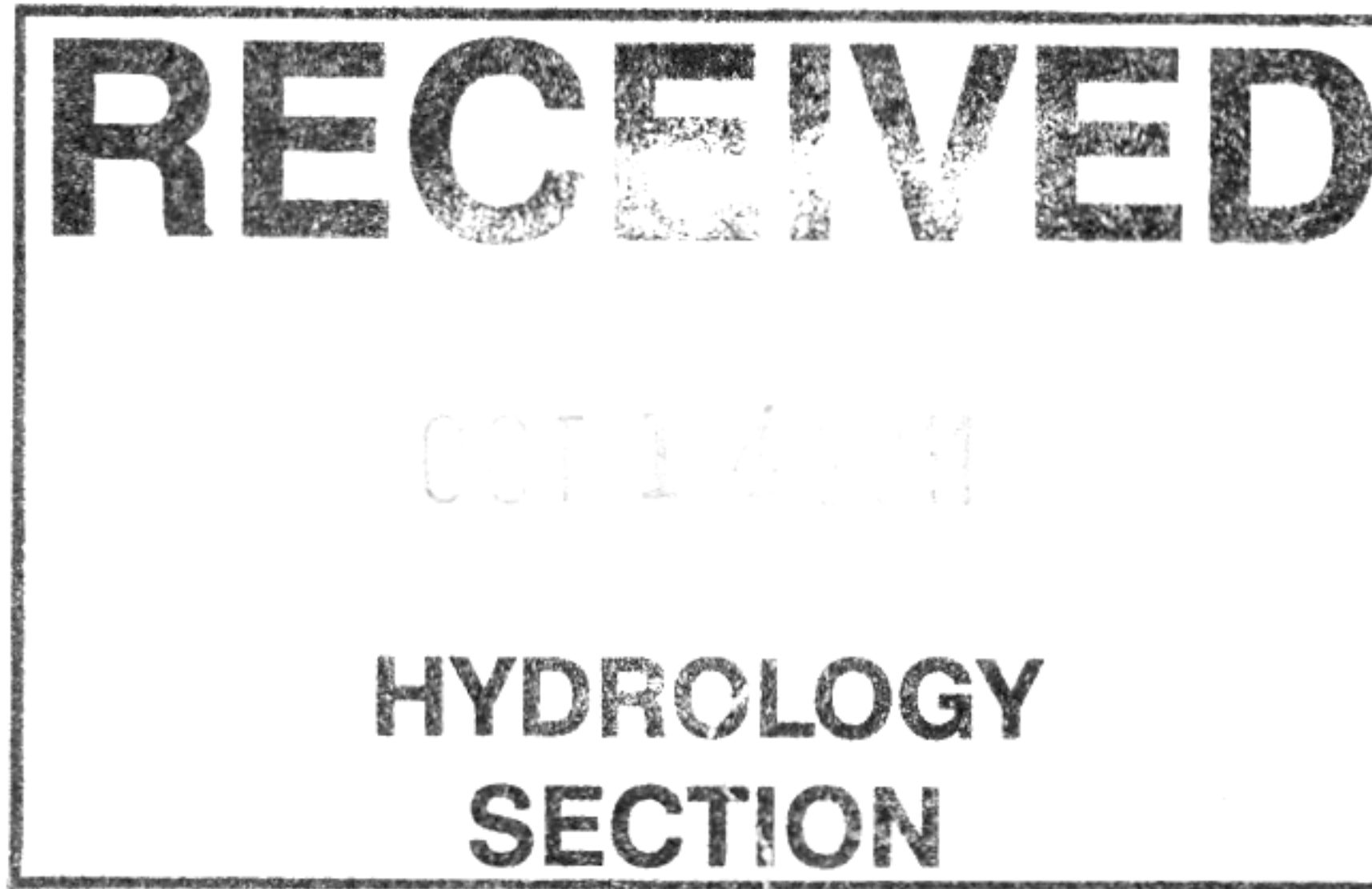
CARLOS CONBOY

DATE SUBMITTED: OCTOBER 17, 2011 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

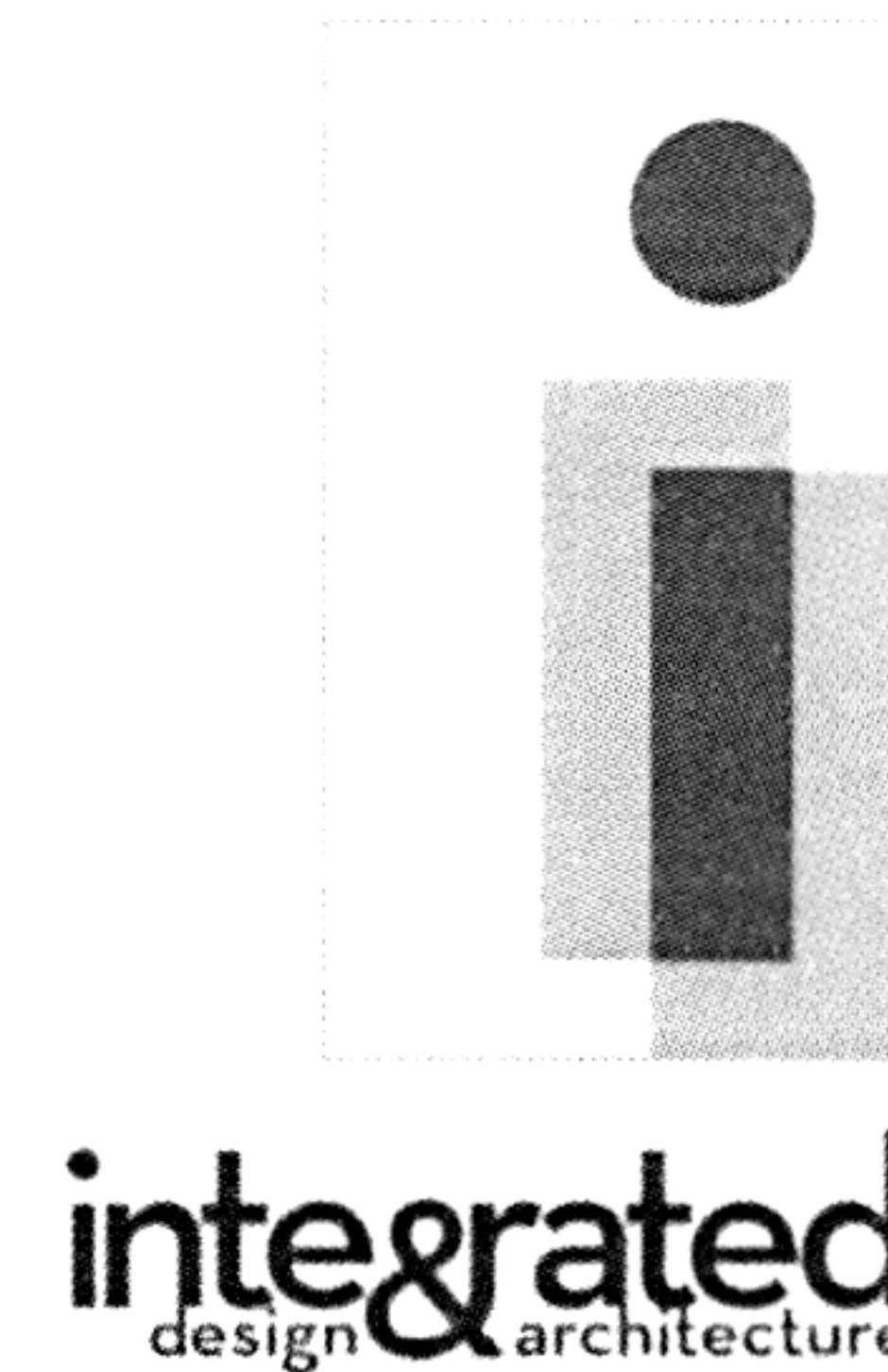




October 14, 2011

City of Albuquerque
Attn: Kristal Metro
600 Second Street NW, Room 201
Albuquerque, NM 87102

