

VICINITY MAP  
Not To Scale

#### GENERAL NOTES

- Bearings are grid based on New Mexico State Plane Coordinate System, Central Zone (NAD 83) originated at Albuquerque Control Station Monument "7-K19".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parentheses ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated.
- City of Albuquerque Zone Atlas: Page L-19-Z.
- Documents used in the preparation of this survey are as follows:
  - Plat entitled "PLAT OF EMIL MANN ADDITION, ALBUQUERQUE, NEW MEXICO, PLATTED OCTOBER 1943, ROSS-BEYER ENGINEERING OFFICE, GMS, SCALE 1" = 200", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 18, 1944, in Volume D, Folio 78C, as Document No. 62348.

#### SUBDIVISION DATA

Total number of existing Lots: 23  
Total number of new Tracts created: 1  
Gross Subdivision acreage: 3.6036 acres.

#### TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

101905613543021401-thru 21413  
City of Albuquerque

Rut Du 10-25-10  
Bernalillo County Treasurer

#### PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico (PNM), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

#### DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive nor release any easement or easement rights to which it may have been granted by prior plat, replat or other document and which are not shown on this plat.

#### PURPOSE OF PLAT:

The purpose of the plat is to:

- Combine twenty three (23) existing lots along with the portions of Vacated right of way from Bell and Trumbull Avenues which were vacated by 010DRB-10227 into one (1) tract.
- Dedicate additional public street right of way as shown hereon to the City of Albuquerque in fee simple.
- Grant the Public Utility Easements as shown hereon.

#### SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg  
NMPS No. 9750  
July 30, 2010



## PLAT OF TRACT A PLAZA FELIZ

(BEING A REPLAT OF LOTS 1 THRU 12 AND 14 THRU 24, BLOCK 14, EMIL MANN ADDITION AND VACATED PORTIONS OF BELL AND TRUMBULL AVENUES)

SITUATE WITHIN  
SECTION 30, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JULY, 2010

DOCH 2010108385

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PLAT R:\$17.00 B: 2010C P: 0124 M: Toulous Olivera, Bernalillo Cour

PROJECT NUMBER: 1008360

Application Number: 10DRB-70226, 10DRB-70227  
10DRB-70229

#### PLAT APPROVAL

##### Utility Approvals:

Charles Z. Brown  
Public Service Company of New Mexico (PNM)

10-12-2010  
Date

Amelia Rios  
New Mexico Gas Company (NMGC)

10/12/2010  
Date

Greg Hume  
QWest Corporation

10-12-10  
Date

Robert Matson  
Comcast

10-12-10  
Date

##### City Approvals:

MB Hart  
City Surveyor  
Department of Municipal Development

8-6-10  
Date

John H. Howell  
Real Property Division

9-28-10  
Date

##### Environmental Health Department

MS & S  
Traffic Engineering, Transportation Division

09/15/10  
Date

Alan Peter  
A.B.C.W.U.A.

09/15/10  
Date

Christina Sandoval  
Parks and Recreation Department

9/15/10  
Date

Bradley D. Bingham  
AMAFCA

9/15/10  
Date

Bradley D. Bingham  
City Engineer

9/15/10  
Date

Paul Chen  
DRP Chairperson, Planning Department

10-22-10  
Date



## LEGAL DESCRIPTION

That certain parcel of land situate within Section 30, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Lots 1 through 12, and Lots 14 through 24, Block 14, Emil Mann Addition, as the same is shown on the plat entitled "PLAT OF EMIL MANN ADDITION, ALBUQUERQUE, NEW MEXICO, PLATTED OCTOBER 1943, ROSS-BEYER ENGINEERING OFFICE, GMS, SCALE 1" = 200'", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 18, 1944, in Volume D, Folio 78C, as Document No. 62348; Together with Vacated portions of Bell Avenue S.E. and Trumbull Avenue S.E., more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750, using New Mexico State Plane Grid Bearings (Central Zone - NAD 83) and ground distances as follows:

Beginning at the northeasterly corner of the parcel herein described (a 1-1/2" iron pipe found in place), said point also being the northeasterly corner of said Lot 24, Block 14, Emil Mann Addition, and also being the intersection of the southerly right of way line of Bell Avenue S.E. and the westerly right of way line of San Pablo Street S.E., whence Albuquerque Central Survey Monument "7-K19" bears N 38°36'25" W, 2,394.29 feet distant; Thence, along said westerly right of way line of San Pablo Street S.E.

S 01°00'54" W, 555.00 feet to the southeasterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southeasterly corner of said Lot 14, Block 14, Emil Mann Addition, and also being the northeasterly corner of Lot 13, Block 14, Emil Mann Addition of said plat filed in Volume D, Folio 78C; Thence,

N 88°59'06" W, 135.00 feet to an angle point (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southwesterly corner of said Lot 14, Block 14, Emil Mann Addition, and also being the southeasterly corner of said Lot 11, Block 14, Emil Mann Addition, and also being the northeasterly corner of said Lot 12, Block 14, Emil Mann Addition, and also being the northwesterly corner of said Lot 13, Block 14, Emil Mann Addition; Thence,

S 01°00'54" W, 54.00 feet to an angle point (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southeasterly corner of said Lot 12, Block 14, Emil Mann Addition, and also being the southwesterly corner of said Lot 13, Block 14, Emil Mann Addition, and also being a point on the northerly right of way line of Trumbull Avenue S.E.; Thence,

N 88°59'06" W, 113.90 feet to a point of curvature; Thence,

Northwesterly, 12.87 feet on the arc of a curve to the right (said curve having a radius of 20.00 feet, a central angle of 36°52'12" and a chord which bears N 70°33'00" W, 12.65 feet) to a non tangent point on curve on said northerly right of way line of Trumbull Avenue S.E.; Thence,

N 88°59'06" W, 9.10 feet to the southwesterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the southwesterly corner of said Lot 12, Block 14, Emil Mann Addition, and also being the intersection of said northerly right of way line of Trumbull Avenue S.E. and the easterly right of way line of Espanola Street S.E.; Thence, along said easterly right of way line of Espanola Street S.E.

N 01°00'54" E, 600.00 feet to the northwesterly corner of the parcel herein described (a 5/8" rebar with cap stamped "LS 9750" set in place), said point also being the northwesterly corner of said Lot 1, Block 14, Emil Mann Addition, and also being the intersection of said easterly right of way line of Espanola Street S.E. and said southerly right of way line of Bell Avenue S.E.; Thence, along said southerly right of way line of Bell Avenue S.E.,

S 88°59'06" E, 7.87 feet to a non tangent point on curve; Thence,

Northeasterly, 14.45 feet on the arc of a curve to the right (said curve having a radius of 20.00 feet, a central angle of 41°24'35" and a chord which bears N 70°18'37" E, 14.14 feet) to a point of tangency on said southerly right of way line of Bell Avenue S.E.; Thence,

S 88°59'06" E, 228.90 feet to a point of curvature; Thence,

Southeasterly, 14.45 feet on the arc of a curve to the right (said curve having a radius of 20.00 feet, a central angle of 41°24'35" and a chord which bears S 68°16'49" E, 14.14 feet) to a non tangent point on curve on said southerly right of way line of Bell Avenue S.E.; Thence,

S 88°59'06" E, 6.77 feet to the point of beginning.

Said parcel contains 3.6036 acres, more or less.

## PLAT OF TRACT A PLAZA FELIZ

(BEING A REPLAT OF LOTS 1 THRU 12 AND 14 THRU 24, BLOCK 14, EMIL MANN ADDITION AND VACATED PORTIONS OF BELL AND TRUMBULL AVENUES)

SITUATE WITHIN  
SECTION 30, TOWNSHIP 10 NORTH, RANGE 4 EAST

NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

JULY, 2010

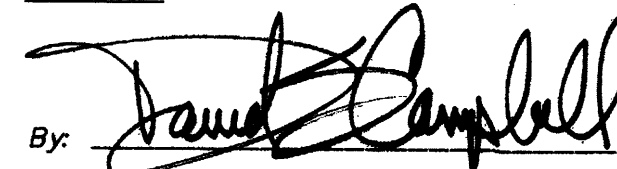
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PLAT R: \$17.00 B: 2010C P: 0126 N. Toulous Oliveira, Bernalillo Cour

## FREE CONSENT AND DEDICATION

SURVEYED AND REPLATTED and now comprising "PLAT OF TRACT A, PLAZA FELIZ (BEING A REPLAT OF LOTS 1 THRU 12 AND 14 THRU 24, BLOCK 14, EMIL MANN ADDITION AND VACATED PORTIONS OF BELL AND TRUMBULL AVENUES) SITUATE WITHIN SECTION 30, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner and proprietor. Said owner and proprietor does hereby dedicate the additional public street right of way as shown hereon to the City of Albuquerque in fee simple by this plat. Said owner and proprietor does hereby grant the easement(s) as shown hereon. Said owner and proprietor does hereby consent to all of the foregoing and do hereby certify that it is authorized to act.

## OWNER

By: 

David S. Campbell, Chief Administrative Officer, City of Albuquerque, a New Mexico Municipal Corporation.

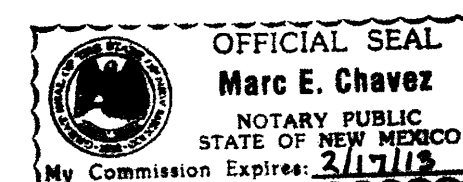
## ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 9th

day of August, 2010, by David S. Campbell, Chief Administrative Officer, City of Albuquerque, a New Mexico Municipal Corporation.

Marc E. Chavez My commission expires 2/17/13  
Notary Public



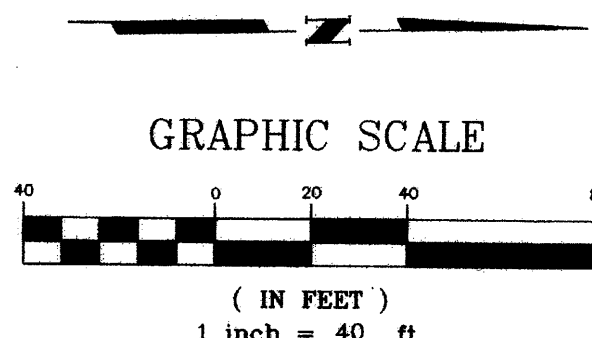
SHEET 2 OF 3

**SURV TEK, INC.**  
Consulting Surveyors

100.355 8-04-10 dwn

Phone: 505-897-3366





LINE TABLE		
LINE	LENGTH	BEARING
L1	9.10	N88°59'06"W
L2	7.87	S88°59'06"E
L3	6.77	S88°59'06"E
L4	22.00	S88°59'06"E
L5	36.42	S88°59'06"E
L6	20.00	N88°59'06"W
L7	55.48	N88°59'06"W
L8	6.00	S88°59'06"E
L9	3.00	N01°00'54"E
L10	12.00	S01°00'54"W
L11	3.25	N88°59'06"W
L12	3.25	S88°59'06"E
L13	18.08	S01°00'54"W
L14	36.42	N88°59'06"W
L15	54.00	S01°00'54"W

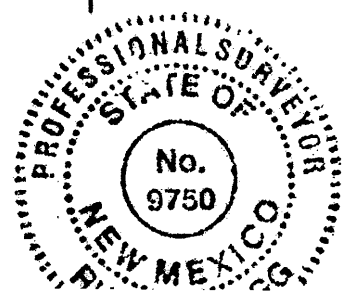
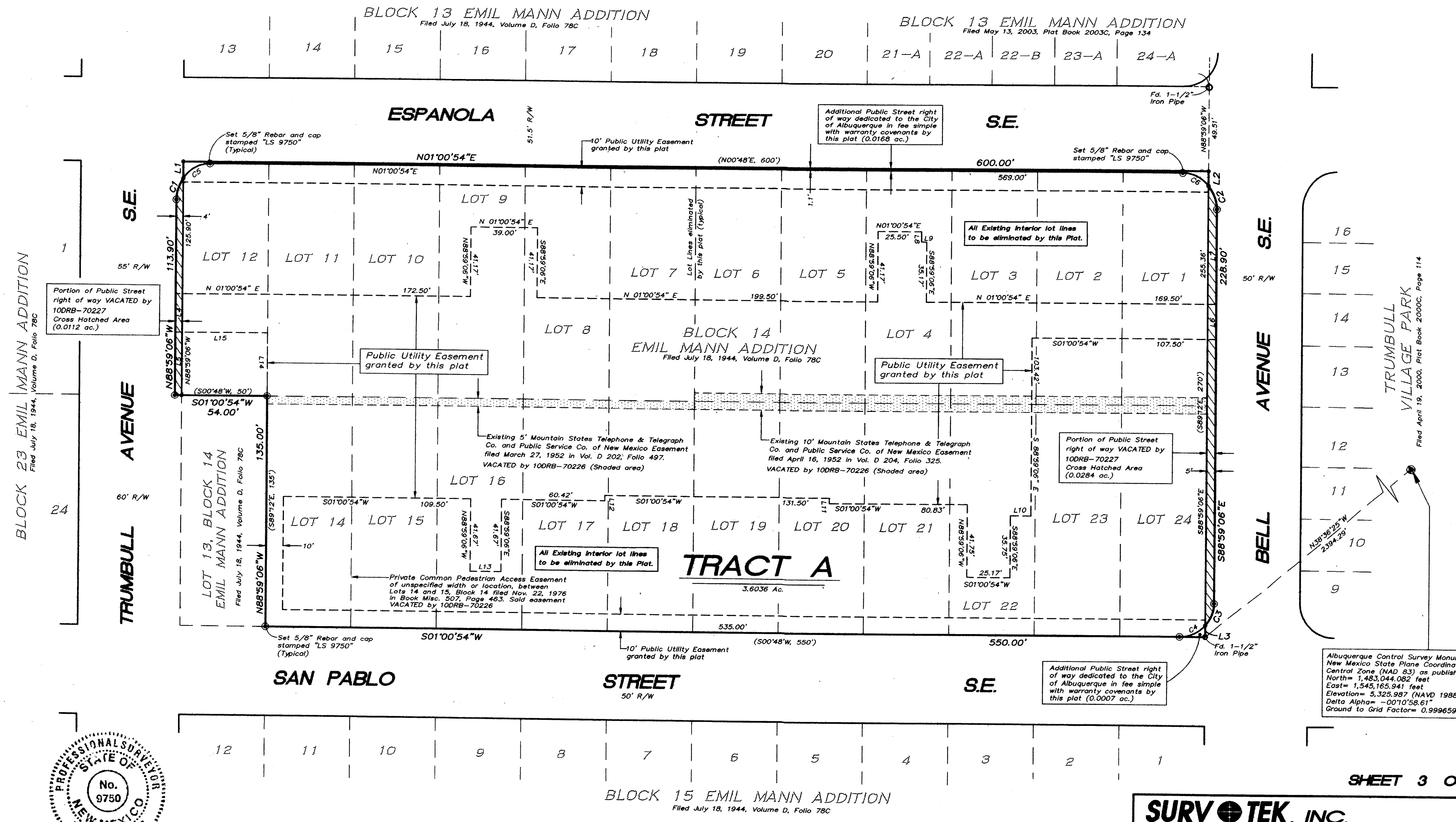
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	12.87'	20.00'	6.67'	12.65'	N70°33'00"W	36°52'12"
C2	14.45'	20.00'	7.56'	14.14'	N70°18'37"E	41°24'35"
C3	14.45'	20.00'	7.56'	14.14'	S68°16'49"E	41°24'35"
C4	16.96'	20.00'	9.03'	16.46'	N23°16'49"W	48°35'25"
C5	18.55'	20.00'	10.00'	17.89'	S25°33'00"E	53°07'48"
C6	16.96'	20.00'	9.03'	16.46'	S25°18'37"W	48°35'25"

PLAT OF  
TRACT A  
PLAZA FELIZ

(BEING A REPLAT OF LOTS 1 THRU 12 AND 14 THRU 24, BLOCK 14,  
EMIL MANN ADDITION AND VACATED PORTIONS OF BELL AND TRUMBULL AVENUES)

SITUATE WITHIN  
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PLAT R: \$17.00 B: 2010C P: 0124 M. Toulous Oliveira, Bernalillo Cour



**SURV TEK, INC.**  
Consulting Surveyors

Albuquerque Control Survey Monument "7-K19"  
New Mexico State Plane Coordinates  
Central Zone (NAD 83) as published  
North= 1,545,165.941 feet  
East= 1,545,165.941 feet  
Elevation= 5,325.987 (NAVD 1988)  
Delta Alpha= -00°10'58.61"  
Ground to Grid Factor= 0.999659513



#### DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING A PROPOSED APARTMENT COMPLEX KNOWN AS PLAZA FELIZ, LOCATED IN EXISTING PLATTED LOTS 1-12 & 14-24, BLOCK 14, EMIL MANN ADDITION, ALBUQUERQUE, NEW MEXICO, GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. DRAINAGE CALCULATIONS
2. VICINITY MAP (L-19)

#### EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE IS BOUNDED ON THE SOUTH BY TRUMBULL AVENUE SE, ON THE WEST BY ESPANOLA STREET SE, ON THE NORTH BY BELL AVENUE SE AND BY SAN PABLO STREET SE ON THE EAST (SEE ATTACHED VICINITY MAP L-19). THE PARCEL'S LEGAL DESCRIPTION IS LOTS 1-12 & 14-24, BLOCK 14, EMIL MANN ADDITION, IN THE CITY OF ALBUQUERQUE. THIS SITE CONTAINS APPROXIMATELY 3.56 ACRES.

PER THE AERIAL PHOTOGRAPH PERFORMED IN 1999 THE ENTIRE BLOCK WAS DEVELOPED AT ONE TIME WITH EXISTING APARTMENTS AND RESIDENTIAL HOMES ALONG WITH ASSOCIATE PARKING AREAS, THEY ALSO APPEAR TO HAVE MINIMAL LANDSCAPED AREAS. SINCE THAT TIME THE WHOLE BLOCK AREA WITH THE EXCEPTION OF LOT 13 HAS BEEN ACQUIRED BY THE CITY AND THE ENTIRE APARTMENTS AND HOMES HAVE BEEN DEMOLISHED.

THE CURRENT DRAINAGE PATTERN HAS THE ENTIRE BLOCK DRAINING IN A NORTH-WESTERLY DIRECTION TOWARDS ESPANOLA STREET SE. THERE IS AN EXISTING 36" STORM DRAIN ON TRUMBULL STREET SE THAT CONNECTS INTO A 48" STORM DRAIN IN ESPANOLA STREET SE ALONG WITH A NUMBER OF INLETS THAT SERVE THIS STORM DRAIN SYSTEM.

THE SITE DOES NOT LIE WITHIN A DESIGNATED 100 YEAR FLOODPLAIN DUE TO A FLOODPLAIN REVISION THAT WAS PERFORMED IN THE SOUTHEAST HEIGHTS AND ACCORDING TO FLOOD INSURANCE RATE MAP 35001C0354G

#### PROPOSED CONDITIONS

THE PROPOSAL FOR REPLATING OF THIS SITE CONSIST OF VACATING ALL THE EXISTING LOT LINES FOR LOTS 1-12 & 14-24 IN ORDER TO MAKE THE APARTMENT COMPLEX INTO ONE SINGLE LOT SINCE IT WILL BE OWNED BY A MANAGEMENT COMPANY THAT WILL MANAGE THE UNITS AS RENTALS.