**RE: GAHP: Plaza Feliz – Traffic Certification
Building Permit #201092253**



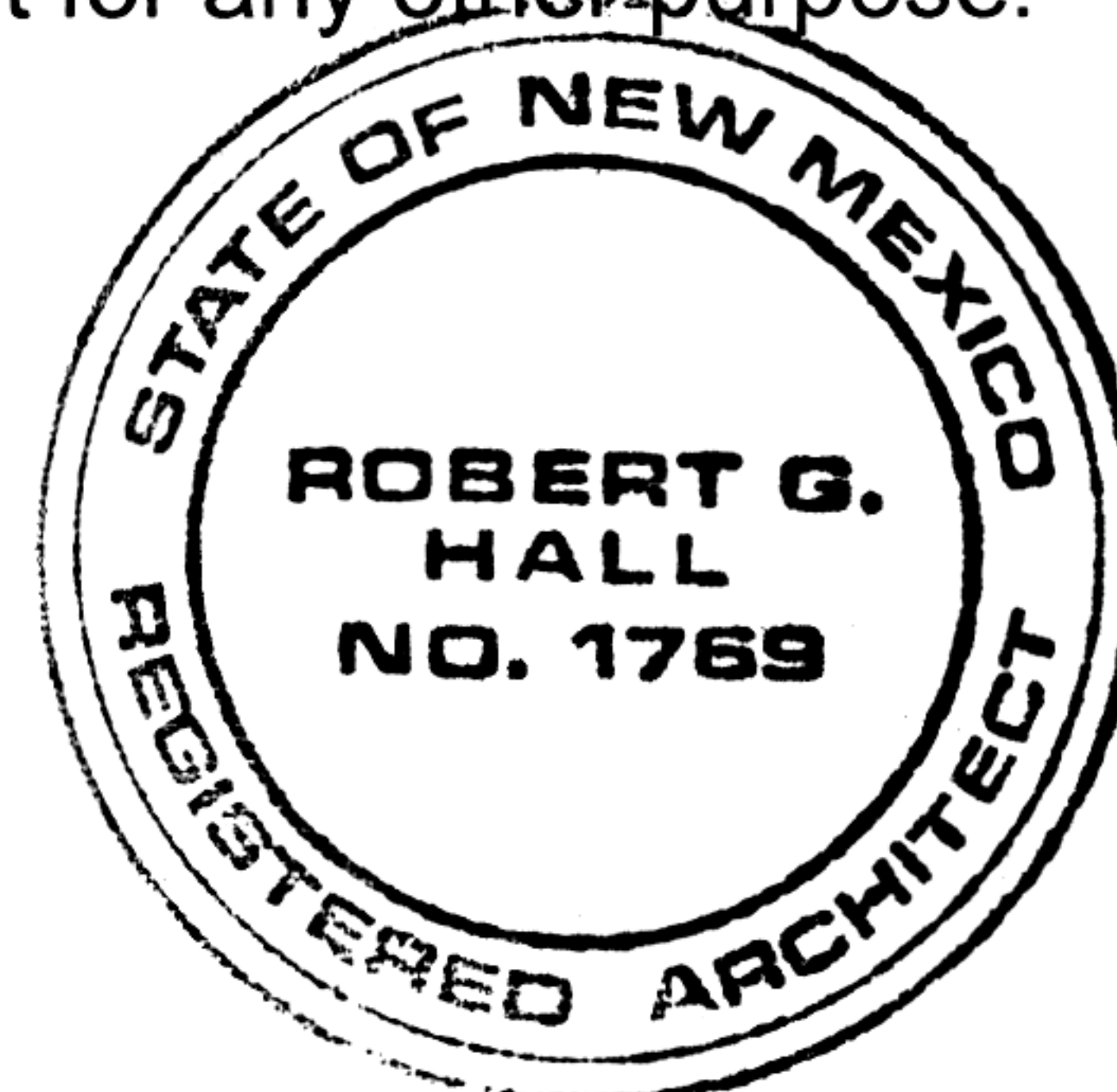
Dear Kristal Metro,

I, Bob Hall, AIA, NMRA 1769, of the firm Integrated Design & Architecture, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated 11/17/10. The record information edited onto the original design documents has been obtained by Bob Hall of the firm Integrated Design & Architecture. I further certify that I have personally visited the site on 10/4/11 and have determined by visual observation that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy.

During the permitting process, after the TCL was approved, the project was asked to be phased by the Building Code Plan Reviewers. The attached plan indicates the areas that will be completed in each phase of the work. At the time of this letter/ certification all phases, with respect to Transportation, have been completed with the exception of Phase 6 (Building R1) and Phase 7 (Building K), which are not being addressed in this letter/ certification, and are not included in this request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.

Signature of Architect
Date: October 14, 2011



Attachment: Copy of Approved TCL overall site plan with phases indicated

CITY OF ALBUQUERQUE



November 14, 2011

Gilbert Aldaz, P.E.
Applied Engineering & Survey
1605 Blair Dr. NE
Albuquerque, NM 87112

**Re: Plaza Feliz – Entire Site, 517 San Pablo SE,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 11-09-10 (L-19/D071)
Certification dated: 11-09-11**

Dear Mr. Aldaz,

Based upon the information provided in the Certification received 11-10-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

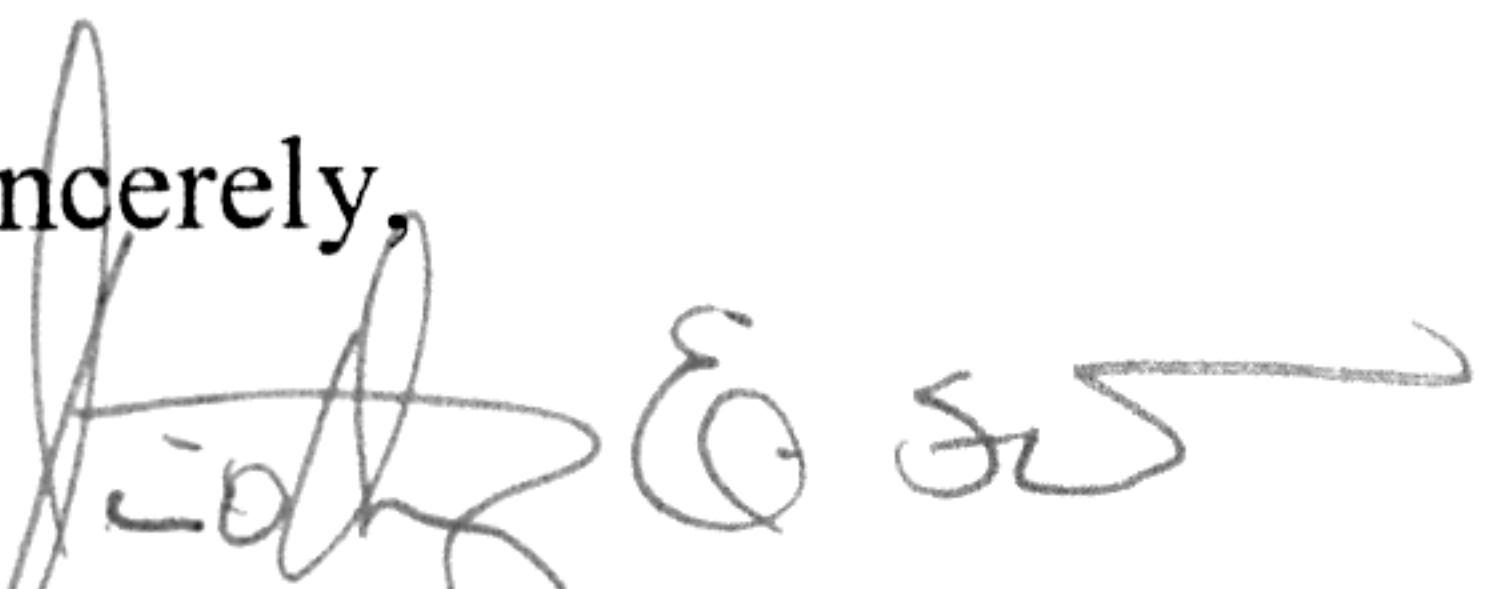
All future Permanent Certificate of Occupancy request need conform to the engineer's certification language per the DPM.