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF AN APARTMENT COMPLEX WITH A DAY CARE CENTER AND A MANAGEMENT OFFICE, THE PLAN ALSO CONSIST OF PATIOS, SIDEWALKS, PARKING LOTS, SERVICE DRIVEWAYS, LANDSCAPING AND PLAYGROUND EQUIPMENT.

THE PLAN SHOWS PROPOSED ELEVATIONS ALONG WITH PROPOSED FINISH FLOOR ELEVATIONS FOR THE APARTMENTS IN ORDER TO PROPERLY DRAIN THE SITE TO THE EXISTING STREETS ALONG WITH GRADING EACH OF THE HARDSCAPE AREAS. THERE ARE SEVERAL ISLANDS WITHIN THE PARKING LOT THAT WILL HAVE A DEPRESSED AREA FOR LANDSCAPING. THESE AREAS WILL ACCEPT DRAINAGE FROM THE PARKING LOT THROUGH CURB CUTS AND WHEN THEY BECOME INUNDATED THE FLOWS WILL SURFACE DISCHARGE OUT TO THE ADJACENT EXISTING STREETS.

THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL RUNOFF FOR PEAK FLOWS AND STORM DURATION FOR VOLUME REQUIREMENTS. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS AS SET FORTH IN THE REVISION OF SECTION 22.7 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY 1993. THIS D.P.M. PROCEDURE IS USED FOR ANALYZING ONSITE FLOWS.

#### DOWNSTREAM CAPACITY

SINCE THIS SITE IS AN INFILL SITE AND WAS PREVIOUSLY DEVELOPED WITH APARTMENTS AND RESIDENTIAL LOTS ALONG WITH STORM DRAIN IMPROVEMENTS ON THE STREET FRONTAGE IT APPEARS THAT FREE DISCHARGE FROM THIS SITE WILL HAVE NO IMPACT TO DOWNSTREAM CAPACITY.

#### OFFSITE FLOWS

BASED ON A FIELD SURVEY IT APPEARS THAT HALF THE ROOF AND BACKYARD OF THE EXISTING APARTMENT COMPLEX AT THE SOUTHEAST CORNER OF THIS SITE DRAINS ONTO THIS DEVELOPMENT. THE DRAINAGE FOR THIS DEVELOPMENT WILL ACCEPT THESE FLOWS THROUGH THE SITE. IT DOES NOT APPEAR STREET FLOWS SHOULD IMPACT THE SITE SINCE NONE OF THE STREETS ARE IN A DESIGNATED 100-YEAR FLOODPLAIN. THE FINISH FLOOR ELEVATIONS WILL BE SET AT LEAST 12" MINIMUM ABOVE THE ADJACENT STREET CURB FLOWLINE FOR EACH APARTMENT COMPLEX TO PROVIDE ADDITIONAL FLOOD PROTECTION FROM THE STREET.

#### EROSION CONTROL

THE CONTRACTOR WILL BE REQUIRED TO PROVIDE SILT FENCES AROUND THE PROPOSED CONSTRUCTION AREAS AT THE BACK OF EXISTING SIDEWALK OR ALONG THE EXISTING CHAINLINK FENCE ON THE SITE IN ORDER TO MINIMIZE SEDIMENT INTO THE PUBLIC ROADWAYS.

CONTRACTOR WILL BE REQUIRED TO IMMEDIATELY CLEAN ANY SEDIMENT ENTERING THE PUBLIC STREETS. CONTRACTOR WILL BE REQUIRED TO SUBMIT AN NOI TO EPA PRIOR TO THE START OF EARTHWORK CONSTRUCTION.

#### DRAINAGE CALCULATIONS

1. PRECIPITATION ZONE = 3

2. DESIGN STORM = DEPTH (INCHES) AT 100-YEAR STORM  
6-HOUR = 2.60 INCHES  
24-HOUR = 3.10 INCHES  
10 DAY = 4.90 INCHES

3. PEAK DISCHARGE (CFS/ACRE) FOR 100-YEAR, ZONE 2, TABLE A-9:

Q = 1.87 CFS/ACRE SOIL UNCOMPACTED "A"  
Q = 2.60 CFS/ACRE LANDSCAPED "B"  
Q = 3.45 CFS/AC COMPACTED SOIL "C"  
Q = 5.02 CFS/ACRE IMPERVIOUS AREA "D"  
FOR WATERSHEDS LESS THAN OR EQUAL TO 40 ACRES

4. EXCESS PRECIPITATION, E (INCHES), 6-HOUR STORM, ZONE 2, TABLE A-8:

E = 0.66 INCHES SOIL UNCOMPACTED "A"  
E = 0.92 INCHES LANDSCAPED "B"  
E = 1.29 INCHES COMPACTED SOIL "C"  
E = 2.36 INCHES IMPERVIOUS AREA "D"

5. PRE-EXISTING CONDITIONS ONSITE PER 1999 AERIAL PHOTOGRAPH:

EXISTING TOTAL AREA OF SITE = 3.56 ACRES  
BASED ON THE AERIAL PHOTOGRAPH IT APPEARS THAT THE SITE MAINLY CONSISTED OF ROOF AREAS, PAVED PARKING AREAS ALONG WITH INTERNAL SIDEWALKS, FOR CALCULATION PURPOSES USE TABLE A-5 OF THE DPM FOR MULTIPLE UNIT RESIDENTIAL "ATTACHED" WITH A PERCENT IMPERVIOUS 70% TREATMENT "D" WITH 30% TREATMENT "B". BASED ON THE AERIAL IT APPEARS THE IMPERVIOUS AREA IS LARGER THAN 70%, BUT WILL ASSUME 70%

TREATMENT	AREA (ACRES)
A	0
B	3.56 AC X 30% = 1.07 AC
C	0
D	3.56 AC X 70% = 2.49 AC

$$Q(\text{EXISTING-6HR}) = (2.60 \times 1.07) + (5.02 \times 2.49)$$

$$= 15.28 \text{ CFS (6HR) EXISTING ONSITE FLOW INTO EXISTING ADJACENT STREETS}$$

$$V(\text{EXISTING-6HR}) = [(0.92 \times 1.07) + (2.36 \times 2.49)] / 12$$

$$= 0.56 \text{ AC-FT} = 24.305 \text{ CFT EXISTING ONSITE VOLUME INTO EXISTING ADJACENT STREETS}$$

6. PROPOSED CONDITIONS ONSITE:

BASIN "A-1", TOTAL AREA = 0.21 ACRES INTO ESPANOLA STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.15 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.06 AC

TREATMENT	AREA (ACRES)
A	0
B	0.06
C	0
D	0.15

$$Q(\text{PROPOSED}) = (2.60 \times 0.06) + (5.02 \times 0.15) = 0.91 \text{ CFS (6HR) PROPOSED ONSITE FLOW INTO ESPANOLA STREET SE}$$

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.06) + (2.36 \times 0.15)] / 12$$
$$= 0.03 \text{ AC-FT} = 1.485 \text{ CFT PROPOSED VOLUME INTO ESPANOLA STREET SE}$$

BASIN "A-2", TOTAL AREA = 0.24 ACRES INTO ESPANOLA STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.18 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.06 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.06

C 0

D 0.18

$$Q(\text{PROPOSED}) = (2.60 \times 0.06) + (5.02 \times 0.18) = 1.06 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO ESPANOLA STREET SE

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.06) + (2.36 \times 0.18)] / 12$$

$$= 0.04 \text{ AC-FT} = 1.724 \text{ CFT PROPOSED VOLUME INTO ESPANOLA STREET SE}$$

BASIN "A-3", TOTAL AREA = 0.20 ACRES INTO ESPANOLA STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.16 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.06 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.04

C 0

D 0.16

$$Q(\text{PROPOSED}) = (2.60 \times 0.04) + (5.02 \times 0.19) = 1.06 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO ESPANOLA STREET SE

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.04) + (2.36 \times 0.14)] / 12$$

$$= 0.03 \text{ AC-FT} = 1.504 \text{ CFT PROPOSED VOLUME INTO ESPANOLA STREET SE}$$

BASIN "A-4", TOTAL AREA = 0.90 ACRES INTO ESPANOLA STREET SE

TYPE (TREATMENT "D") = PARKING LOT AND SIDEWALKS = 0.73 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.17 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.17

C 0

D 0.73

$$Q(\text{PROPOSED}) = (2.60 \times 0.17) + (5.02 \times 0.73) = 4.11 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO ESPANOLA STREET SE

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.17) + (2.36 \times 0.73)] / 12$$

$$= 0.16 \text{ AC-FT} = 6.821 \text{ CFT PROPOSED VOLUME INTO ESPANOLA STREET SE}$$

BASIN "A-5", TOTAL AREA = 1.08 ACRES INTO ESPANOLA STREET SE

TYPE (TREATMENT "D") = ROOF AREA = 0.02 AC

TYPE (TREATMENT "C") = COMPACTED AREAS = 0.02 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.39 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.37

C 0

D 0.71

$$Q(\text{PROPOSED}) = (2.60 \times 0.37) + (5.02 \times 0.71) = 4.53 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO ESPANOLA STREET SE THROUGH NEW CHANNEL

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.37) + (2.36 \times 0.71)] / 12$$

$$= 0.17 \text{ AC-FT} = 7.318 \text{ CFT PROPOSED VOLUME INTO ESPANOLA STREET SE THROUGH CHANNEL}$$

BASIN "B-1", TOTAL AREA = 0.31 ACRES INTO BELL STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.23 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.07 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.09

C 0

D 0.22

$$Q(\text{PROPOSED}) = (2.60 \times 0.09) + (5.02 \times 0.22) = 1.33 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO BELL STREET SE

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.09) + (2.36 \times 0.22)] / 12$$

$$= 0.05 \text{ AC-FT} = 2.185 \text{ CFT PROPOSED VOLUME INTO BELL STREET SE}$$

BASIN "C-1", TOTAL AREA = 0.62 ACRES INTO SAN PABLO STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.43 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.19 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.19

C 0

D 0.43

$$Q(\text{PROPOSED}) = (2.60 \times 0.19) + (5.02 \times 0.43) = 2.65 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO SAN PABLO STREET SE

$$V(\text{EXISTING-6HR}) = [(0.92 \times 0.19) + (2.36 \times 0.43)] / 12$$

$$= 0.10 \text{ AC-FT} = 4.318 \text{ CFT PROPOSED VOLUME INTO BELL STREET SE}$$

BASIN "C-1", TOTAL AREA = 0.62 ACRES INTO SAN PABLO STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.43 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.19 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.19

C 0

D 0.43

$$Q(\text{PROPOSED}) = (2.60 \times 0.19) + (5.02 \times 0.43) = 2.65 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO SAN PABLO STREET SE

BASIN "C-1", TOTAL AREA = 0.62 ACRES INTO SAN PABLO STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.43 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.19 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.19

C 0

D 0.43

$$Q(\text{PROPOSED}) = (2.60 \times 0.19) + (5.02 \times 0.43) = 2.65 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO SAN PABLO STREET SE

BASIN "C-1", TOTAL AREA = 0.62 ACRES INTO SAN PABLO STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.43 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.19 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.19

C 0

D 0.43

$$Q(\text{PROPOSED}) = (2.60 \times 0.19) + (5.02 \times 0.43) = 2.65 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO SAN PABLO STREET SE

BASIN "C-1", TOTAL AREA = 0.62 ACRES INTO SAN PABLO STREET SE

TYPE (TREATMENT "D") = ROOF AREA AND SIDEWALKS = 0.43 AC

TYPE (TREATMENT "B") = LANDSCAPED AREAS = 0.19 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.19

C 0

D 0.43

$$Q(\text{PROPOSED}) = (2.60 \times 0.19) + (5.02 \times 0.43) = 2.65 \text{ CFS (6HR) PROPOSED}$$

ONSITE FLOW INTO SAN PABLO STREET SE

8. SIZE CHANNEL AND SIDEWALK CULVERT PROPOSED IN BASIN A-5:

BASIN "A-5", Q = 4.53 CFS (6HR) ONSITE FLOW TO CHANNEL AND SIDEWALK CULVERT

CHECK ENTRANCE WIDTH AT SOUTHERN PARKING LOT, PRORATE Q

BASED ON AREA

$$Q = (0.63 / 1.08) \times 4.53 \text{ CFS} = 2.64 \text{ CFS}$$

USE WEIR EQUATION FOR SIZING OPENING:

$$Q = C \times L \times (H)^{3/2}$$

$$L = Q / C \times (H)^{3/2}$$

$$Q = 2.64 \text{ CFS} \quad C = 3.0 \text{ COEFFICIENT} \quad H = 0.5' \text{ HIGH CURB}$$

$$L = 2.64 / 3.0 \times (0.5)^{3/2} = 2.49 \text{ FOOT IN WIDTH, USE 2'-6" OPENING IN CURB}$$

CHECK ENTRANCE WIDTH AT NORTHERN PARKING LOT, PRORATE Q

$$Q = (0.45 / 1.08) \times 4.53 \text{ CFS} = 1.89 \text{ CFS}$$

USE WEIR EQUATION FOR SIZING OPENING:

$$Q = C \times L \times (H)^{3/2}$$

$$L = Q / C \times (H)^{3/2}$$

$$Q = 1.89 \text{ CFS} \quad C = 3.0 \text{ COEFFICIENT} \quad H = 0.5' \text{ HIGH CURB}$$

$$L = 1.89 / 3.0 \times (0.5)^{3/2} = 1.78 \text{ FOOT IN WIDTH, USE 2'-0" OPENING IN CURB}$$

ACCOUNT FOR SIDEWALK CULVERT, USE 2'-6" TOTAL

SIZE SIDEWALK CULVERT CHANNEL USING MANNING'S EQUATION:

$$Q = \alpha \times 1.486 / n \times R^{2/3} \times S^{1/2}$$

$$n = 0.013, \text{ SLOPE} = 1.14\%, Q = 4.53 \text{ CFS, DEPTH} = 0.5'$$

COMPUTER RESULTS:

ASSUME 2'-6" WIDTH, WATER SURFACE DEPTH = 0.35', V = 5.16 FPS,

F = 1.54, ENERGY HEAD = 0.78, IF THE CHANNEL DEPTH SHOULD EXCEED 0.5, ADJACENT GRADE IS HIGHER TO ACCOMMODATE

THESE FLOWS PER THE GRADING PLAN.

9. CHECK CURB DEPTH AT BOTTOM OF BASIN A-4 TO DETERMINE IF FLOWS CAN OVERTOP CURB AND REQUIRED FLOOD PROOFING FOR THE APARTMENT COMPLEX AT THE SOUTHEAST CORNER OF THE SITE:

SIZE CURB USING MANNING'S EQUATION:

$$Q = \alpha \times 1.486 / n \times R^{2/3} \times S^{1/2}$$

$$n = 0.017, \text{ LONGITUDINAL SLOPE} = 0.7\%, \text{ SIDESLOPE 1} = \text{VERTICAL, SIDESLOPE 2} = 4:1, Q = 4.11 \text{ CFS (ENTIRE BASIN),}$$

COMPUTER RESULTS:

V = 2.08 FPS, F = 0.93, ENERGY HEAD = 0.37'

DEPTH = 0.3' < 0.5' CURB HEIGHT - OK FLOWS DO NOT TOP CURB.

10. OFFSITE FLOWS:

BASIN "Q-1", TOTAL AREA = 0.04 ACRES INTO BASIN "A-4"

TYPE (TREATMENT "D") = ROOF AREA = 0.02 AC

TYPE (TREATMENT "C") = COMPACTED AREAS = 0.02 AC

TREATMENT	AREA (ACRES)
-----------	--------------

A 0

B 0.02

C 0

D 0.02

$$Q(\text{PROPOSED}) = (3.45 \times 0.02) + (5.02 \times 0.02) = 0.17 \text{ CFS (6HR) PROPOSED}$$

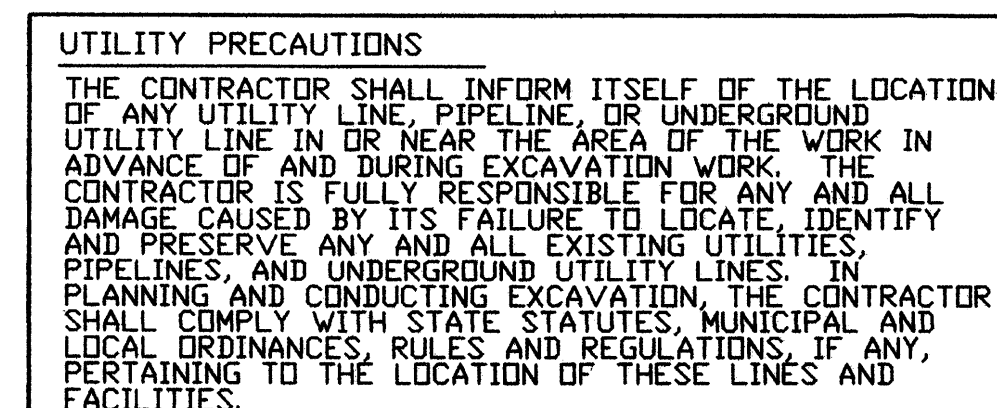
ONSITE FLOW INTO BASIN "A-4"

$$V(\text{EXISTING-6HR}) = [(1.29 \times 0.02) + (2.36 \times 0.02)] / 12$$



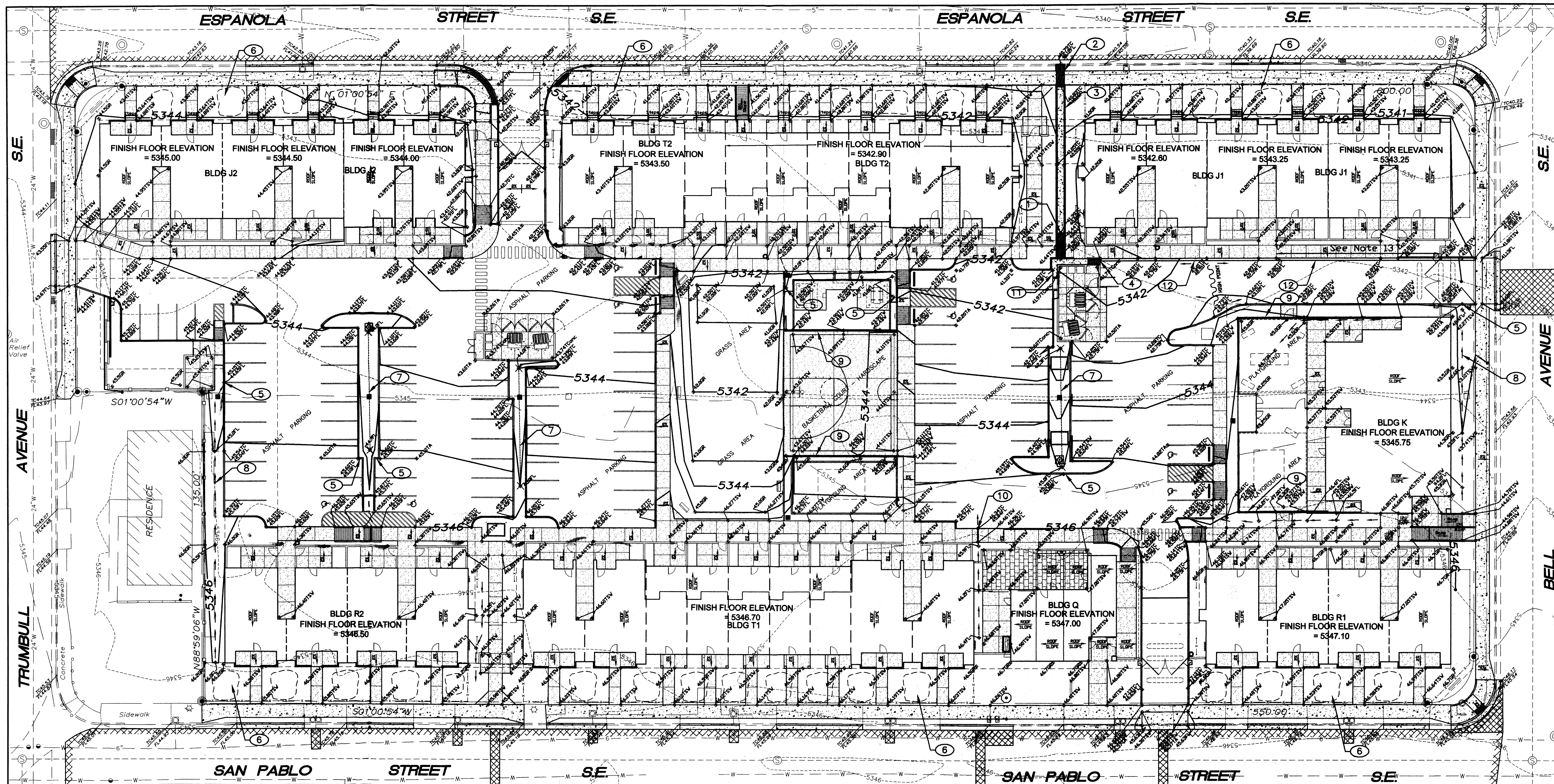


- SCALE: 1" = 2'-0"



<b>APPLIED ENGINEERING AND SURVEYING, INC.</b> <b>ENGINEERS AND PLANNERS</b> 1505 Blair Drive SE Albuquerque, New Mexico 87112 Phone: (505) 237-1406										<b>NO. DATE</b>		<b>DESIGNED BY</b>		<b>DRAWN BY</b>		<b>CHECKED BY</b>	
<b>CITY OF ALBUQUERQUE</b> <b>PUBLIC WORKS DEPARTMENT</b> <b>ENGINEERING DEVELOPMENT GROUP</b>																	
<b>TITLE: DRAINAGE DETAIL AND RETAINING WALLS</b> <b>PLAZA FELIZ APARTMENTS</b>																	
<b>Design Review Committee</b>				<b>City Engineer Approval</b>				<b>Last Design Update</b>	<b>Mo./Day/Yr.</b>				<b>Mo./Day/Yr.</b>				
<b>City Project No.</b>				<b>TBD</b>				<b>Zone Map No.</b>		<b>L-19</b>		<b>Sheet</b>		<b>Of</b>		<b>12 12</b>	





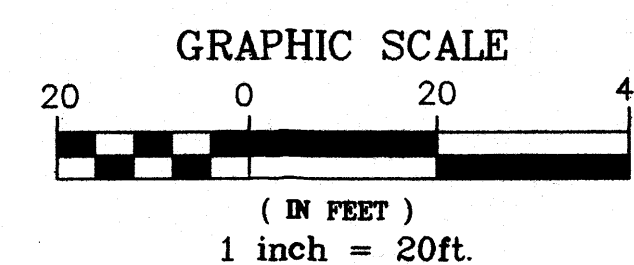
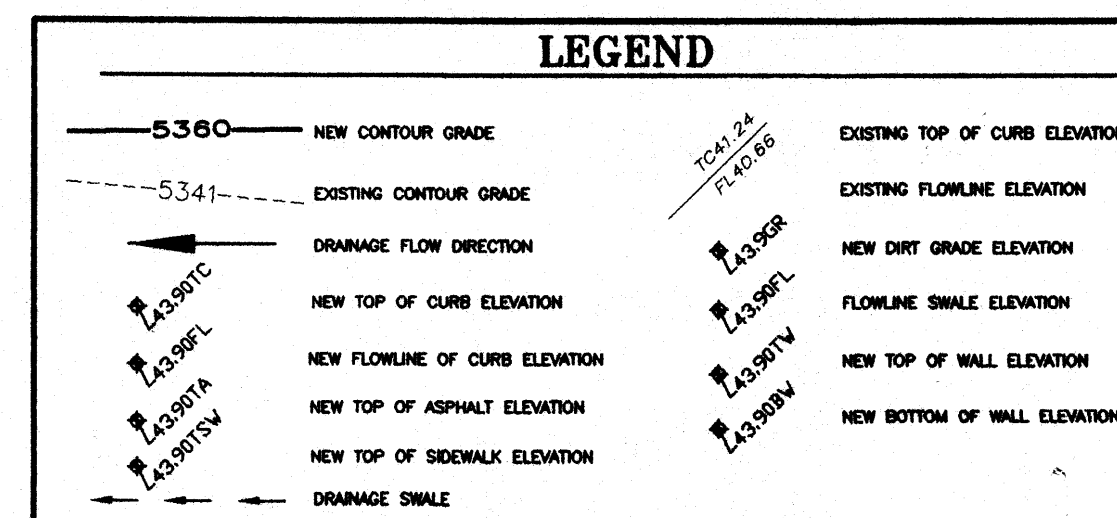
### CONSTRUCTION NOTES:

- ① CONSTRUCT 1-18" WIDE AND 1-12" WIDE BY 11'-4" LONG BY 6" DEEP SIDEWALK CULVERTS WITH STEEL PLATE TOP PER CITY STD. DWG. 2236.
- ② CONSTRUCT 1-18" WIDE AND 1-12" WIDE BY 9'-0" LONG BY 8" DEEP SIDEWALK CULVERTS WITH STEEL PLATE TOP PER CITY STD. DWG. 2236.
- ③ CONSTRUCT A 3'-0" WIDE CONCRETE CHANNEL PER CITY STD. DWG. 2260 AND SEE DETAIL "A", SHEET 12.
- ④ CONSTRUCT 2-12" WIDE BY 5'-4" LONG BY 6" DEEP SIDEWALK CULVERTS WITH STEEL PLATE TOP PER CITY STD. DWG. 2236.
- ⑤ PROVIDE A 1' WIDE CURB OPENING.
- ⑥ CONSTRUCT A 10' X 10' X 8" DEEP DEPRESSION FOR WATER HARVESTING, TO BE COORDINATED WITH LANDSCAPING PLAN (TYPICAL ALL LOTS).
- ⑦ CONSTRUCT 6" DEEP WATER HARVESTING AREAS WITHIN ISLAND TO BE COORDINATED WITH LANDSCAPING PLAN.
- ⑧ CONSTRUCT DRAINAGE SWALE PER GRADES SHOWN.
- ⑨ RETAINING WALL, HEIGHT VARIES, SEE GRADES AND DETAIL SHEET.
- ⑩ SEE DETAIL "B" SHEET 11, (NOT PART OF WORK ORDER).
- ⑪ PROVIDE A 2'-6" WIDE CURB OPENING, SEE SHEET 12 (NOT PART OF WORK ORDER).
- ⑫ PROVIDE 1' WIDE CONCRETE GUTTER PAN.

### DRAINAGE AND GRADING PLAN

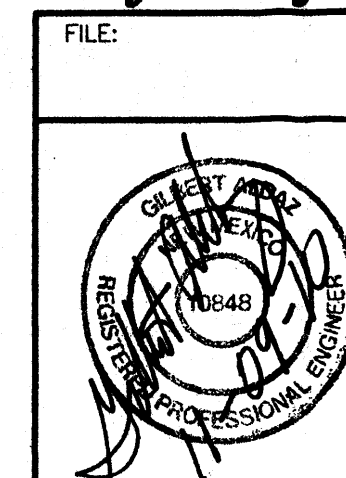
SCALE: 1" = 20'

- ⑬ CURB HEIGHT VARIES FROM 6" TO 9.6" HEIGHT IN ORDER TO MAINTAIN 2% ADA SLOPE.



**UTILITY PRECAUTIONS**  
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

City Project No. 590184



### DRAINAGE AND GRADING PLAN PLAZA FELIZ

**APPLIED ENGINEERING  
SURVEYING, INC.**  
ENGINEERS AND PLANNERS  
1000 1st Ave. N.E.  
Albuquerque, New Mexico 87102  
Office (505) 237-1406

NOV 10 2010  
HYDROLOGY  
SECTION

DATE/REVISIONS:

SHEET NUMBER:

4 OF 10



## Open Space Calculations

* OF TWO BEDROOM UNITS	56 UNITS = 28,000 SQUARE FEET
* OF THREE BEDROOM UNITS	10 UNITS = 6,000 SQUARE FEET
TOTAL USABLE OPEN SPACE REQUIRED	= 34,000 SQUARE FEET
TOTAL LANDSCAPE AREA	= 35,071 SQUARE FEET
PRIVATE PATIOS AND BALCONIES	= 12,885 SQUARE FEET
COMMUNITY RECREATION AREA	= 10,744 SQUARE FEET
TOTAL USABLE OPEN SPACE PROVIDED	= 58,700 SQUARE FEET

## Landscape Calculations

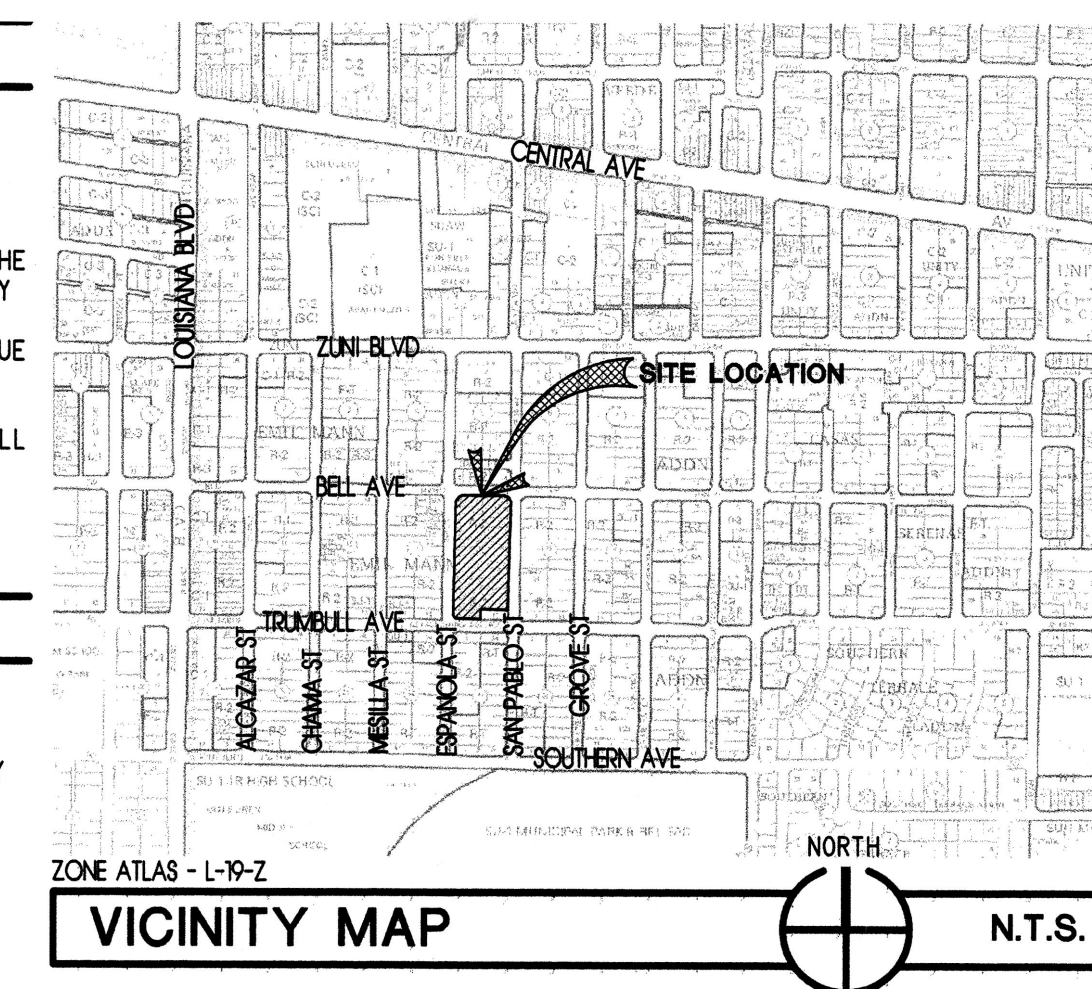
TOTAL LOT AREA	3.55 ACRES = 154,638 SQUARE FEET
TOTAL BUILDING FOOTPRINT AREA	40,946 SQUARE FEET
ROW LANDSCAPE AREA	4,025 SQUARE FEET
NET LOT AREA	109,667 SQUARE FEET
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	16,450 SQUARE FEET
TOTAL LANDSCAPE PROVIDED	35,071 SQUARE FEET

## Landscape Notes

- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- IT IS THE INTENT OF PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION OF THE WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATION, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSULATION.
- PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
- NO PARKING SPACE SHALL BE GRATER THAN 100' FROM THE TRUNK OF A PARKING LOT TREE.

## Irrigation Notes

- IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM. IRRIGATION SYSTEM WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE IN BUILDING Q.
- IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- DRIP IRRIGATION MUST COMPLY WITH CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE.



## General Notes

- SETBACKS PER SECTOR DEVELOPMENT PLAN (S-DR):  
15' FRONT SETBACK @ ESPANOLA & SAN PABLO STREET  
10' SIDE SETBACK @ BELL & TRUMBULL AVENUE.
- VISIT SITE TO BECOME FAMILIAR WITH ALL EXISTING VISIBLE CONDITIONS.
- WHERE REMOVAL OCCURS, MODIFY PER PLANS.
- PROVIDE CONSTRUCTION FENCING COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- MAINTAIN ASPHALT AND CONCRETE PAVING TO REMAIN IN ITS CURRENT CONDITION. REPAIR ANY DAMAGE.
- THE ENTIRE SITE TO HAVE ADA ACCESS TO ONE ENTRY TO 100% OF THE GROUND LEVEL ENTRIES TO EACH UNIT AND BUILDING. ELEVATION CHANGES SHOULD BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMPS ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%. SLOPED SIDE WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

## Parking Calculations

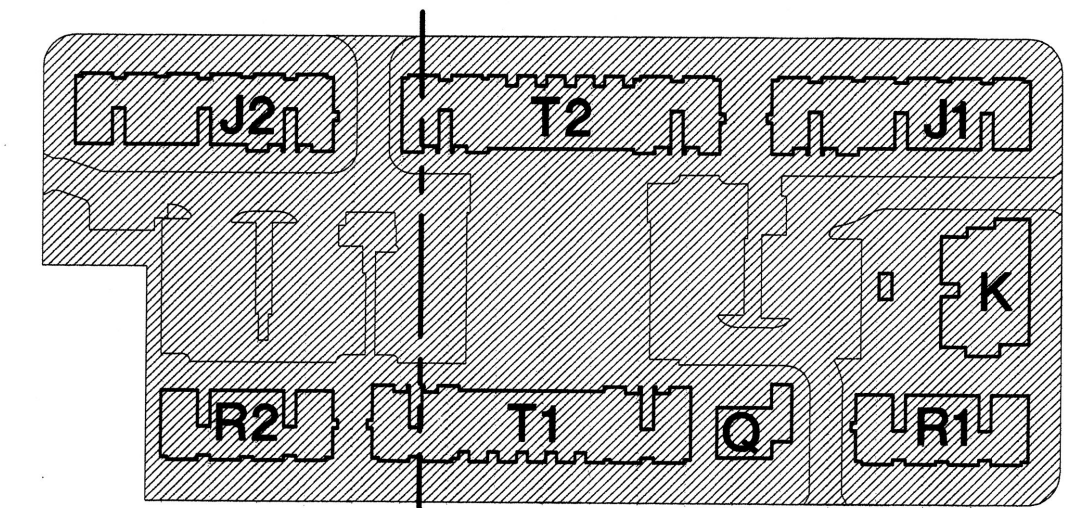
ZONING CODE SECTION 14-16-3-1 OFF-STREET PARKING REGULATIONS

CAR SPACES REQUIRED:			
BUILDING BREAKDOWN:	AREA (SQ. FT.)	FACTOR (PER UNIT)	NO.
BUILDING T1 & T2:			
(8) UNIT TYPE 2	888	2	16
(8) UNIT TYPE 3	840	1.5	12
(10) UNIT TYPE 4	1,157	2	20
BUILDING J1 & J2:			
(8) UNIT TYPE 1	840	1.5	12
(4) UNIT TYPE 2	888	2	8
(12) UNIT TYPE 3	840	1.5	18
BUILDING R1 & R2:			
(8) UNIT TYPE 1	840	1.5	12
(8) UNIT TYPE 3	840	1.5	12
BUILDING K:			
LESS NON-LEASEABLE AREA CONSIDERED	4,064		
LESS NON-LEASEABLE AREA CONSIDERED	2,316		
BUILDING Q:			
LESS NON-LEASEABLE AREA CONSIDERED	2,748		
LESS NON-LEASEABLE AREA CONSIDERED	1,500		
LESS NON-LEASEABLE AREA CONSIDERED	900		
LESS NON-LEASEABLE AREA CONSIDERED	600		
SPACES PROVIDED:			
CAR SPACES:	129		
STANDARD:	82		
ON-STREET:	29		
COMPACT:	37		
ACCESSIBLE:	8		
OTHER OFF-STREET SPACES:			
MOTORCYCLE:	4		
BICYCLE:	28		
OTHER SPACES:			
MOTORCYCLE: 101-500 CAR SPACES = 4 SPACES			
BICYCLE: (1 PER EVERY 2 UNITS) 66 UNITS/2 = 33 REQUIRED			
SPACES PROVIDED:			
CAR SPACES:	129		
STANDARD:	82		
ON-STREET:	29		
COMPACT:	37		
ACCESSIBLE:	8		
OTHER OFF-STREET SPACES:			
MOTORCYCLE:	4		
BICYCLE:	28		
OTHER SPACES:			
MOTORCYCLE: 101-500 CAR SPACES = 4 SPACES			
BICYCLE: (1 PER EVERY 2 UNITS) 66 UNITS/2 = 33 REQUIRED			