Albuquerque

If you have any questions, you can contact me at 924-3982.

Sincerely,

NM 87103


Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: PLAZA FELIZ ZONE MAP/DRG. FILE #: L-19/D71
 DRB #: 1008360 EPC#: _____ WORK ORDER#: 590184

LEGAL DESCRIPTION: Lots 1-12 & 14-24, Block 14, EMIL MANN ADDT.
 CITY ADDRESS: ESPAÑOLA STREET SE & Bell Avenue SE

ENGINEERING FIRM: APPLIED Engineering & Survey
 ADDRESS: 1605 Blair Drive NE
 CITY, STATE: ALBUQ., NM 87112

CONTACT: Gilbert Aldaz
 PHONE: 480-8125
 ZIP CODE: 87112

OWNER: Greater ALBUQ. Housing
 ADDRESS: 320 Gold SW #918
 CITY, STATE: _____

CONTACT: Louis Kolker
 PHONE: 244-1614
 ZIP CODE: 87102

ARCHITECT: Integrated Design & Arch
 ADDRESS: 624 Tijeras Av NW
 CITY, STATE: ALBUQ., NM 87102

CONTACT: Bob Hall
 PHONE: 243-3499
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

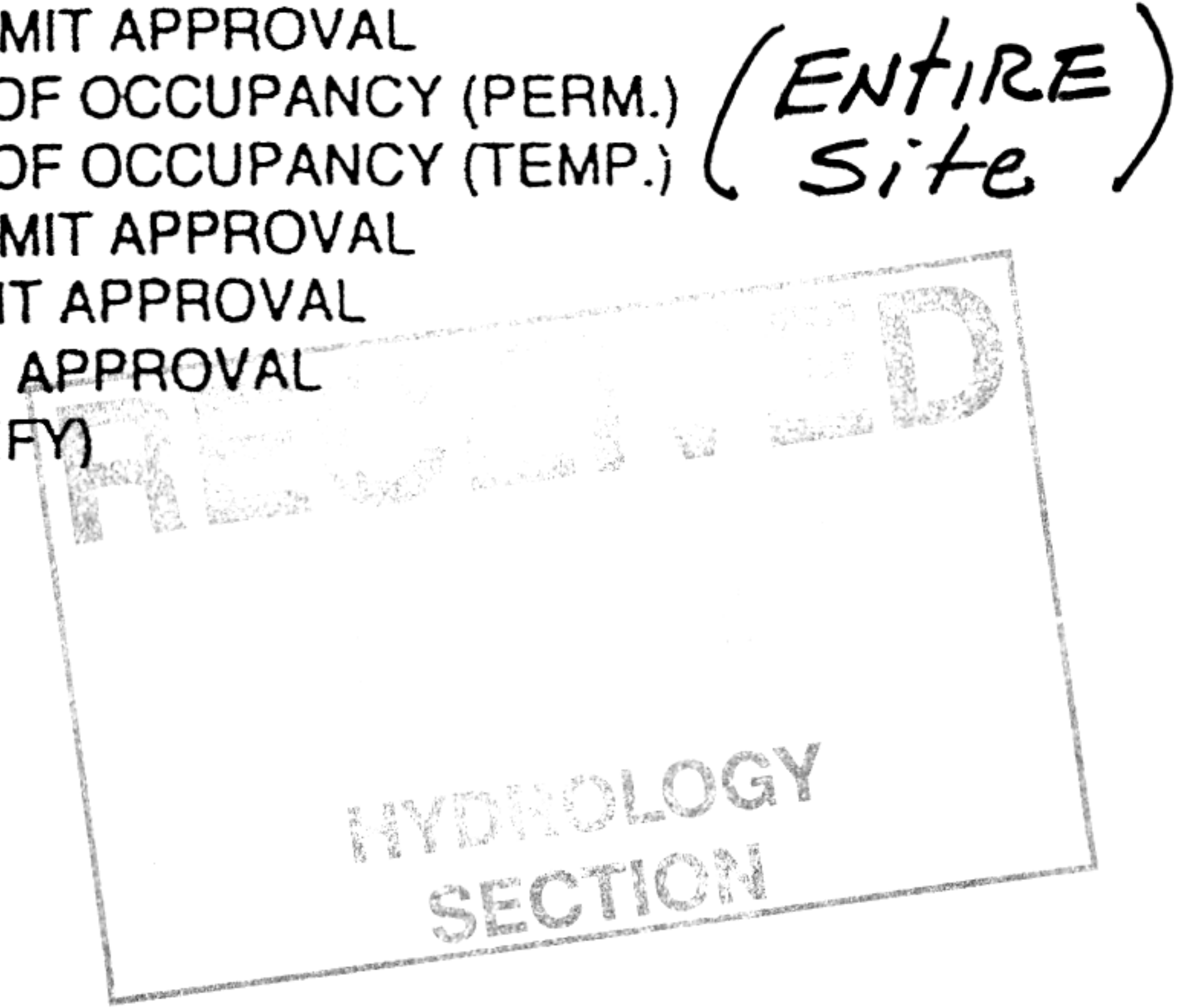
CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEERS CERTIFICATION (TCL)
 - ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D. APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES Brad Bingham
 NO
 COPY PROVIDED

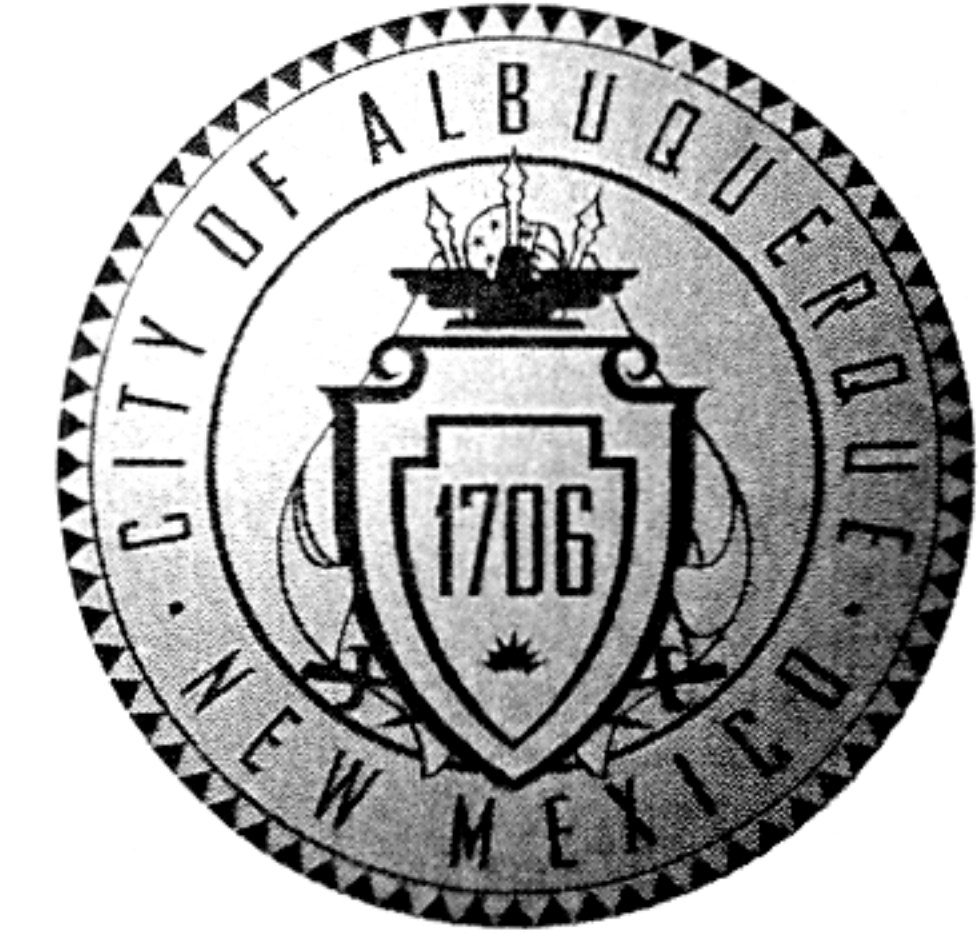


DATE SUBMITTED: 11-10-11 BY: Gilbert Aldaz

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 6, 2011

Robert G. Hall, R.A.
Integrated Design & Architecture
906-1/2 Park Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for a Permanent Building Certificate of Occupancy (C.O.)
for Plaza Feliz, [L-19 / D071]
517 San Pablo Street SE
Engineer's Stamp Dated 10/05/11

Dear Mr. Hall:

Based upon the information provided in your submittal received 10-05-11, Transportation Development has **Disapproved/Rejected** your request for a Permanent Certificate of Occupancy. Not all infrastructure, signing, striping and pavement markings have been completed. This will pose a safety concern/issue (hazard) to the public and the occupants of this proposed Development/Housing.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PLAZA FELIZ ZONE MAP: L-19/2071
DRB#: EPC#: WORK ORDER#:

LEGAL DESCRIPTION:
CITY ADDRESS: 517 SAN PABLO STREET S.E.

ENGINEERING FIRM: 500? Espanola St. SE
ADDRESS:
CITY, STATE: CONTACT: PHONE: ZIP CODE:

OWNER:
ADDRESS:
CITY, STATE: CONTACT: PHONE: ZIP CODE:

ARCHITECT: INTEGRATE DESIGN & ARCHITECTURE
ADDRESS: 906 1/2 PARK AVE SW
CITY, STATE: ALBUQUERQUE, NM CONTACT: BOB HALL
PHONE: 243-3499
ZIP CODE: 87162

SURVEYOR:
ADDRESS:
CITY, STATE: CONTACT: PHONE: ZIP CODE:

CONTRACTOR:
ADDRESS:
CITY, STATE: CONTACT: PHONE: ZIP CODE:

- TYPE OF SUBMITTAL:
DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT
ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL SOUGHT:
SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

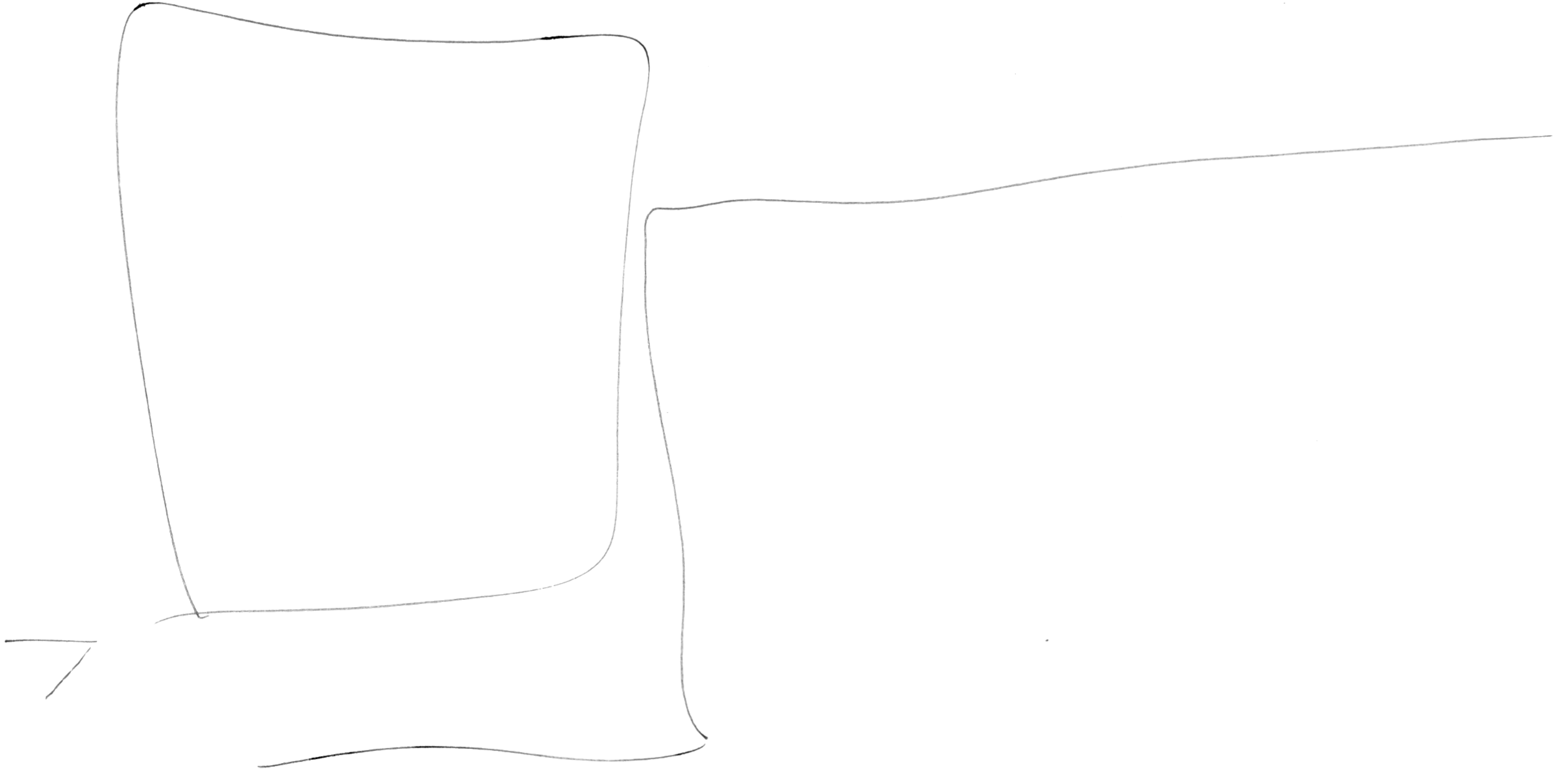
- YES
NO
COPY PROVIDED

DATE SUBMITTED: OCTOBER 5, 2011

OCT 5 2011
CARLOS CONROY
BY: [Signature]

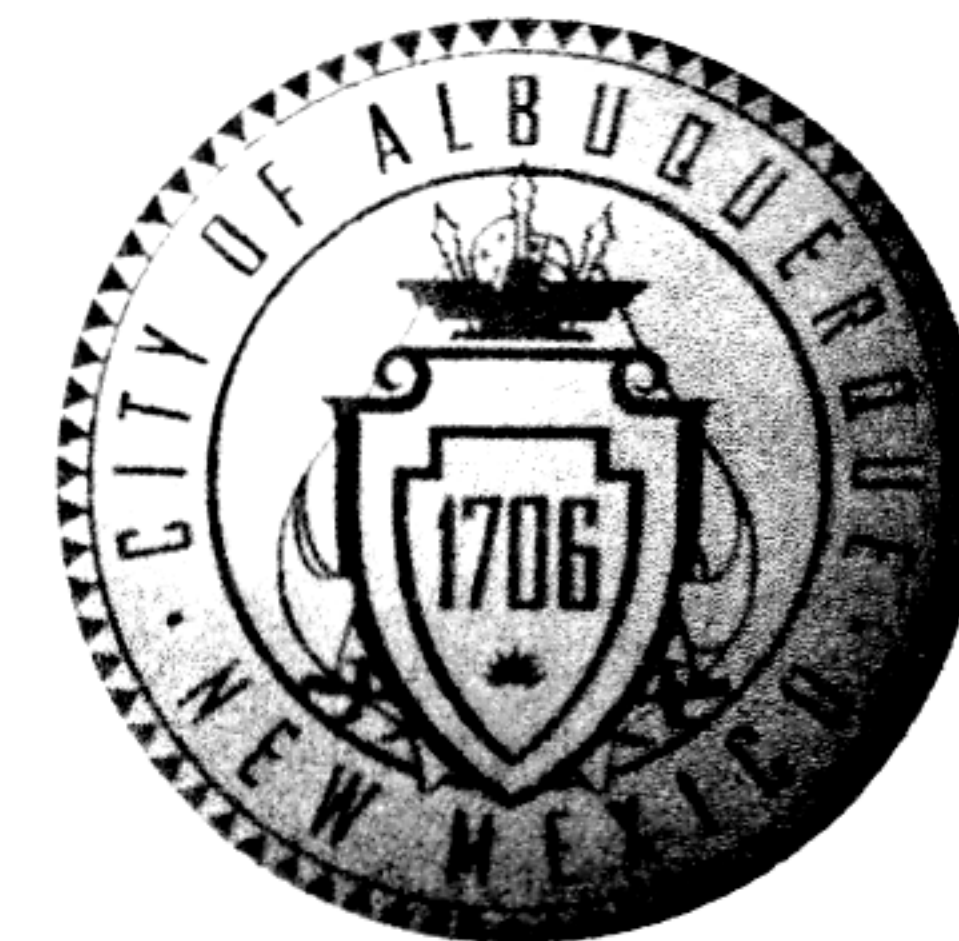
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Anthony Lopez
field insp.
10/06/11