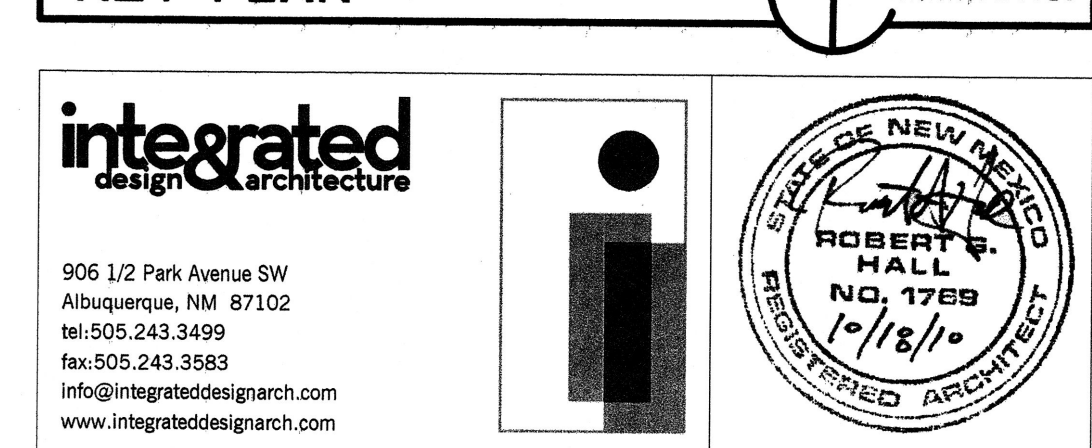
OTHER SPACES:  
MOTORCYCLE: 101-500 CAR SPACES = 4 SPACES  
BICYCLE: (1 PER EVERY 2 UNITS) 66 UNITS/2 = 33 REQUIRED

SPACES PROVIDED:  
CAR SPACES: 129  
STANDARD: 82  
ON-STREET: 29  
COMPACT: 37  
ACCESSIBLE: 8  
OTHER OFF-STREET SPACES:  
MOTORCYCLE: 4  
BICYCLE: 28

28 GROUND FLOOR STORAGE ROOMS &  
(2) 4-SPACE BIKE RACKS



## KEY PLAN

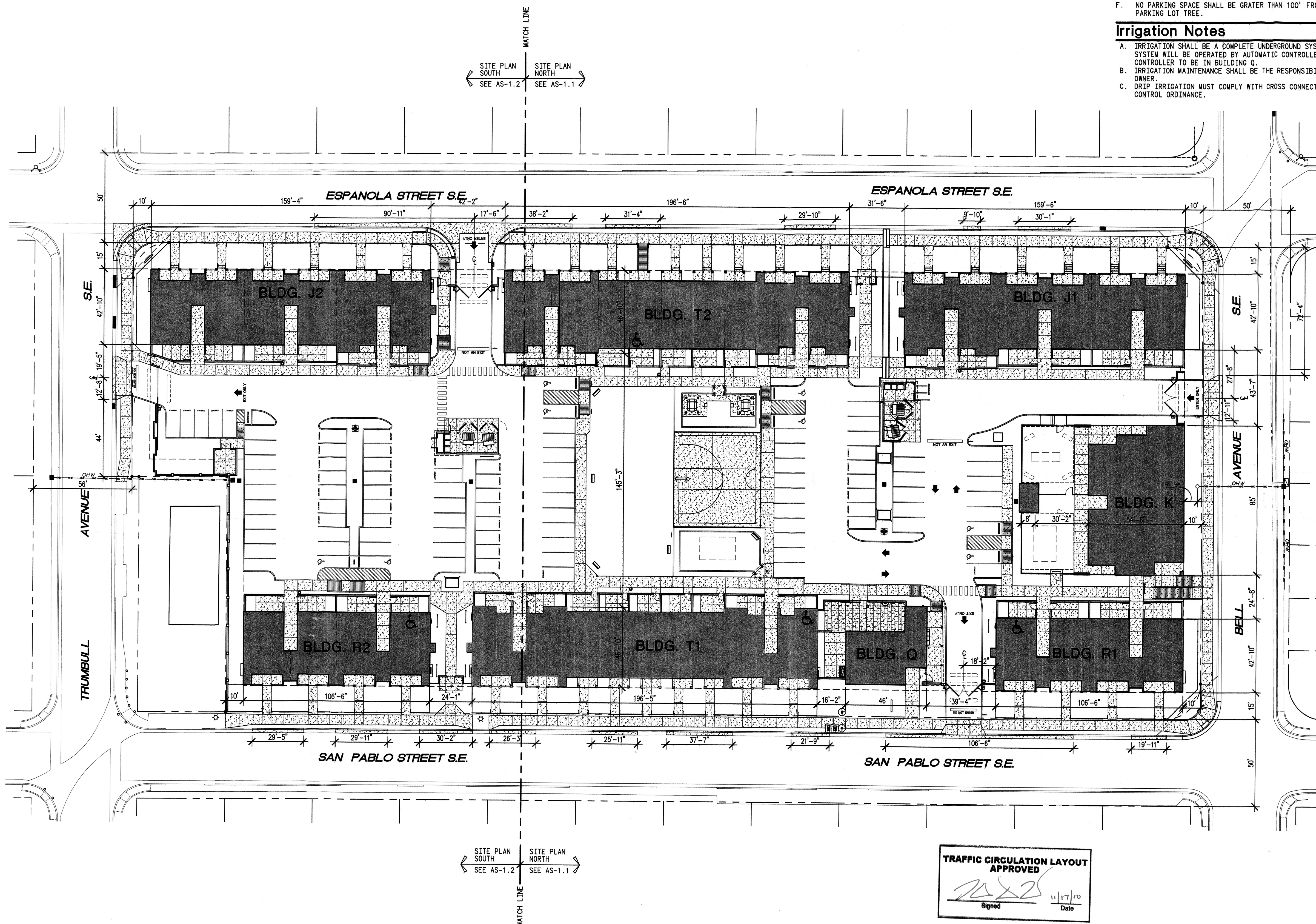


Greater Albuquerque Housing Partnership  
PLAZA FELIZ  
Albuquerque, New Mexico

PROJECT ARCHITECT:	IDA-10-05-P
BOB HALL, AIA	Date: October 18, 2010

## Site Key Plan

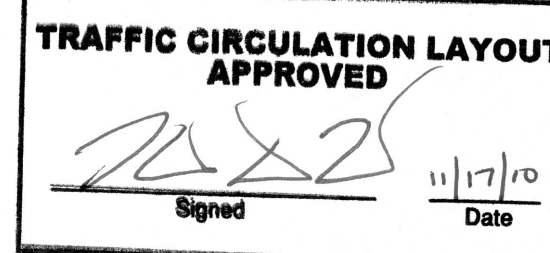
By:	CIC, LA	Sheet of
File:	AS-1.0 ARCH SITE PLAN.DWG	AS-1.0
Plot Date:	11/5/2010 11:38:25 AM	



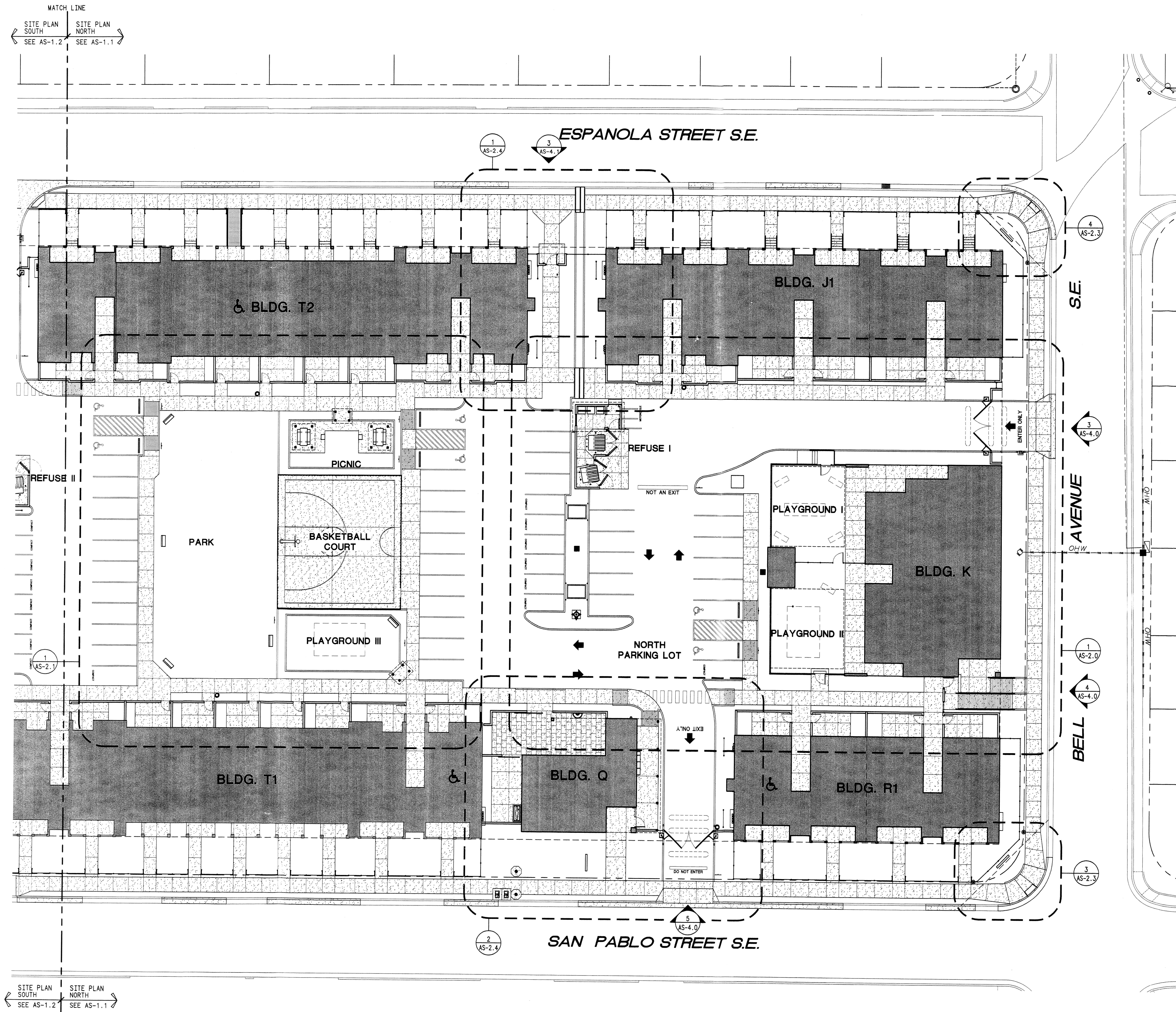
## ARCHITECTURAL SITE KEY PLAN

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

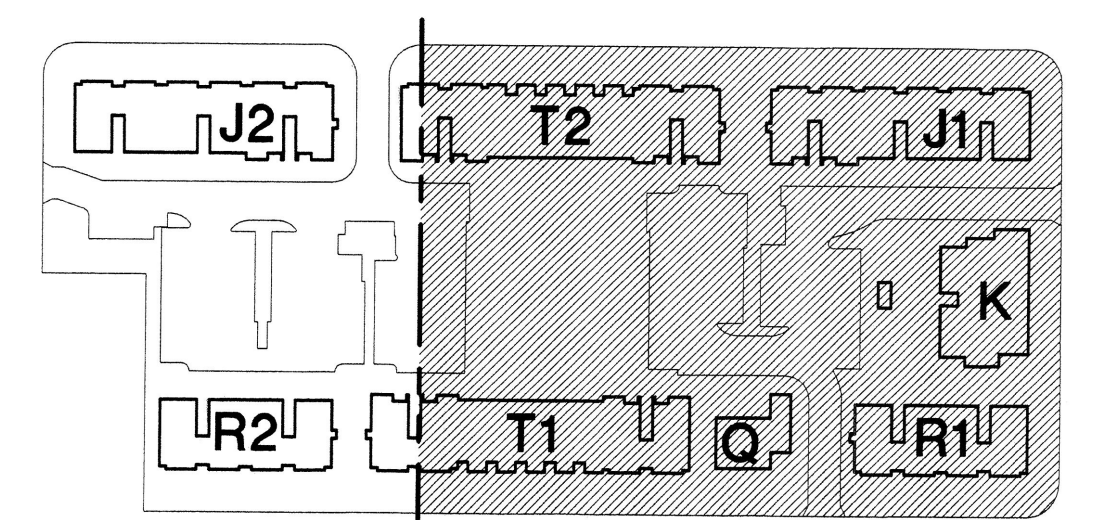






## General Notes

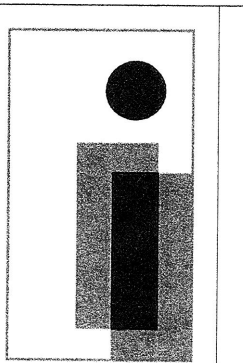
- SETBACKS PER SECTOR DEVELOPMENT PLAN (S-DP):  
15' FRONT SETBACK @ ESPANOLA & SAN PABLO STREET  
10' SIDE SETBACK @ BELL & TRUMBULL AVENUE.
- VISIT SITE TO BECOME FAMILIAR WITH ALL EXISTING VISIBLE CONDITIONS.
- WHERE REMOVAL OCCURS, MODIFY PER PLANS.
- PROVIDE CONSTRUCTION FENCING COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- MAINTAIN ASPHALT AND CONCRETE PAVING TO REMAIN IN ITS CURRENT CONDITION. REPAIR ANY DAMAGE.
- THE ENTIRE SITE TO HAVE ADA ACCESS TO ONE ENTRY TO 100% OF THE GROUND LEVEL ENTRIES TO EACH UNIT AND BUILDING. ELEVATION CHANGES SHOULD BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMP ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%. SLOPED SIDE WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.



## KEY PLAN

**integrated**  
design & architecture

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Albuquerque, NM 87102  
tel: 505.243.3499  
fax: 505.243.3583  
info@integrateddesignarch.com  
www.integrateddesignarch.com



Greater Albuquerque Housing Partnership  
PLAZA FELIZ  
Albuquerque, New Mexico

PROJECT ARCHITECT:  
BOB HALL, AIA

Project #: IDA-10-05-P  
Date: October 18, 2010

Architectural Site Plan - North

By: CIC, LA  
File: AS-1.0 ARCH SITE PLAN.DWG  
Tab: Site Plan - North  
Plot Date: 11/5/2010 11:38:40 AM

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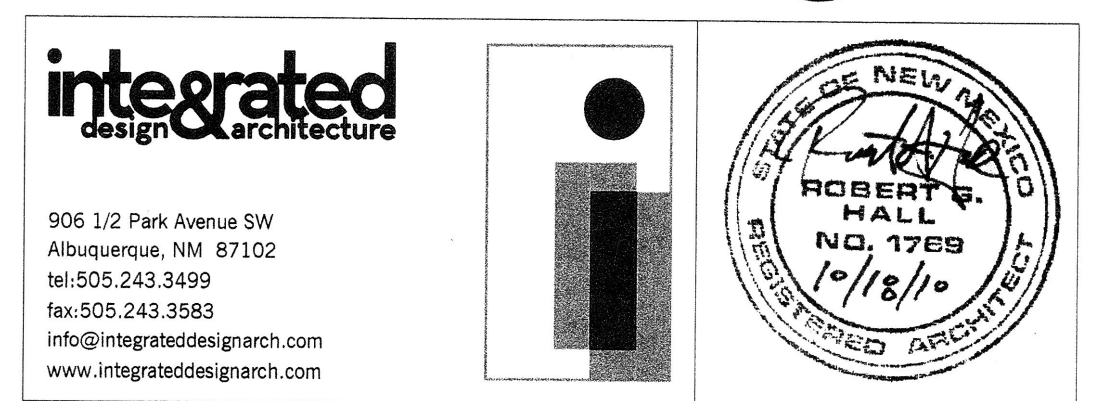
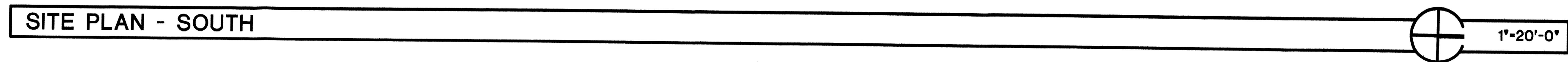
**AS-1.1**

ARCHITECTURAL SITE PLAN - NORTH

1"=20'-0"



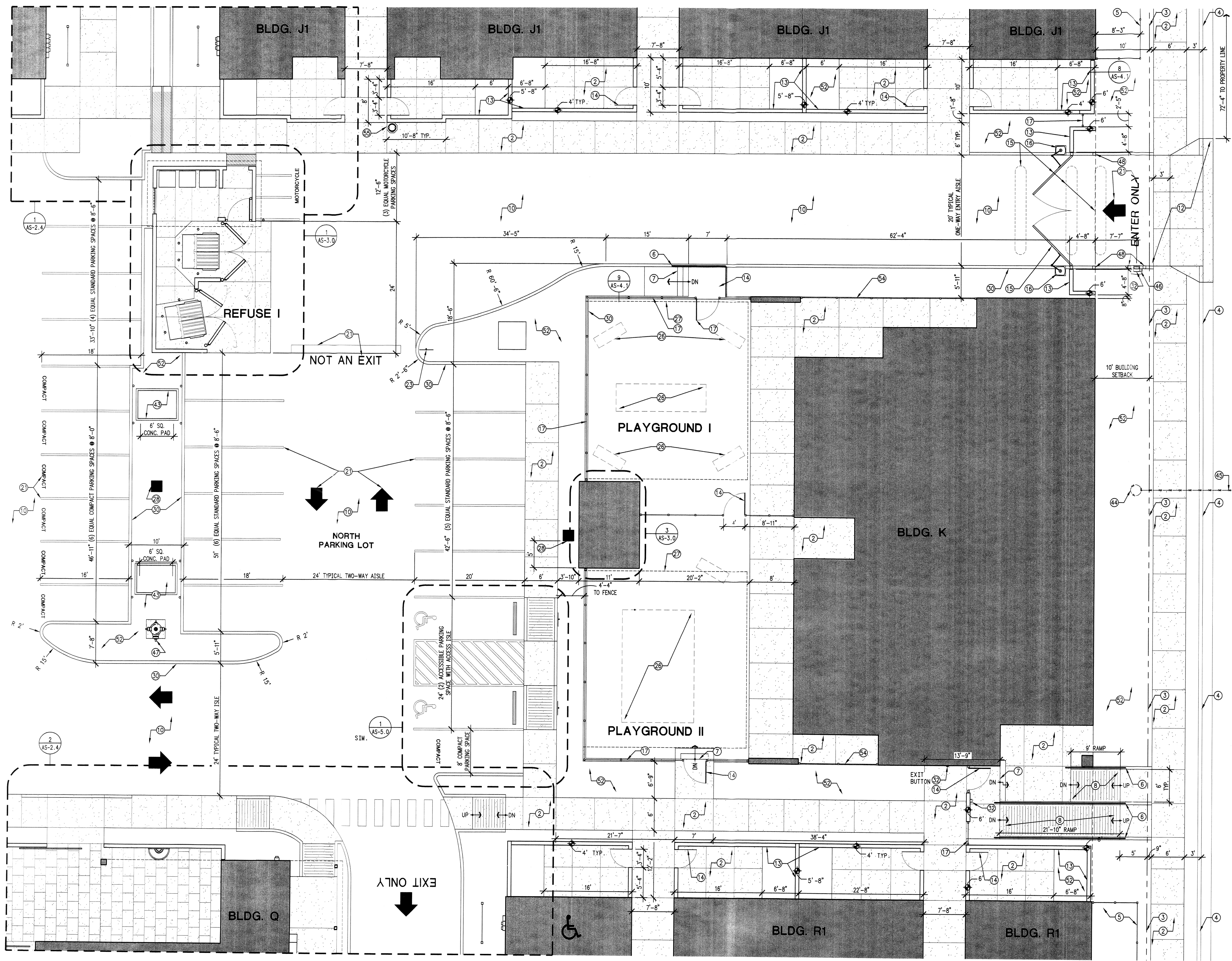
- A. SETBACKS PER SECTOR DEVELOPMENT PLAN (S-DP):
  - 15' FRONT SETBACK @ ESPANOLA & SAN PABLO STREET
  - 10' SIDE SETBACK @ BELL & TRUMBULL AVENUE.
- B. VISIT SITE TO BECOME FAMILIAR WITH ALL EXISTING VISIBLE CONDITIONS.
- C. WHERE REMOVAL OCCURS, MODIFY PER PLANS.
- D. PROVIDE CONSTRUCTION FENCING COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- E. MAINTAIN ASPHALT AND CONCRETE PAVING TO REMAIN IN ITS CURRENT CONDITION. REPAIR ANY DAMAGE.
- F. THE ENTIRE SITE TO HAVE 2% GROSS SLOPE TO ONE ENTRY TO 100% OF THE GROUND LEVEL ENTRIES TO EACH UNIT AND BUILDING. ELEVATION CHANGES SHOULD BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- G. WHERE RAMPS ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%. SLOPED SIDE WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.