CITY OF ALBUQUERQUE



November 17, 2010

Robert Hall, R.A.
Integrated Design & Architecture
906 ½ Park Avenue SW
Albuquerque, NM 87102

Re: Plaza Feliz, 500 Espanola Street SE, Traffic Circulation Layout
Architect's Stamp dated 10-18-10 (L19-D071)

Dear Mr. Hall,

The TCL submittal received 11-05-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: PLAZA FELIZ ZONE MAP: L-17/0071
DRB#: 10 DRB-70226 EPC#: WORK ORDER#:

LEGAL DESCRIPTION: TRACT A PLAZA FELIZ, BEING A REPLAT OF LOTS 1-12...
CITY ADDRESS: 500 ESPANOLA STREET SE, ALBUQUERQUE, NM, 87108

ENGINEERING FIRM: APPLIED ENGINEERING CONTACT: GILBERT
ADDRESS: 1605 BLAIR DR NE PHONE: 237-1456
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87112

OWNER: GAHP CONTACT: LOUIS
ADDRESS: 320 GOLD SW SUITE 918 PHONE: 244-1614
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

ARCHITECT: INTEGRATE DESIGN & ARCHITECTURE CONTACT: CARLOS CONROY
ADDRESS: 906 1/2 PARK AVE SW PHONE: 243-3499
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87102

SURVEYOR: SURYTEK, INC CONTACT: RUSS
ADDRESS: 9384 VALLEY VIEW DRIVE NW PHONE: 877-3366
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87114

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

TYPE OF SUBMITTAL:

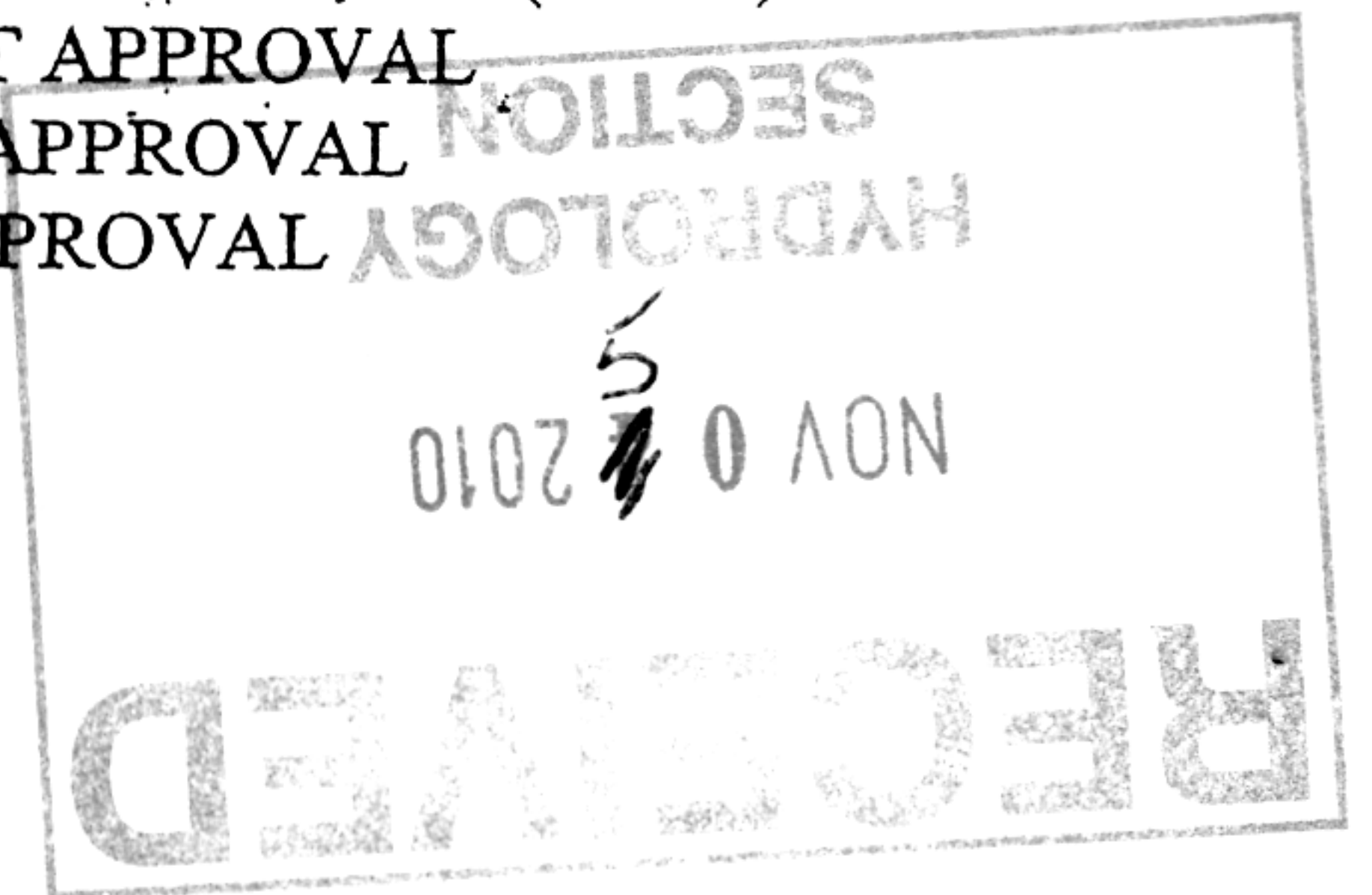
- DRAINAGE REPORT
DRAINAGE PLAN 1st SUBMITTAL
DRAINAGE PLAN RESUBMITTAL
CONCEPTUAL G & D PLAN
GRADING PLAN
EROSION CONTROL PLAN
ENGINEER'S CERT (HYDROLOGY)
CLOMR/LOMR
X TRAFFIC CIRCULATION LAYOUT
ENGINEER'S CERT (TCL)
ENGINEER'S CERT (DRB SITE PLAN)
OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
PRELIMINARY PLAT APPROVAL
S. DEV. PLAN FOR SUB'D APPROVAL
S. DEV. FOR BLDG. PERMIT APPROVAL
SECTOR PLAN APPROVAL
FINAL PLAT APPROVAL
FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY (PERM)
CERTIFICATE OF OCCUPANCY (TEMP)
GRADING PERMIT APPROVAL
PAVING PERMIT APPROVAL
WORK ORDER APPROVAL
OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- X YES
NO
COPY PROVIDED



DATE SUBMITTED: NOVEMBER 5, 2010 BY: CARLOS CONROY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Cherne, Curtis

From: Gilbert Aldaz [galdaz47@yahoo.com]
Sent: Tuesday, October 04, 2011 5:43 PM
To: Cherne, Curtis
Cc: Louis Kolker; Bob Hall
Subject: Plaza Feliz Drainage Bldg C OF O

Here is the schedule request for the Temp Certification of Occupancys for each of the units, we discussed that you wanted a 24"x36" grading plan with my visual certification on each plan for each Temp CO, will we need to do this for each one of the temp certifications, not sure how much value this will add?