PROJECT ARCHITECT:	Project #:	IDA-10-05-P
BOB HALL, AIA	Date:	October 18, 2010

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File: AS-1.0 ARCH SITE PLAN.DWG	<b>AS-1.2</b>
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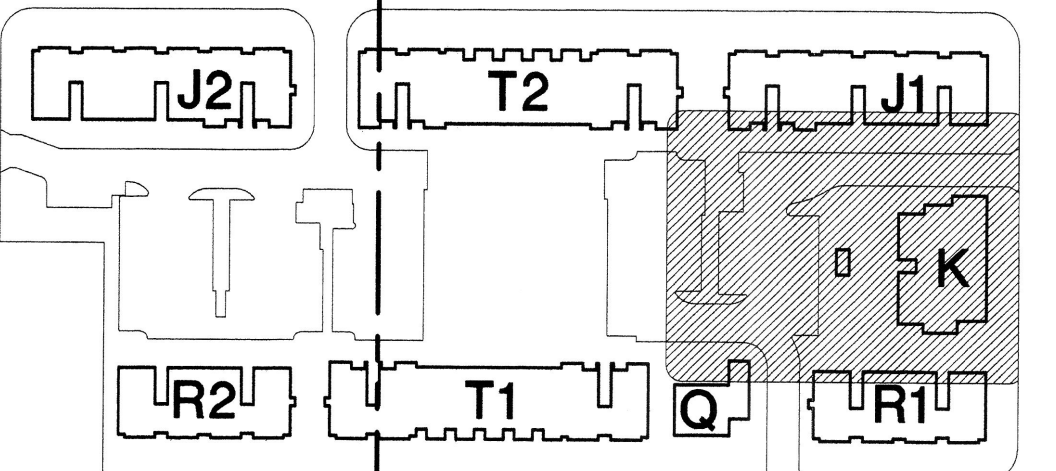


General Notes

- A. SETBACKS PER SECTOR DEVELOPMENT PLAN (S-DP):
  - 15' FRONT SETBACK @ ESPANOLA & SAN PABLO STREET
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Keyed Notes

- 1. CURB RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2441 & 2426, SLOPE NOT TO EXCEED 1:12, TYP.
- 2. 4" CONCRETE SIDE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE. EXPANSION JOINTS @ 28'-0" O.C. MAX. AND AT EVERY INTERSECTION. 1" DEEP CONTROL JOINT @ 7'-0" O.C. MAX., TYP. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% AGAINST DIRECTION OF TRAVEL. FOR WORK WITHIN THE RIGHT-OF-WAY REFERENCE CIVIL DRAWINGS, COA DWG. 2430.
- 3. PROPERTY LINE, SEE SURVEY, TYP.
- 4. EXISTING CURB AND GUTTER TO REMAIN, TYP.
- 5. 3'-0" TALL STEEL PICKET FENCE, TYP.
- 6. 1-1/2" DIA. PAINTED STEEL HANDRAIL, TO COMPLY WITH ADA REQUIREMENTS.
- 7. CONCRETE STEP(S), SEE GRADING AND DRAINAGE PLAN FOR THE CHANGES IN ELEVATION. TREADS 12", RISERS 4"-6", TYP.
- 8. 4" THICK CONCRETE ACCESSIBLE CURB RAMP, WITH SCORES RUNNING PERPENDICULAR TO RAMP @ 6" O.C., WITH MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE, SLOPE NOT TO EXCEED 1:12, TYP.
- 9. DETECTABLE PAVINGS, PER ADA STANDARDS, TYP.
- 10. ASPHALT PAVING, TYP.
- 11. BASKETBALL HOOP ASSEMBLY, INCLUDING METAL SUPPORT, BACKBOARD & HOOP.
- 12. NEW CONCRETE DRIVE PAD, PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425, TIE IN TO EXISTING CURB AND GUTTER WHERE APPLICABLE, TYP.
- 13. STUCCO OVER CMU SITE WALL, CMU EXPANSION JOINTS @ 16'-0" MAX, TYP.
- 14. 6'-0" AT PERIMETER, SEE DETAIL X/XXX.
- 15. STEEL PICKET PEDESTRIAN GATE, TO MATCH WALL HEIGHT, SEE DETAIL XXXX, TYP.
- 16. SWINGING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES INCLUDING BUT NOT LIMITED TO THE FOLLOWING, PHOTO EYE SENSORS, EDGE SENSORS, PHYSICAL STOP, AND IN-GROUND VEHICLE LOOP DETECTORS.
- 17. POWERED GATE OPERATOR, TYP.
- 18. 6'-0" TALL STEEL PICKET FENCE, TYP.
- 19. LANDSCAPE TRELLIS, 4X4 TUBE STEEL FRAME WITH WIRE FABRIC INFILL.
- 20. GAS METERS, SEE MECHANICAL, TYP.
- 21. ELECTRIC METERS, SEE ELECTRICAL, TYP.
- 22. PAINTED PARKING LOT STRIPING & LETTERING, TYP.
- 23. "DO NOT ENTER" WARNING METAL SIGN.
- 24. "NOT AN EXIT" WARNING METAL SIGN.
- 25. PLAY FIELD, SEE LANDSCAPE.
- 26. "CHILDREN PLAYING WILL BE DOING SO AT THEIR OWN RISK" WARNING SIGN, TYP.
- 27. PLAYGROUND EQUIPMENT, TYP.
- 28. FABRIC SHADE STRUCTURE.
- 29. POLE LIGHT FIXTURE, SEE ELECTRICAL, TYP.
- 30. SIDEWALK CULVERT, COA DWG. 2236, SEE GRADING AND DRAINAGE PLAN.
- 31. CONCRETE CURB COA DWG. 2415A, SEE CIVIL.
- 32. MONUMENT SIGN, SEE DETAIL 5/ AS-6.0.
- 33. SITE ACCESS KEY PAD CONTROL.
- 34. PERGOLA SHADE STRUCTURE.
- 35. 5'-0" CHAIN LINK FENCE, VERTICAL SUPPORTS EQUALLY SPACES 9'-0" O.C. TYP.
- 36. BENCH, TYP.
- 37. PRE-FABRICATED PICNIC TABLE.
- 38. POST MOUNTED CHARCOAL GRILL.
- 39. SLIDING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES.
- 40. WATER METER, SEE SITE UTILITY PLAN.
- 41. BACKFLOW PREVENTOR & SHELTER, SEE SITE UTILITY PLAN.
- 42. EXISTING STREET LIGHT & SURROUNDING DECORATIVE SIDEWALK TO REMAIN.
- 43. PRE-MANUFACTURES GARDEN FOUNTAIN.
- 44. ELECTRICAL TRANSFORMER, SEE ELECTRICAL.
- 45. EXISTING UTILITY POLE TO REMAIN.
- 46. EXISTING OVERHEAD ELECTRICAL UTILITY LINE TO REMAIN, SEE ELECTRICAL FOR NEW UNDERGROUND ROUTING.
- 47. KNOX BOX LOCATION.
- 48. FIRE HYDRANT, SEE UTILITY PLAN.
- 49. 6" SQUARE CONCRETE FILLED BALLARD.
- 50. SIGHT TRIANGLE.
- 51. ACCESSIBLE PARKING SIGN, SEE DETAIL 4/ AS-6.0.
- 52. PRECAST CONCRETE WHEEL STOP.
- 53. LANDSCAPE AREA, SEE LANDSCAPE, TYP.
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- 55. METAL PANEL FENCE.
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- 57. GAS PIPE CONCEALMENT/ PERFORATED METAL SIGN.



KEY PLAN

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Greater Albuquerque Housing Partnership  
PLAZA FELIZ  
Albuquerque, New Mexico

PROJECT ARCHITECT:  
BOB HALL, AIA

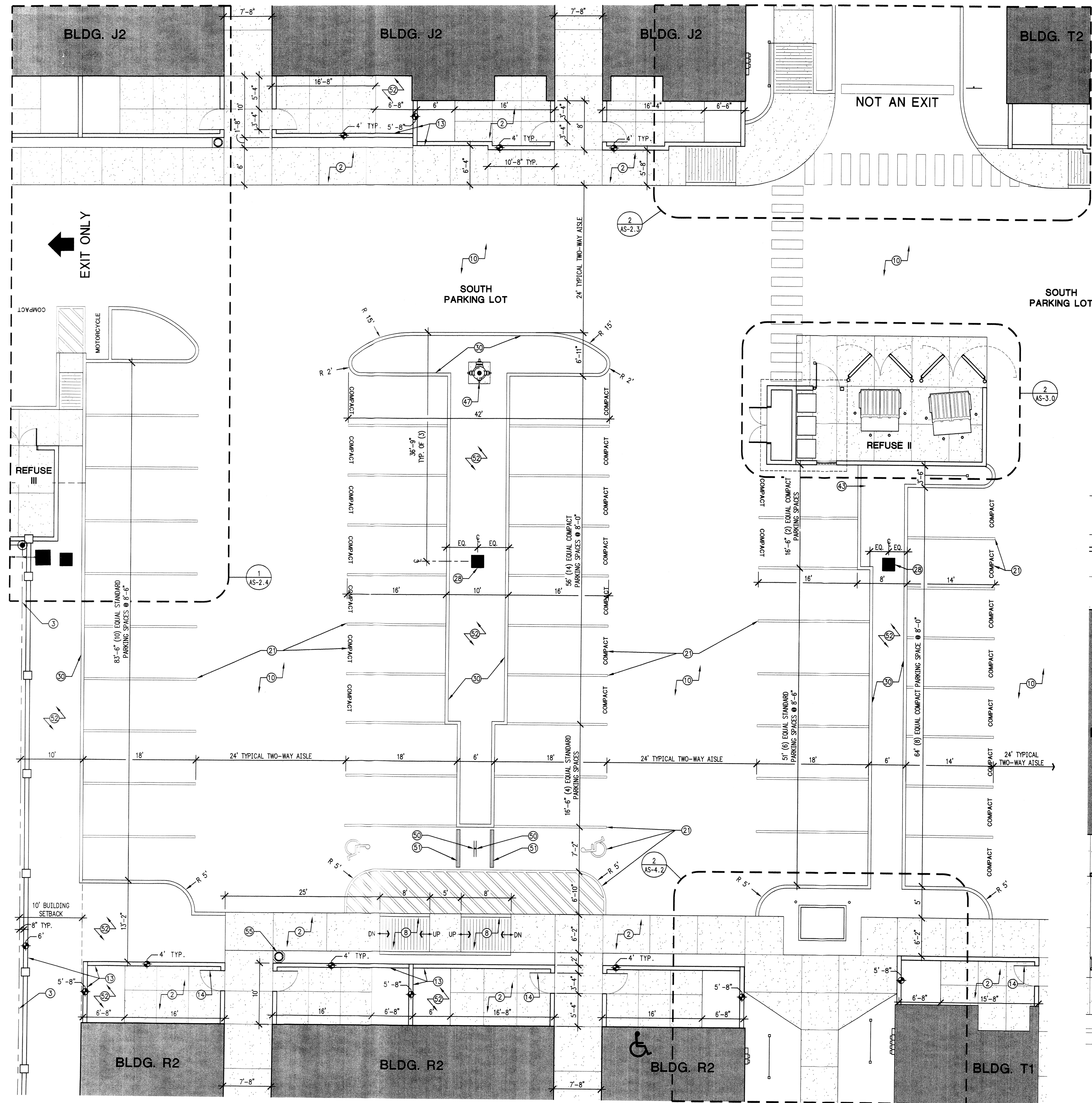
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IDA-10-05-P

Date:  
October 18, 2010

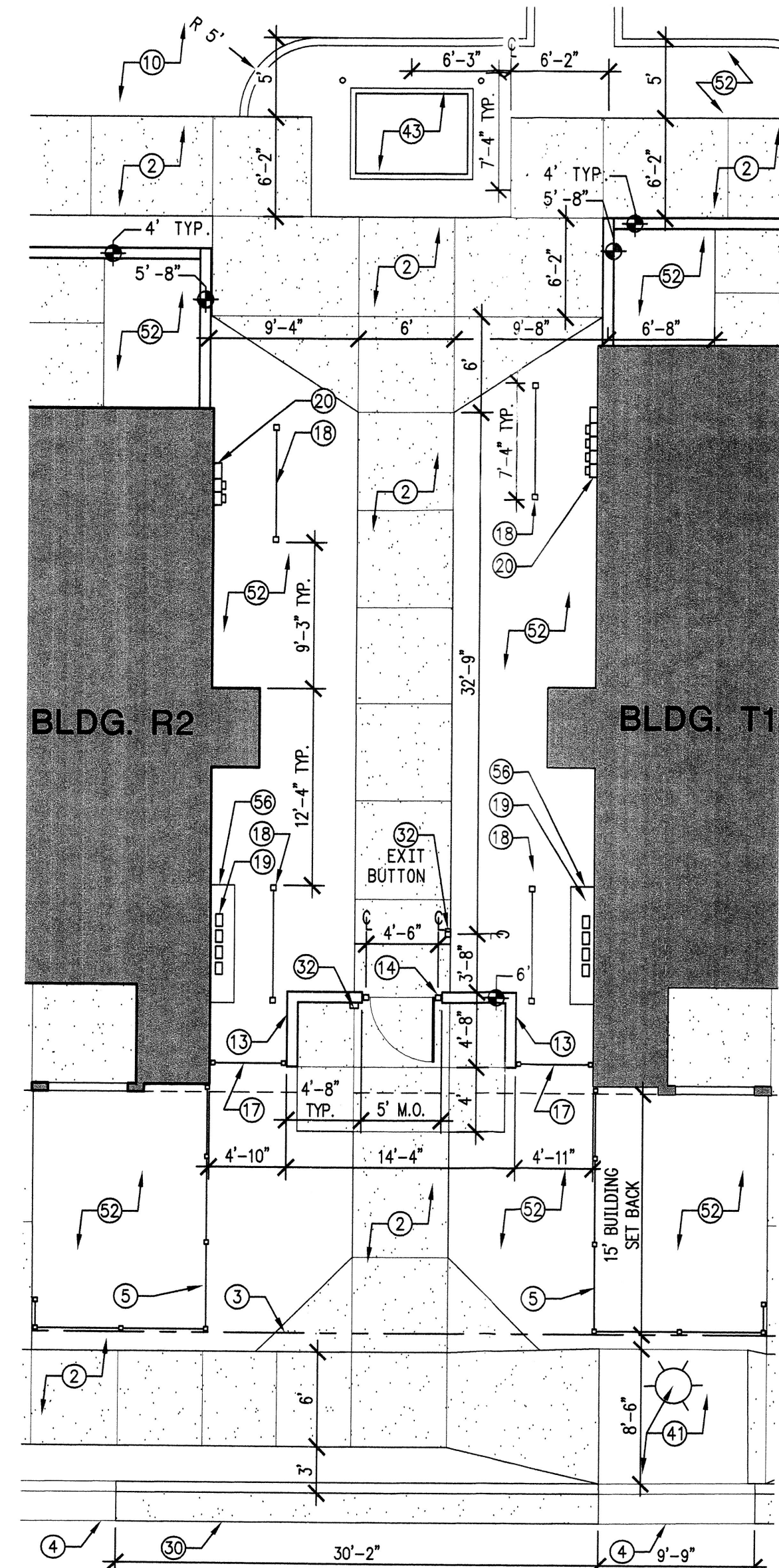
Enlarged Architectural Site Plans

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ARCHITECTURAL ENLARGED SITE PLAN 1 1/8"=1'-0"



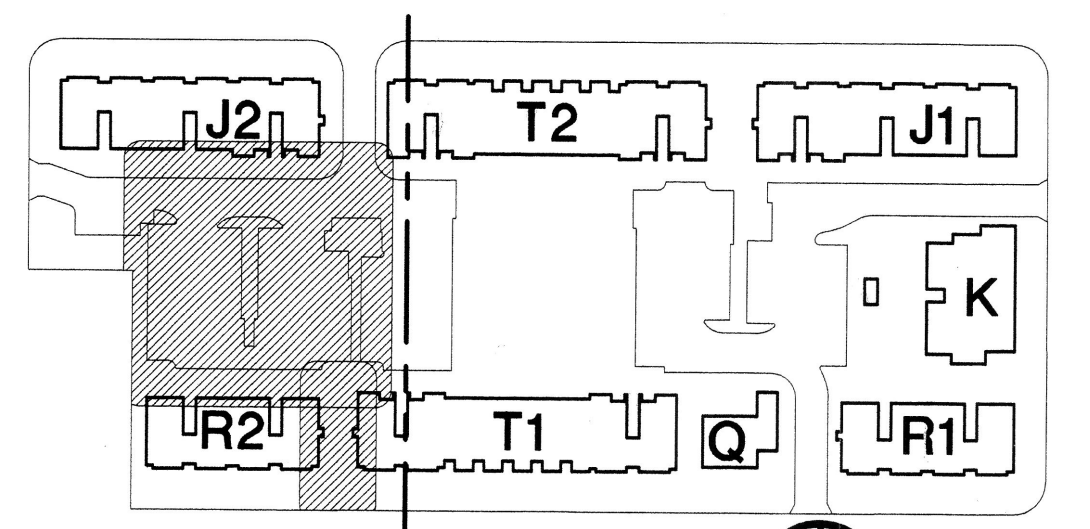
ARCH. ENLRGD SITE PLN 2 1/8"=1'-0"

## General Notes

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## Keyed Notes

- CURB RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2441 & 2426, SLOPE NOT TO EXCEED 1:12, TYP.
- 4" CONCRETE SIDE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE, EXPANSION JOINTS @ 28'-0" O.C. MAX. AND AT EVERY INTERSECTION. 1" DEEP CONTROL JOINT @ 7'-0" O.C. MAX., TYP. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% AGAINST DIRECTION OF TRAVEL. FOR WORK WITHIN THE RIGHT-OF-WAY REFERENCE CIVIL DRAWINGS, COA DWG. 2430.
- PROPERTY LINE, SEE SURVEY, TYP.
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- 3'-0" TALL STEEL PICKET FENCE, TYP.
- 1-1/2" DIA. PAINTED STEEL HANDRAIL, TO COMPLY WITH ADA REQUIREMENTS.
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- 4" THICK CONCRETE ACCESSIBLE CURB RAMP, WITH SCORES RUNNING PERPENDICULAR TO RAMP @ 6" O.C., WITH MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE, SLOPE NOT TO EXCEED 1:12, TYP.
- DETECTABLE WARNINGS, PER ADA STANDARDS, TYP.
- ASPHALT PAVING, TYP.
- BASKETBALL HOOP ASSEMBLY, INCLUDING METAL SUPPORT, BACKBOARD & HOOP.
- NEW CONCRETE DRIVE PAD, PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425, TIE IN TO EXISTING CURB AND GUTTER WHERE APPLICABLE, TYP.
- STUCCO OVER CMU SITE WALL, CMU EXPANSION JOINTS @ 16'-0" MAX, TYP. 6'-0" AT PERIMETER, SEE DETAIL X/XXX.
- STEEL PICKET PEDESTRIAN GATE, TO MATCH WALL HEIGHT, SEE DETAIL XXXX, TYP.
- SWINGING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES INCLUDING BUT NOT LIMITED TO THE FOLLOWING, PHOTO EYE SENSORS, EDGE SENSORS, PHYSICAL STOP, AND IN-GROUND VEHICLE LOOP DETECTORS.
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STATE OF NEW MEXICO  
REGISTERED ARCHITECT  
ROBERT E. HALL  
NO. 1769  
1/18/10

Greater Albuquerque Housing Partnership  
PLAZA FELIZ  
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA	Project #: IDA-10-05-P Date: October 18, 2010
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Enlarged Architectural Site Plans

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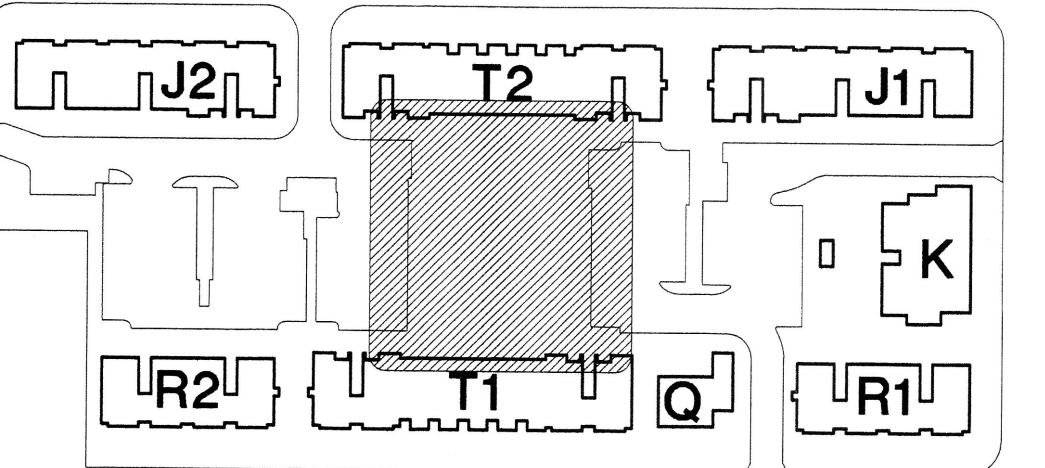


General Notes

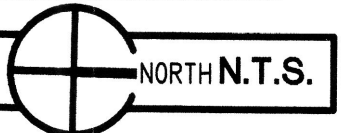
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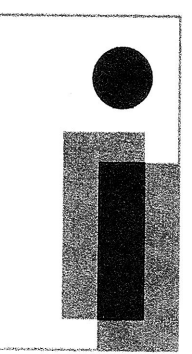


KEY PLAN



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Greater Albuquerque Housing Partnership

PLAZA FELIZ

Albuquerque, New Mexico

PROJECT ARCHITECT:

BOB HALL, AIA

Project #:

IDA-10-05-P

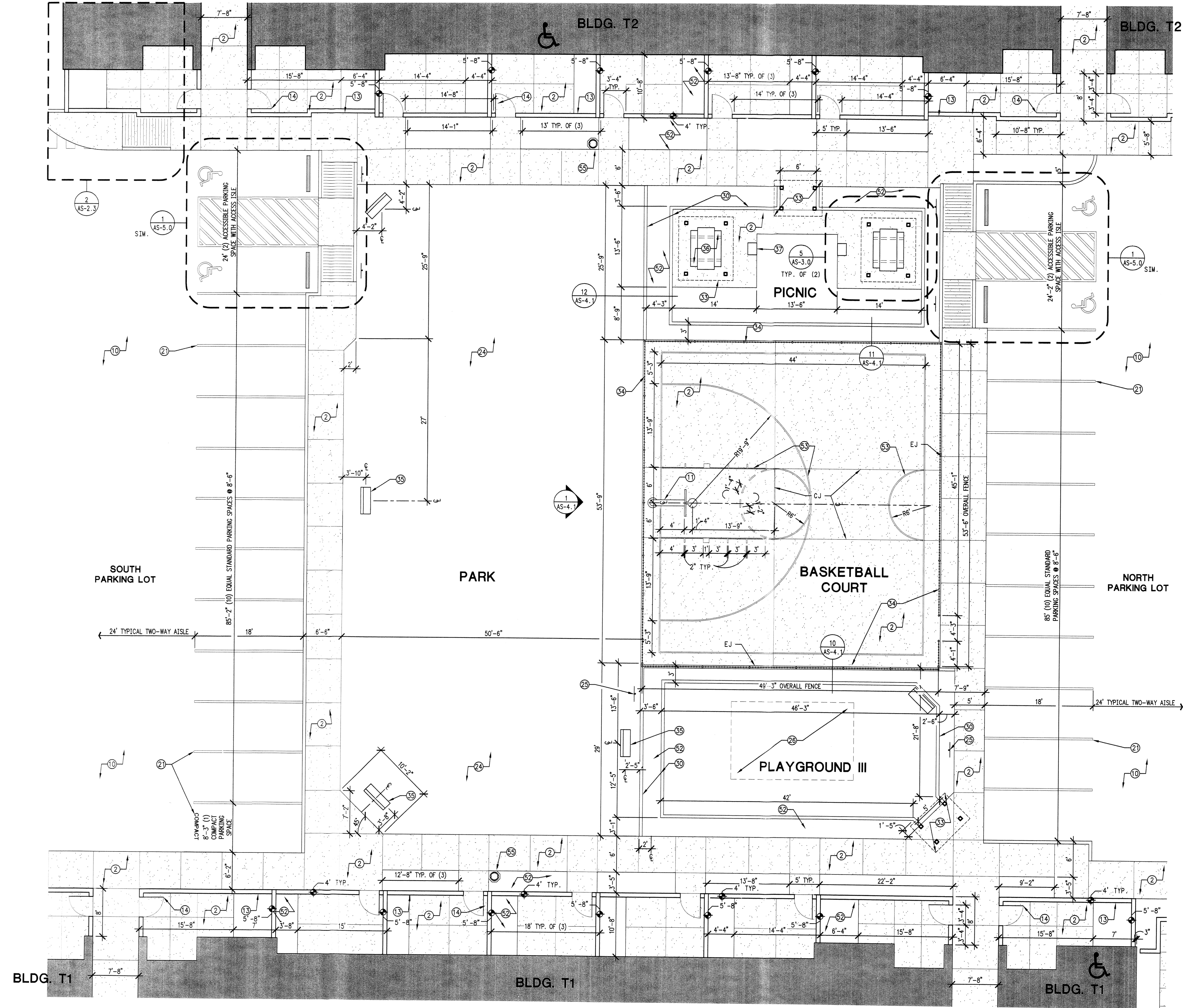
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October 18, 2010

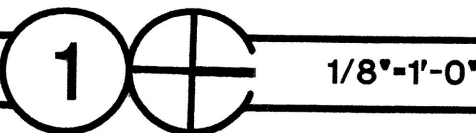
Enlarged Architectural Site Plans

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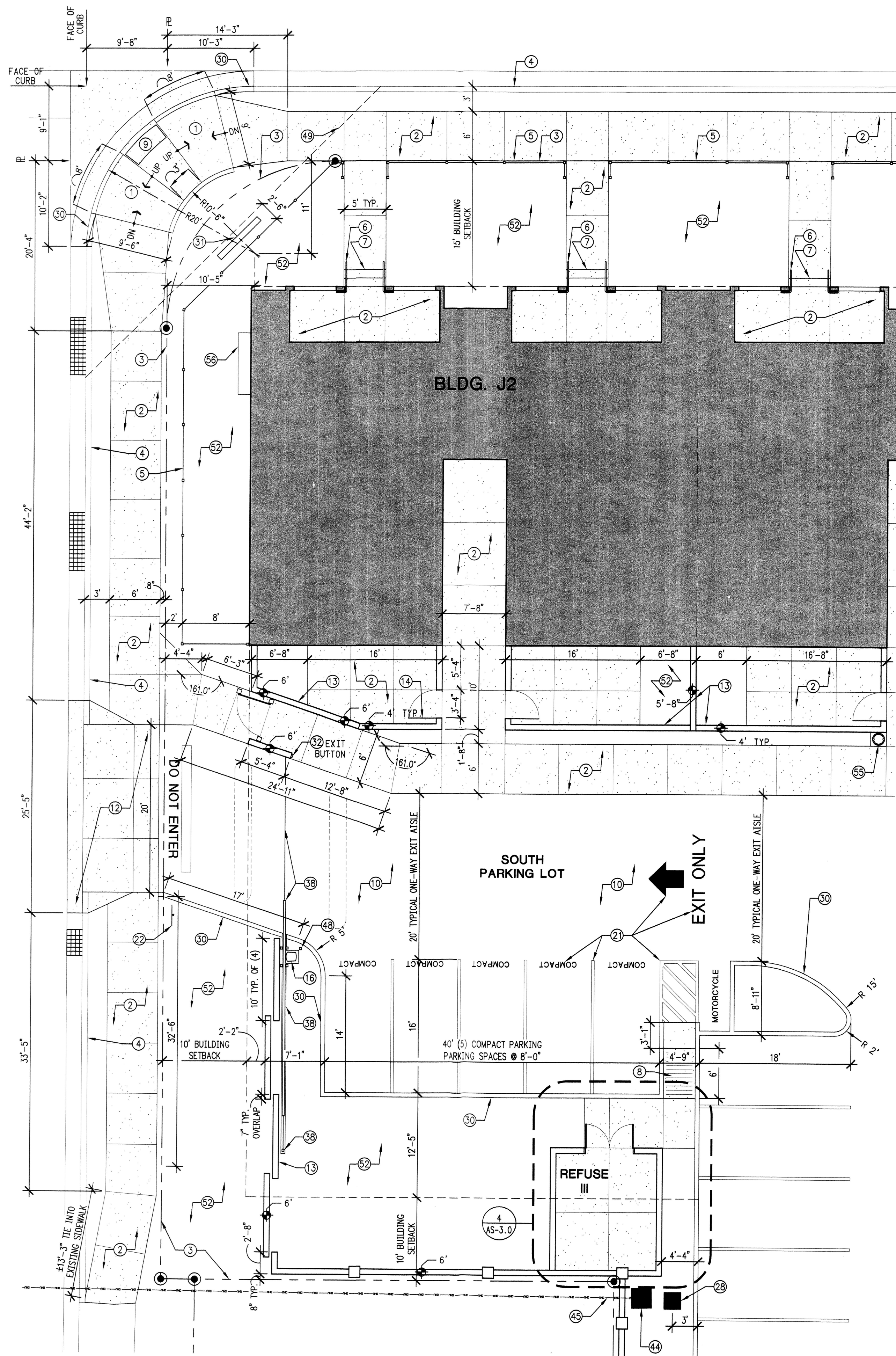
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ARCHITECTURAL ENLARGED SITE PLAN

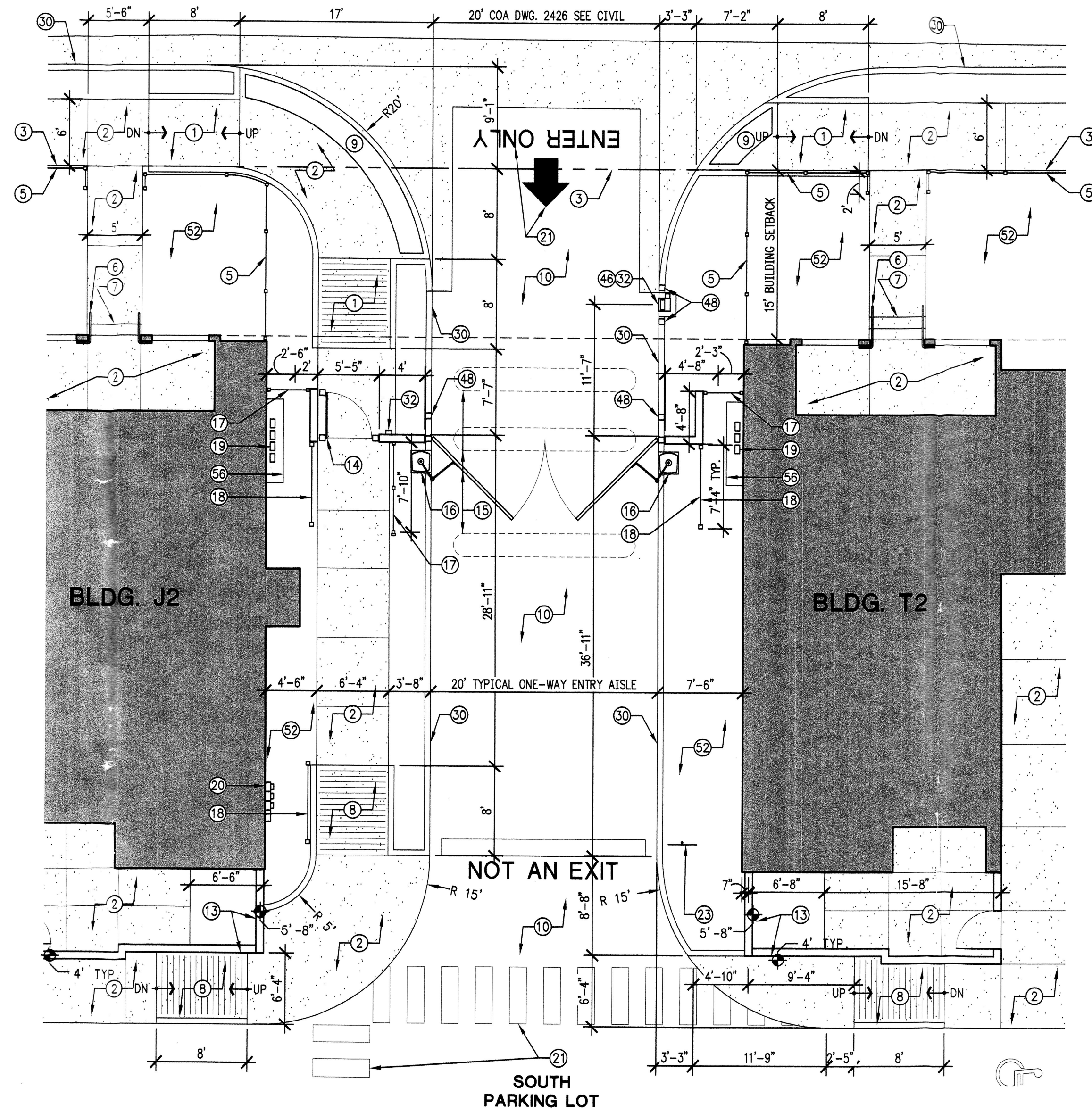






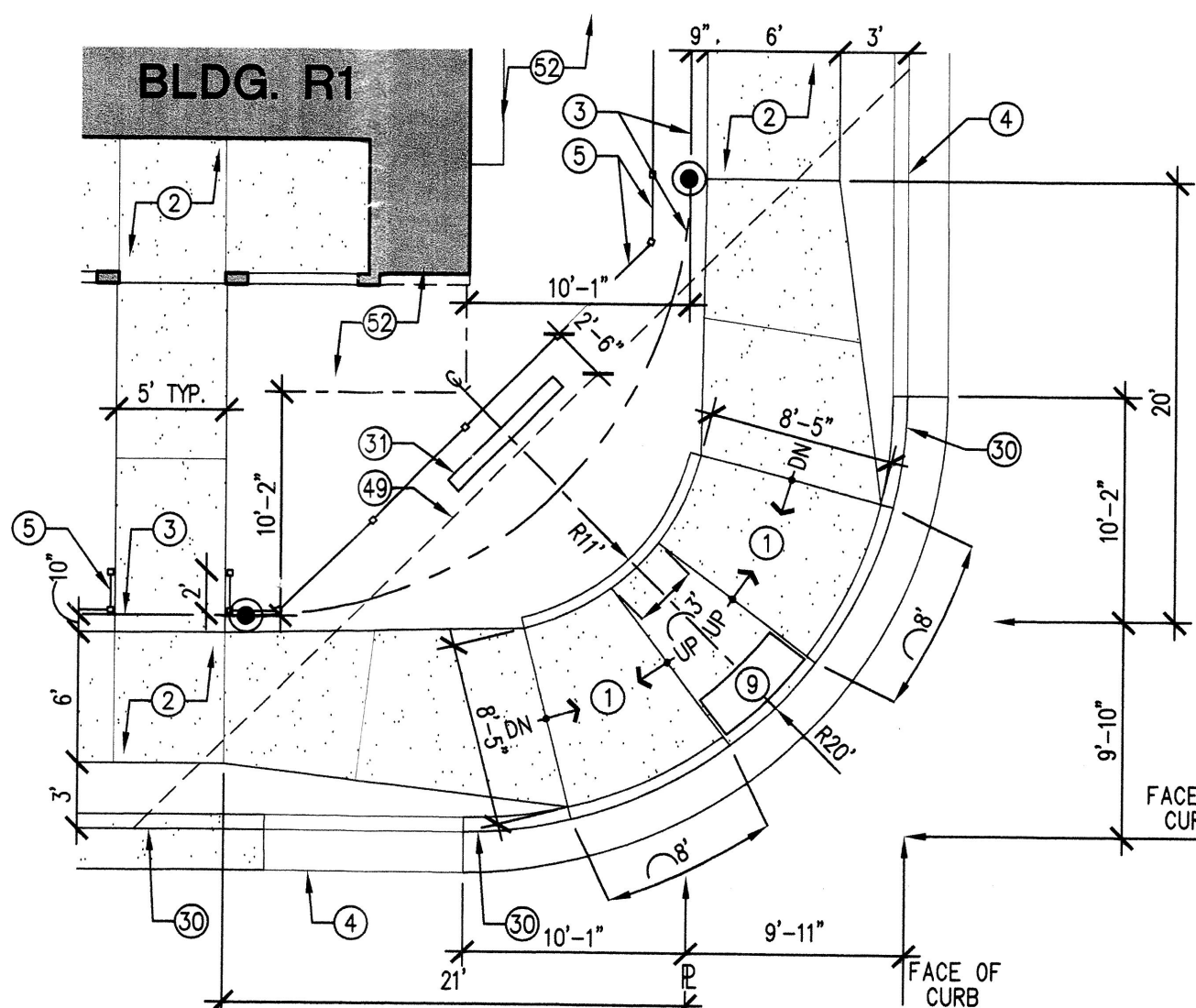
ARCHITECTURAL ENLARGED SITE PLAN

1 1/8"=1'-0"



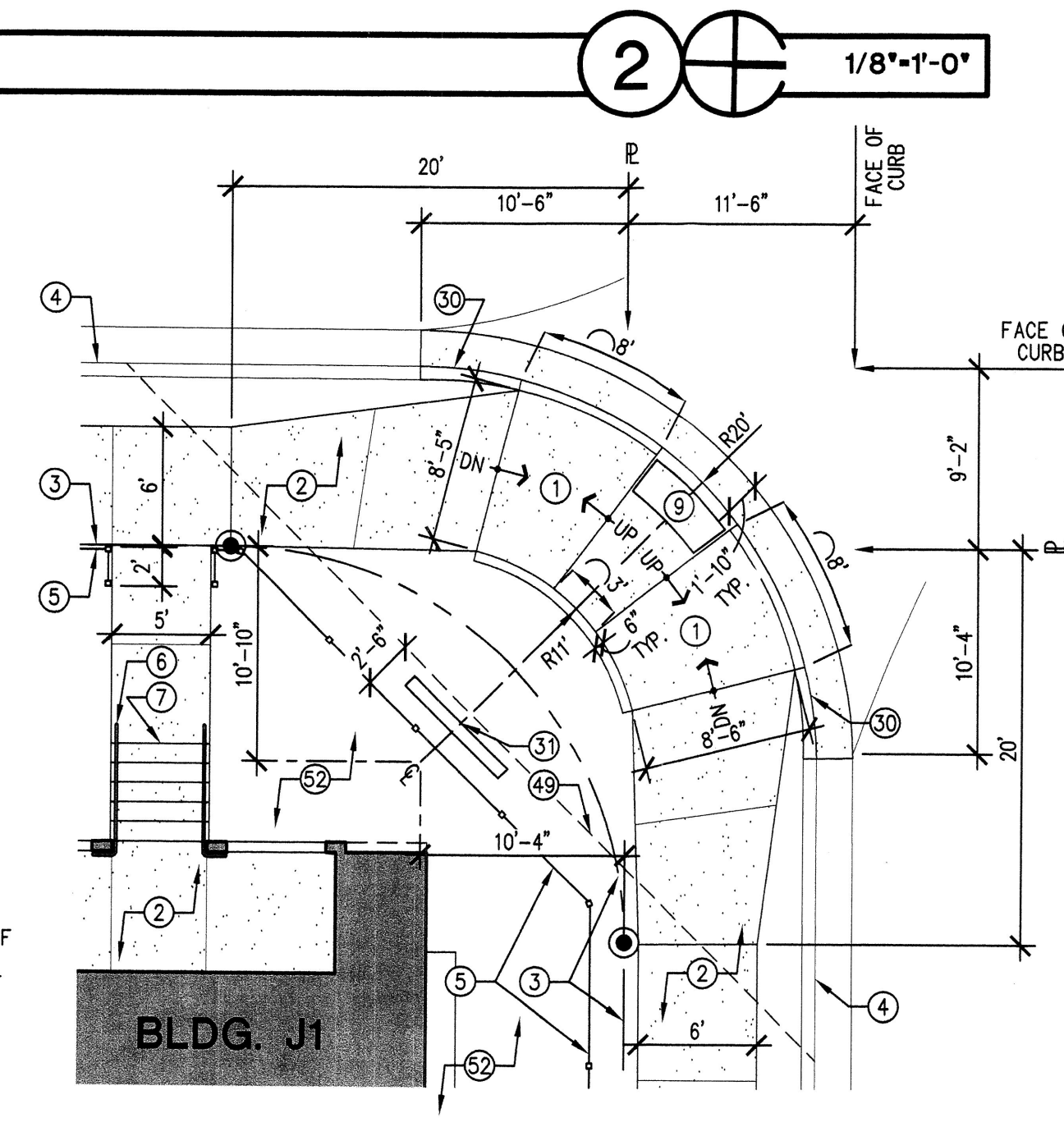
ARCHITECTURAL ENLARGED SITE PLAN

2 1/8"=1'-0"



ARCH. ENLRGD SITE PLN

3 1/8"=1'-0"



ARCH. ENLRGD SITE PLN

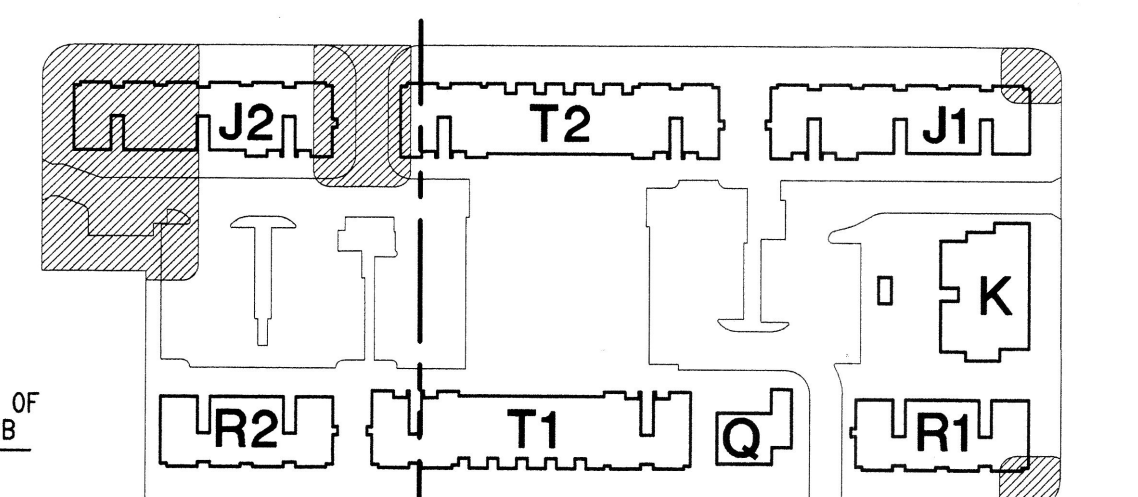
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## General Notes

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- PROVIDE CONSTRUCTION FENCING COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- MAINTAIN ASPHALT AND CONCRETE PAVING TO REMAIN IN ITS CURRENT CONDITION. REPAIR ANY DAMAGE.
- THE ENTIRE SITE TO HAVE ADA ACCESS TO ONE ENTRY TO 100% OF THE GROUND LEVEL ENTRIES TO EACH UNIT AND BUILDING. ELEVATION CHANGES SHOULD BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- WHERE RAMP ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%. SLOPED SIDE WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

## Keyed Notes

- CURB RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2441 & 2426, SLOPE NOT TO EXCEED 1:12, TYP.
- 4" CONCRETE SIDE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE. EXPANSION JOINTS @ 28'-0" O.C. MAX. AND AT EVERY INTERSECTION. 1" DEEP CONTROL JOINT @ 7'-0" O.C. MAX. TYP. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% AGAINST DIRECTION OF TRAVEL. WORK WITHIN THE RIGHT-OF-WAY REFERENCE CIVIL DRAWINGS, COA DWG. 2430.
- PROPERTY LINE, SEE SURVEY, TYP.
- EXISTING CURB AND GUTTER TO REMAIN, TYP.
- 3'-0" TALL STEEL PICKET FENCE, TYP.
- 1-1/2" DIA. PAINTED STEEL HANDRAIL, TO COMPLY WITH ADA REQUIREMENTS.
- CONCRETE STEP(S), SEE GRADING AND DRAINAGE PLAN FOR THE CHANGES IN ELEVATION. RISERS 4"-6", TYP.
- 4" THICK CONCRETE ACCESSIBLE CURB RAMP, WITH SCORES RUNNING PERPENDICULAR TO RAMP @ 6" O.C., WITH MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE, SLOPE NOT TO EXCEED 1:12, TYP.
- DETECTABLE WARNINGS, PER ADA STANDARDS, TYP.
- ASPHALT PAVING, TYP.
- BASKETBALL HOOP ASSEMBLY, INCLUDING METAL SUPPORT, BACKBOARD & HOOP.
- NEW CONCRETE DRIVE PAD, PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425, TIE IN TO EXISTING CURB AND GUTTER WHERE APPLICABLE, TYP.
- STUCCO OVER CMU SITE WALL, CMU EXPANSION JOINTS @ 16'-0" MAX, TYP.
- 6'-0" AT PERIMETER, SEE DETAIL X/XXX.
- STEEL PICKET PEDESTRIAN GATE, TO MATCH WALL HEIGHT, SEE DETAIL XXXX, TYP.
- SWINGING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: PHOTO EYE SENSORS, EDGE SENSORS, PHYSICAL STOP, AND IN-GROUND VEHICLE LOOP DETECTORS.
- POWERED GATE OPERATOR, TYP.
- 6'-0" TALL STEEL PICKET FENCE, TYP.
- LANDSCAPE TRELLIS, 4X4 TUBE STEEL FRAME WITH WIRE FABRIC INFILL.
- GAS METERS, SEE MECHANICAL, TYP.
- ELECTRIC METERS, SEE ELECTRICAL, TYP.
- PAINTED PARKING LOT STRIPING & LETTERING, TYP.
- "DO NOT ENTER" WARNING METAL SIGN.
- "NOT AN EXIT" WARNING METAL SIGN.
- PLAY FIELD, SEE LANDSCAPE.
- "CHILDREN PLAYING WILL BE DOING SO AT THEIR OWN RISK" WARNING SIGN, TYP.
- PLAYGROUND EQUIPMENT, TYP.
- FABRIC SHADE STRUCTURE.
- POLE LIGHT FIXTURE, SEE ELECTRICAL, TYP.
- SIDEWALK CULVERT, COA DWG. 2236, SEE GRADING AND DRAINAGE PLAN.
- CONCRETE CURB COA DWG. 2415A, SEE CIVIL.
- MONUMENT SIGN, SEE DETAIL 5/ AS-6.0.
- SITE ACCESS KEY PAD CONTROL.
- PERGOLA SHADE STRUCTURE.
- 5'-0" CHAIN LINK FENCE, VERTICAL SUPPORTS EQUALLY SPACES 9'-0" O.C. TYP.
- BENCH, TYP.
- PRE-FABRICATED PICNIC TABLE.
- POST MOUNTED CHARCOAL GRILL.
- SLIDING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES.
- WATER METER, SEE SITE UTILITY PLAN.
- BACKFLOW PREVENTOR & SHELTER, SEE SITE UTILITY PLAN.
- EXISTING STREET LIGHT & SURROUNDING DECORATIVE SIDEWALK TO REMAIN.
- PRE-MANUFACTURES GARDEN FOUNTAIN.
- ELECTRICAL TRANSFORMER, SEE ELECTRICAL.
- EXISTING UTILITY POLE TO REMAIN.
- EXISTING OVERHEAD ELECTRICAL UTILITY LINE TO REMAIN, SEE ELECTRICAL FOR NEW UNDERGROUND ROUTING.
- KNOX BOX LOCATION.
- FIRE HYDRANT, SEE UTILITY PLAN.
- 6" SQUARE CONCRETE FILLED BALLARD.
- SIGHT TRIANGLE.
- ACCESSIBLE PARKING SIGN, SEE DETAIL 4/ AS-6.0.
- PRECAST CONCRETE WHEEL STOP.
- LANDSCAPE AREA, SEE LANDSCAPE, TYP.
- BASKETBALL COURT STRIPING.
- METAL PANEL FENCE.
- MAIN BUILDING WATER SHUT-OFF VALVE.
- GAS PIPE CONCEALMENT/ PERFORATED METAL SIGN.



KEY PLAN

NORTH N.T.S.

906 1/2 Park Avenue SW  
Albuquerque, NM 87102  
tel:505.243.3499  
fax:505.243.3583  
info@integrateddesignarch.com  
www.integrateddesignarch.com

Greater Albuquerque Housing Partnership  
PLAZA FELIZ  
Albuquerque, New Mexico

PROJECT ARCHITECT:  
BOB HALL, AIA

Project #:  
IDA-10-05-P

Date:  
October 18, 2010

Enlarged Architectural Site Plans

By: CJC  
File: AS-1.0 ARCH SITE PLAN.DWG  
Tab - Enlarged Site Plans (4)  
Plot Date: 11/5/2010 11:41:55 AM

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**AS-2.3**

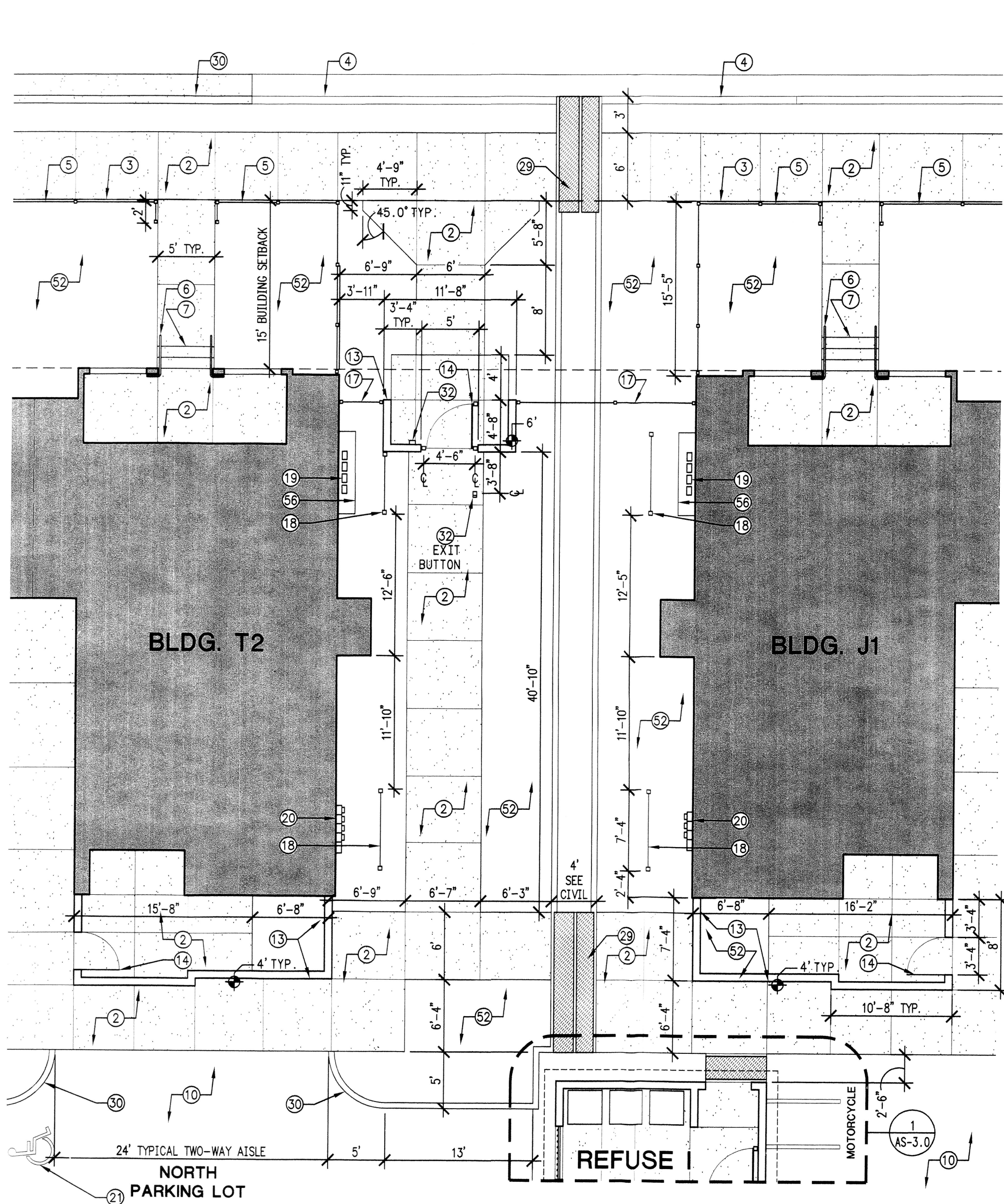


General Notes

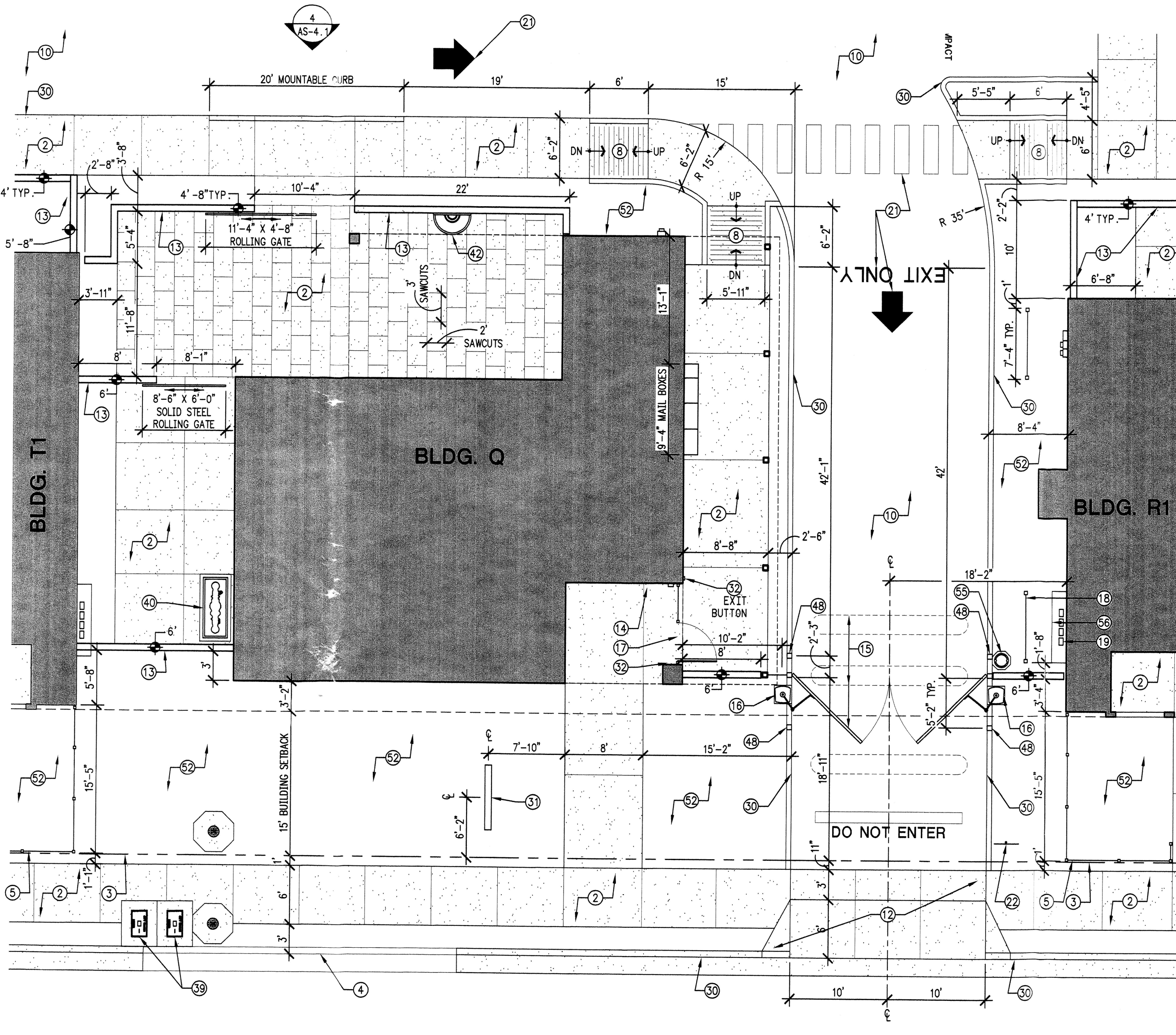
- A. SETBACKS PER SECTOR DEVELOPMENT PLAN (S-DP):  
15' FRONT SETBACK @ ESPANOLA & SAN PABLO STREET  
10' SIDE SETBACK @ BELL & TRUMBULL AVENUE
- B. VISIT SITE TO BECOME FAMILIAR WITH ALL EXISTING VISIBLE CONDITIONS.
- C. WHERE REMOVAL OCCURS, MODIFY PER PLANS.
- D. PROVIDE CONSTRUCTION FENCING COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- E. MAINTAIN ASPHALT AND CONCRETE PAVING TO REMAIN IN ITS CURRENT CONDITION. REPAIR ANY DAMAGE.
- F. THE ENTIRE SITE TO HAVE ADA ACCESS TO ONE ENTRY TO 100% OF THE GROUND LEVEL ENTRIES TO EACH UNIT AND BUILDING. ELEVATION CHANGES SHOULD BE ACCOMMODATED WITH SLOPED SIDEWALKS FIRST. SLOPED SIDEWALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
- G. WHERE RAMPS ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%. SLOPED SIDE WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