Could you issue the temp certifications with one visual 24"x36" grading plan for the entire site, as I said the site is almost complete with exception of landscaping, I have been onsite during the full duration and everything thus far appears per plan. Could you wait until the final as-built for Bldg K permanent CO? We also have a work order so this is another mechanism for you not to sign off until you receive the permanent CO. Please call me at 480-8125 so we can discuss further, thanks.

Gilbert Aldaz, P.E & P.S.,
galdaz47@yahoo.com

----- Forwarded Message -----

From: Marlon Barajas <mbarajas@pavilionconstruction.com>
To: galdaz47@yahoo.com
Cc: Ira Griffin <igriffin@pavilionconstruction.com>; carlos@integrateddesignarch.com; Rob Olson <rolson@pavilionconstruction.com>
Sent: Tuesday, October 4, 2011 5:27 PM
Subject: Bldg C OF O

Gilbert,

Per our conversation this afternoon regarding turn overs. I would like to follow up on how we plan on turning over the buildings. Louis is wanting us to turn the buildings over to him one at a time. Each building is permitted individually and the whole intent is for each building to be on a separate c of o. Its my understanding that the city will give us temp c o's and will not give us a permanent c o until all of the site grading is 100 % complete. Please review the following turn schedule and let me know if there will be any issues in making this dates.

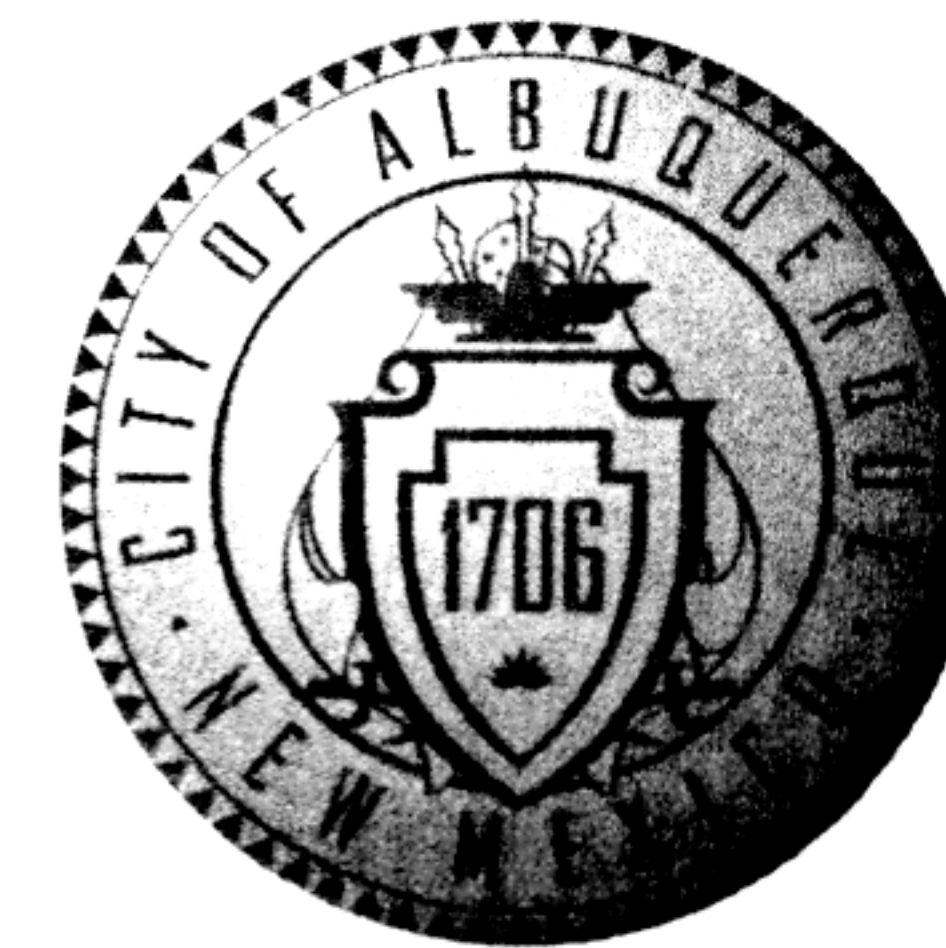
Bldg	Turn Dates
J-2.	10-7-11
T-2.	10-14-11
J-1.	10-21-11
Q.	10-21-11
R-2.	11-4-11
T-1.	11-11-11
R-1.	11-18-11
K-	11-25-11

Building K will be the one to hold until permanent C OF O is given. Pleas call me if you have any questions.

Thank you

10/5/2011

CITY OF ALBUQUERQUE



November 23, 2010

Gilbert Aldaz, P.E.
Applied Engineering
1605 Blair Dr NE
Albuquerque, NM 87112

**Re: Plaza Feliz Drainage and Grading Plan
Engineer's Stamp dated 11-9-10 (L19/D071)**

Dear Mr. Aldaz,

Based upon the information provided in your submittal received 11-10-10, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

The sidewalk culvert on Espanola St. will be built per Work Order.

This is now the plan to Certify for release of Certificate of Occupancy.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: PLAZA FELIZ ZONE MAP/DRG. FILE #: L-19/071
DRB #: 1008360 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1-12 & 14-24, Block 14, Emil Mann Addt.
CITY ADDRESS: ESPAÑOLA STREET SE & Bell Avenue SE

ENGINEERING FIRM: APPLIED Engineering & Survey
ADDRESS: 1605 Blair Drive NE
CITY, STATE: ALBUQ., NM 87112

CONTACT: Gilbert Aldaz
PHONE: 480-8125
ZIP CODE: 87112

OWNER: Greater ALBUQ., Housing
ADDRESS: 320 Gold SW #918
CITY, STATE: _____

CONTACT: Louis Kolker
PHONE: 244-1614
ZIP CODE: 87102

ARCHITECT: Integrated Design & Arch
ADDRESS: 624 Tijeras Av NW
CITY, STATE: ALBUQ., NM 87102