Keyed Notes

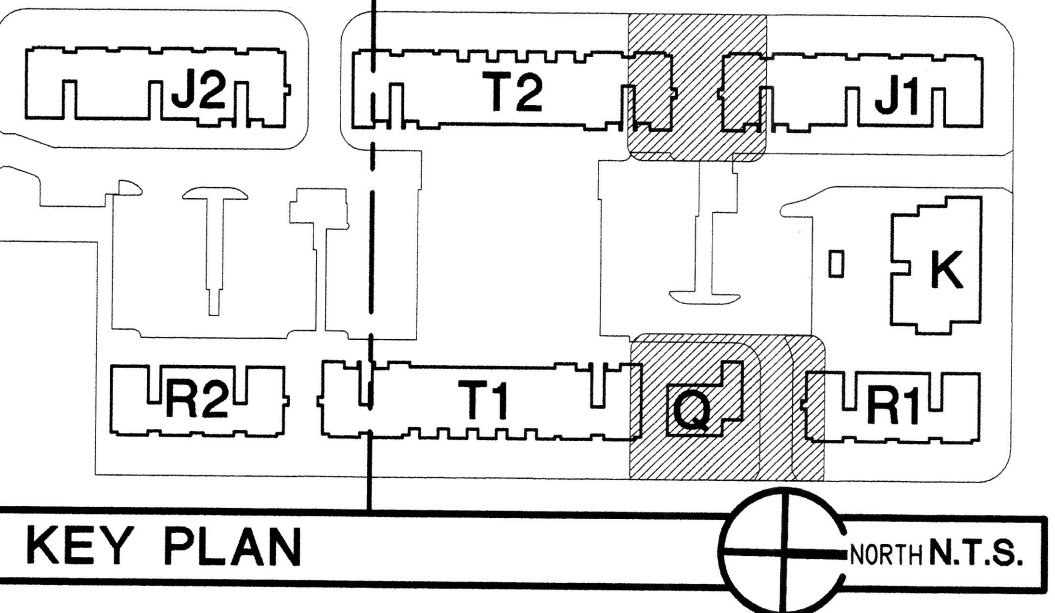
1. CURB RAMP PER CITY OF ALBUQUERQUE STANDARD DRAWINGS 2441 & 2426, SLOPE NOT TO EXCEED 1:12, TYP.
2. 4" CONCRETE SIDE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE. EXPANSIONS JOINTS @ 28'-0" O.C. MAX. AND AT EVERY INTERSECTION. 1" DEEP CONTROL JOINT @ 7'-0" O.C. MAX., TYP. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% AGAINST DIRECTION OF TRAVEL. FOR WORK WITHIN THE RIGHT-OF-WAY REFERENCE CIVIL DRAWINGS, COA DWG. 2430.
3. PROPERTY LINE, SEE SURVEY, TYP.
4. EXISTING CURB AND GUTTER TO REMAIN, TYP.
5. 3'-0" TALL STEEL PICKET FENCE, TYP.
6. 1-1/2" DIA. PAINTED STEEL HANDRAIL, TO COMPLY WITH ADA REQUIREMENTS.
7. CONCRETE STEP(S), SEE GRADING AND DRAINAGE PLAN FOR THE CHANGES IN ELEVATION. TREADS 12", RISERS 4'-6", TYP.
8. 4" THICK CONCRETE ACCESSIBLE CURB RAMP, WITH SCORES RUNNING PERPENDICULAR TO RAMP @ 6" O.C., WITH MEDIUM BROOM FINISH PERPENDICULAR TO SLOPE. SLOPE NOT TO EXCEED 1:12, TYP.
9. DETECTABLE WARNINGS, PER ADA STANDARDS, TYP.
10. ASPHALT PAVING, TYP.
11. BASKETBALL HOOP ASSEMBLY, INCLUDING METAL SUPPORT, BACKBOARD & HOOP.
12. NEW CONCRETE DRIVE PAD, PER CITY OF ALBUQUERQUE STANDARD DRAWING 2425, TIE IN TO EXISTING CURB AND GUTTER WHERE APPLICABLE, TYP.
13. STUCCO OVER CMU SITE WALL, CMU EXPANSION JOINTS @ 16'-0" MAX, TYP.
14. STEEL PICKET PEDESTRIAN GATE, TO MATCH WALL HEIGHT, SEE DETAIL XXXX, TYP.
15. SWINGING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES INCLUDING BUT NOT LIMITED TO THE FOLLOWING, PHOTO EYE SENSORS, EDGE SENSORS, PHYSICAL STOP, AND IN-GROUND VEHICLE LOOP DETECTORS.
16. POWERED GATE OPERATOR, TYP.
17. 6'-0" TALL STEEL PICKET FENCE, TYP.
18. LANDSCAPE TRELLIS, 4X4 TUBE STEEL FRAME WITH WIRE FABRIC INFILL.
19. GAS METERS, SEE MECHANICAL, TYP.
20. ELECTRIC METERS, SEE ELECTRICAL, TYP.
21. PAINTED PARKING LOT STRIPING & LETTERING, TYP.
22. "DO NOT ENTER" WARNING METAL SIGN.
23. "NOT AN EXIT" WARNING METAL SIGN.
24. PLAY FIELD, SEE LANDSCAPE.
25. "CHILDREN PLAYING WILL BE DOING SO AT THEIR OWN RISK" WARNING SIGN, TYP.
26. PLAYGROUND EQUIPMENT, TYP.
27. FABRIC SHADE STRUCTURE.
28. POLE LIGHT FIXTURE, SEE ELECTRICAL, TYP.
29. SIDEWALK CULVERT, COA DWG. 2236, SEE GRADING AND DRAINAGE PLAN.
30. CONCRETE CURB COA DWG. 2415A, SEE CIVIL.
31. MONUMENT SIGN, SEE DETAIL 5/ AS-6.0.
32. SITE ACCESS KEY PAD CONTROL.
33. PERGOLA SHADE STRUCTURE.
34. 5'-0" CHAIN LINK FENCE, VERTICAL SUPPORTS EQUALLY SPACES 9'-0" O.C. TYP.
35. BENCH, TYP.
36. PRE-FABRICATED PICNIC TABLE.
37. POST MOUNTED CHARCOAL GRILL.
38. SLIDING STEEL PICKET VEHICULAR GATE, WITH ALL MANUFACTURES RECOMMENDED SAFETY FEATURES.
39. WATER METER, SEE SITE UTILITY PLAN.
40. BACKFLOW PREVENTOR & SHELTER, SEE SITE UTILITY PLAN.
41. EXISTING STREET LIGHT & SURROUNDING DECORATIVE SIDEWALK TO REMAIN.
42. PRE-MANUFACTURES GARDEN FOUNTAIN.
43. ELECTRICAL TRANSFORMER, SEE ELECTRICAL.
44. EXISTING UTILITY POLE TO REMAIN.
45. EXISTING OVERHEAD ELECTRICAL UTILITY LINE TO REMAIN, SEE ELECTRICAL FOR NEW UNDERGROUND ROUTING.
46. KNOX BOX LOCATION.
47. FIRE HYDRANT, SEE UTILITY PLAN.
48. 6" SQUARE CONCRETE FILLED BALLARD.
49. SIGHT TRIANGLE.
50. ACCESSIBLE PARKING SIGN, SEE DETAIL 4/ AS-6.0.
51. PRECAST CONCRETE WHEEL STOP.
52. LANDSCAPE AREA, SEE LANDSCAPE, TYP.
53. BASKETBALL COURT STRIPING.
54. METAL PANEL FENCE.
55. MAIN BUILDING WATER SHUT-OFF VALVE.
56. GAS PIPE CONCEALMENT/ PERFORATED METAL SIGN.



ARCHITECTURAL ENLARGED SITE PLAN 1 1/8"=1'-0"



ARCHITECTURAL ENLARGED SITE PLAN 2 1/8"=1'-0"



integrated design architecture

906 1/2 Park Avenue SW  
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STATE OF NEW MEXICO  
ROBERT E. HALL  
NO. 1769  
10/18/10  
REGISTERED ARCHITECT

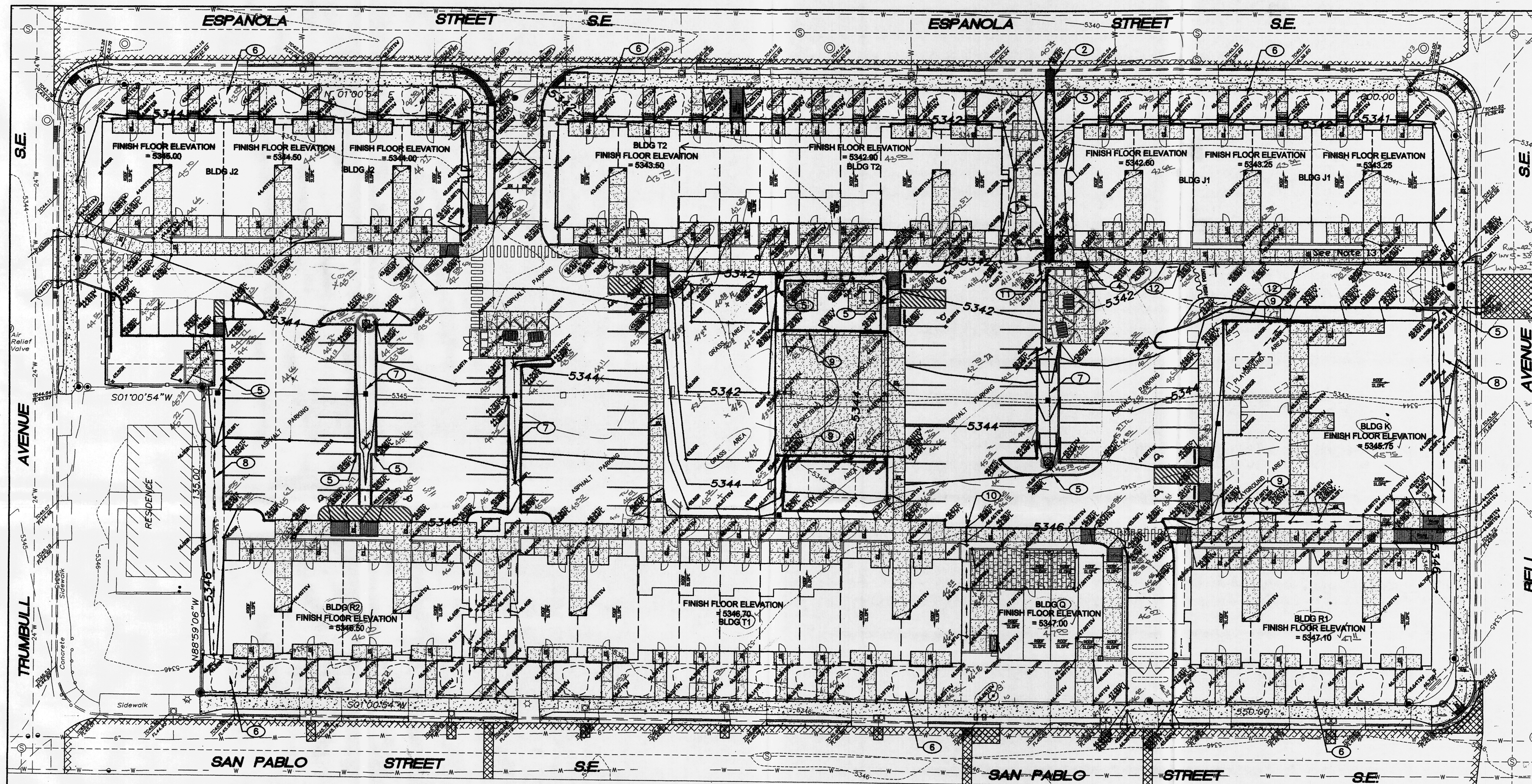
Greater Albuquerque Housing Partnership  
PLAZA FELIZ  
Albuquerque, New Mexico

PROJECT ARCHITECT: BOB HALL, AIA	Project #: IDA-10-05-P Date: October 18, 2010
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Enlarged Architectural Site Plans

By: File: Plot Date:	CIC AS-1.0 ARCH SITE PLAN.DWG Tab - Enlarged Site Plans (5) 11/5/2010 11:42:29 AM	Sheet of AS-2.4
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### CONSTRUCTION NOTES:

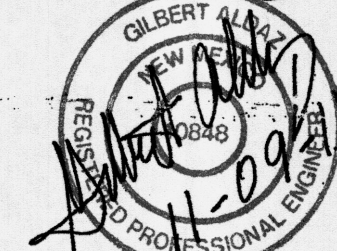
- ① CONSTRUCT 1-18" WIDE AND 1-12" WIDE BY 11'-4" LONG BY 6" DEEP SIDEWALK CULVERTS WITH STEEL PLATE TOP PER CITY STD. DWG. 2236.
- ② CONSTRUCT 1-18" WIDE AND 1-12" WIDE BY 9'-0" LONG BY 8" DEEP SIDEWALK CULVERTS WITH STEEL PLATE TOP PER CITY STD. DWG. 2236.
- ③ CONSTRUCT A 3'-0" WIDE CONCRETE CHANNEL PER CITY STD. DWG. 2260 AND SEE DETAIL 'A', SHEET 12.
- ④ CONSTRUCT 2-12" WIDE BY 5'-4" LONG BY 6" DEEP SIDEWALK CULVERTS WITH STEEL PLATE TOP PER CITY STD. DWG. 2236.
- ⑤ PROVIDE A 1' WIDE CURB OPENING.
- ⑥ CONSTRUCT A 10' X 10' X 8" DEEP DEPRESSION FOR WATER HARVESTING, TO BE COORDINATED WITH LANDSCAPING PLAN (TYPICAL ALL LOTS).
- ⑦ CONSTRUCT 6" DEEP WATER HARVESTING AREAS WITHIN ISLAND TO BE COORDINATED WITH LANDSCAPING PLAN.
- ⑧ CONSTRUCT DRAINAGE SWALE PER GRADES SHOWN.
- ⑨ RETAINING WALL, HEIGHT VARIES, SEE GRADES AND DETAIL SHEET.
- ⑩ SEE DETAIL 'B' SHEET 11, (NOT PART OF WORK ORDER).
- ⑪ PROVIDE A 2'-6" WIDE CURB OPENING, SEE SHEET 12 (NOT PART OF WORK ORDER).
- ⑫ PROVIDE 1' WIDE CONCRETE GUTTER PAN.

### DRAINAGE AND GRADING PLAN

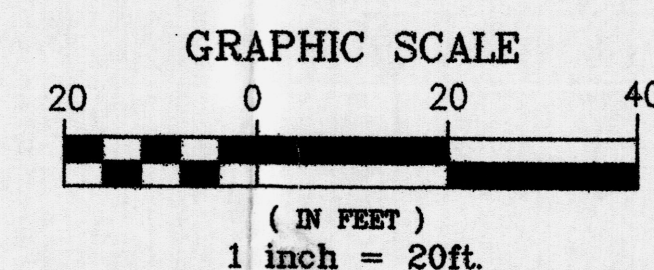
SCALE: 1" = 20'

As indicated by the as-built information shown hereon for the Plaza Feliz Grading and Drainage plan, it has been constructed in substantial compliance with the approved Grading and Drainage Plan. This Certification is presented in fulfillment of drainage requirements requested by the City of Albuquerque. The information shown hereon has been obtained by SurVek, Inc. and is true and correct to the best of my knowledge and belief.

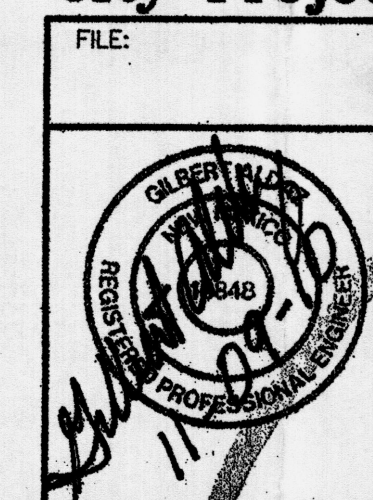
*Gilbert Aldaz*  
Gilbert Aldaz, NMPE 10848



LEGEND			
— 5360 —	NEW CONTOUR GRADE	— 5340 —	EXISTING TOP OF CURB ELEVATION
--- 5341 ---	EXISTING CONTOUR GRADE	— 5340 —	EXISTING FLOWLINE ELEVATION
→	DRAINAGE FLOW DIRECTION	— 5340 —	NEW DIRT GRADE ELEVATION
— 5340 —	NEW TOP OF CURB ELEVATION	— 5340 —	FLOWLINE SWALE ELEVATION
— 5340 —	NEW FLOWLINE OF CURB ELEVATION	— 5340 —	NEW TOP OF WALL ELEVATION
— 5340 —	NEW TOP OF ASPHALT ELEVATION	— 5340 —	NEW BOTTOM OF WALL ELEVATION
— 5340 —	NEW TOP OF SIDEWALK ELEVATION		
— 5340 —	DRAINAGE SWALE		



City Project No. 590184



### DRAINAGE AND GRADING PLAN PLAZA FELIZ

APPLIED ENGINEERING AND  
SURVEYING, INC.  
ENGINEERS