CONTACT: Bob Hall
PHONE: 243-3499
ZIP CODE: 87102

SURVEYOR: _____
ADDRESS _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

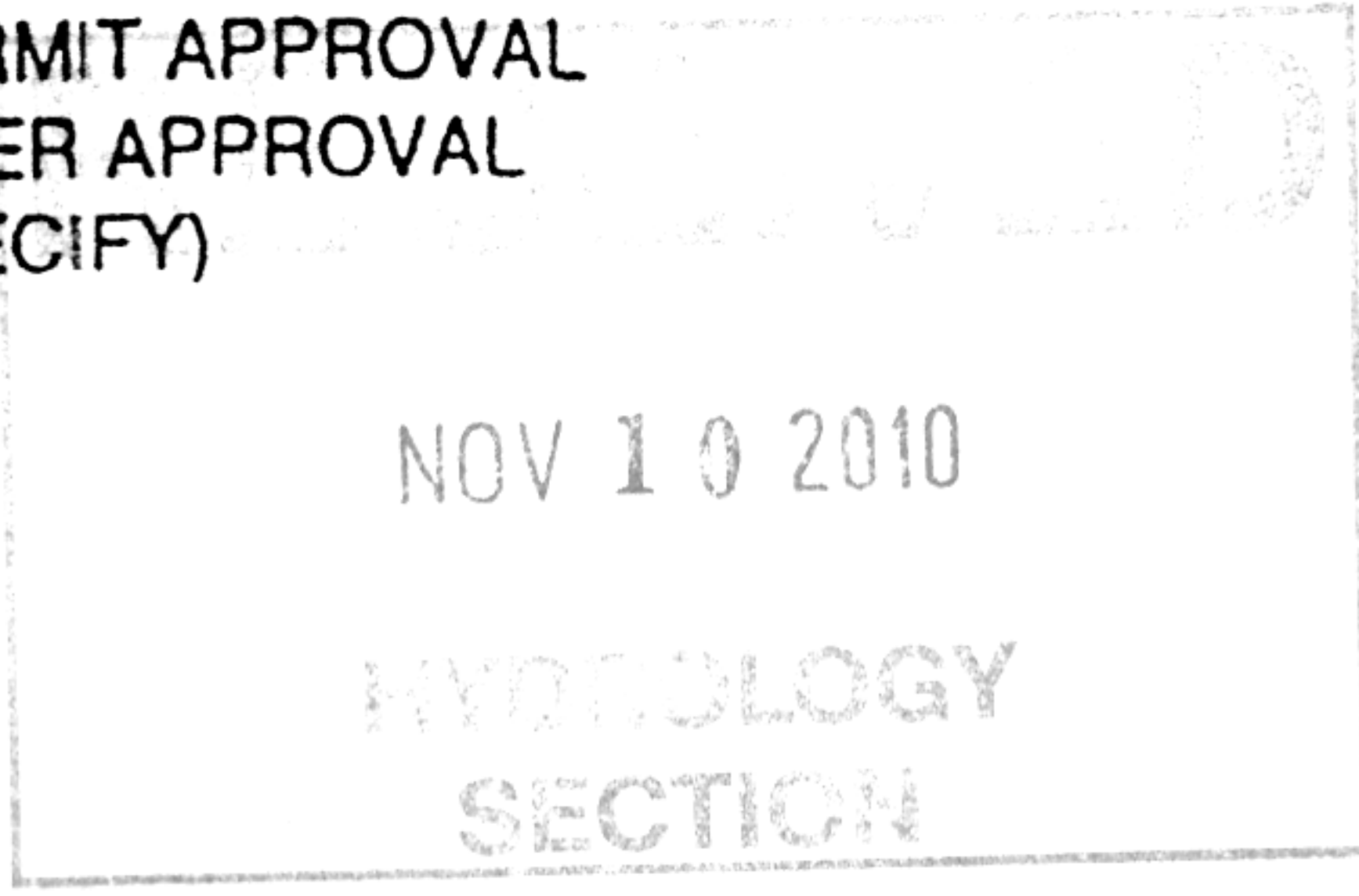
CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

- CHECK TYPE OF SUBMITTAL:
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL GRADING & DRAINAGE PLAN
 - GRADING PLAN
 - EROSION CONTROL PLAN
 - ENGINEER'S CERTIFICATION (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEERS CERTIFICATION (TCL)
 - ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
 - OTHER

- CHECK TYPE OF APPROVAL SOUGHT:
- SIA / FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D. APPROVAL
 - S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM.)
 - CERTIFICATE OF OCCUPANCY (TEMP.)
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 YES Brad Bingham
 NO
 COPY PROVIDED

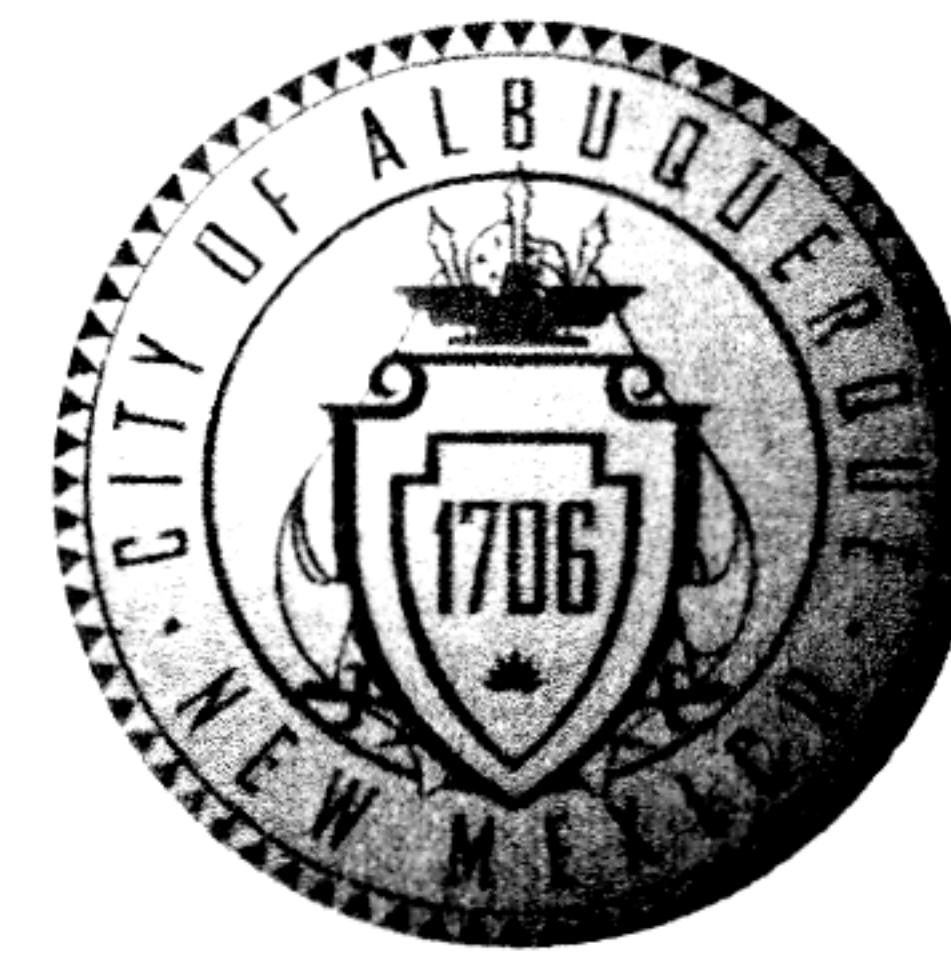


DATE SUBMITTED: 11-10-10 BY: Gilbert Aldaz

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 30, 2010

Gilbert Aldaz, P.E.
Applied Engineering
1605 Blair Dr NE
Albuquerque, NM 87112

Re: Plaza Feliz Drainage and Grading Plan
Engineer's Stamp dated 9-15-10 (L19/D071)

Dear Mr. Aldaz,

Based upon the information provided in your submittal received 9-17-10, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing $\frac{3}{4}$ of an acre or more.

The sidewalk culvert on Espanola St. will be built per Work Order.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Kathy Verhage, DMD

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



September 15, 2010

Mr. Curtis Cherne, P.E.
Senior Engineer, Planning Department
Development and Building Services

RE: YOUR LETTER DATED AUGUST 17, 2010 FOR PLAZA FELIZ
DRAINAGE AND GRADING PLAN, ENGINEER'S STAMP DATED 08-
11-10 (L-19/D071)

Dear Mr. Cherne:

Please consider the following changes that were incorporated with this revised plan:

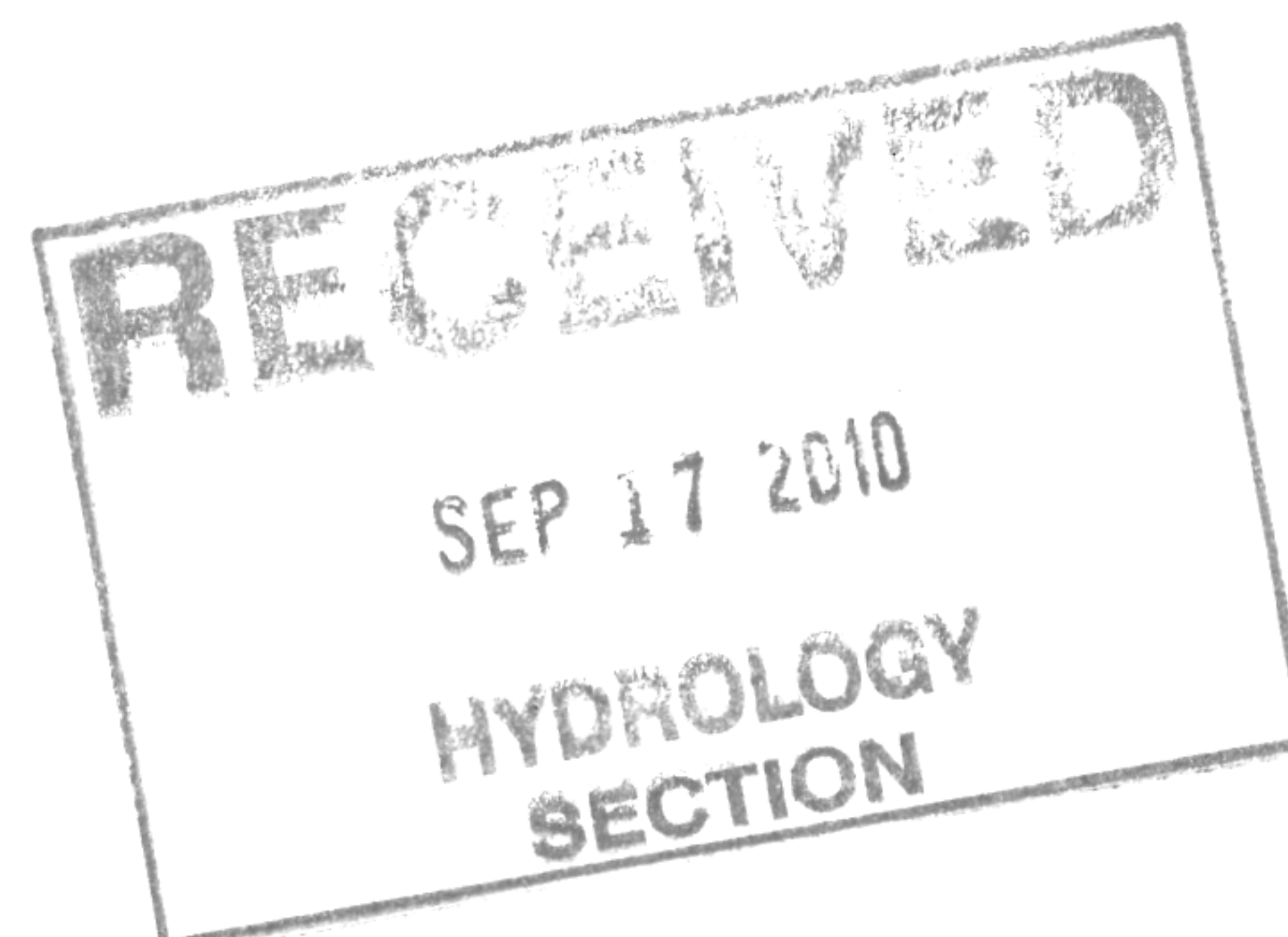
- Existing and proposed contours now shown on this plan.
- Sidewalk culverts have been added, see detail sheet for additional information.
- Per our meeting on 08/27/10 it appears most of the flow is getting picked up on the inlets in Trumbull and any bypass flow continues west, this part of the street would indicate low flows. There is also 1 foot between the flow line in Espanola Street and the driveway entry at the east end.
- There is no wall behind the existing residence, only a chain link fence. A portion of the roof drains onto this property, calculations have been revised to accept this flow along with a swale to accept these offsite flows into this development have been included.
- Flows are now taken west on a proposed swale and diverted into the existing driveway that connects into Bell Avenue.
- Flows from the roof are proposed to enter the water harvesting areas in the front yards.
- Finish floor elevations are a minimum of 12" from flow line of curb per drainage narrative.
- Note has been removed regarding protection of inlets with fabric.

If you should have any questions, please do not hesitate to call me at 480-8125.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gilbert Aldaz'.

Gilbert Aldaz, P.E. and P.S.



CITY OF ALBUQUERQUE



August 17, 2010

Gilbert Aldaz, P.E.
Applied Engineering
1605 Blair Dr NE
Albuquerque, NM 87112

**Re: Plaza Feliz Drainage and Grading Plan
Engineer's Stamp dated 8-11-10 (L19/D071)**

Dear Mr. Aldaz,

Based upon the information provided in your submittal received 8-12-10, the above referenced plan is approved for Platting action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Provide existing and proposed contours.
- Is the concrete channel, Keyed Note 2, flush with the surrounding sidewalk? It also appears to dead end into the sidewalk. It should drain through a sidewalk culvert, which it does not appear there is enough grade (0.35%).
- Provide a water block on the Espanola St. drive entrance.
- Is there a wall around the existing residence? Provide grade information in the landscape area as well as the lot of the existing residence, so it is evident how these areas drain.
- It appears the roof flows from the proposed building on Bell Ave (FF 5345.90) will drain over the sidewalk. They could be routed out the drive entrance.
- Will roof flows drain to water harvesting areas in front of the buildings?
- Roof flows from the building (FF 5347) on San Pablo St should not drain over the sidewalk.
- The finished Floor elevations of the buildings on San Pablo are not a minimum of 12" above the top of curb as stated in the Drainage Analysis.
- The Erosion Control section of the Drainage Analysis mentions for the contractor to "...protect existing inlets..." This is not the preferred BMP. The preferred BMP is to capture all sediment/trash on-site. Inlet protection requires an SO-19 Permit. If an SO 19 Permit is not obtained, the inlet protection can be removed at anytime without notice.

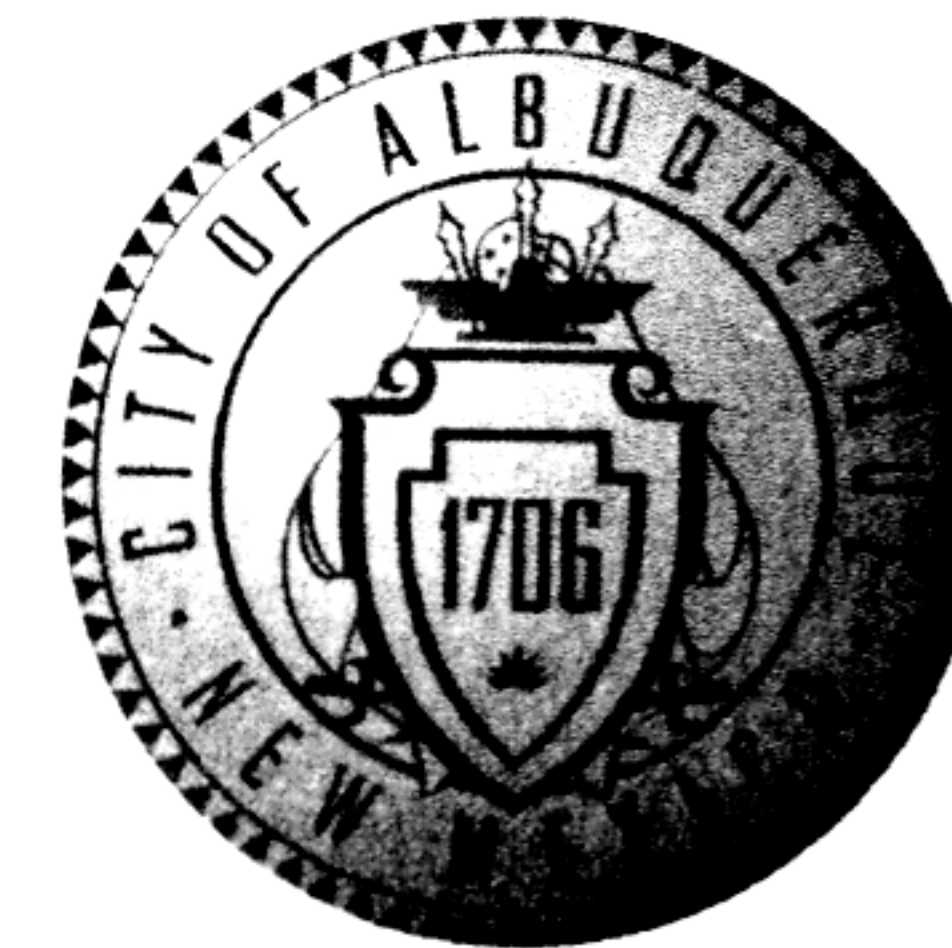
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

Curtis A. Cherne, P.E.

Senior Engineer, Planning Dept.

Development and Building Services

C: file
Brad Bingham

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov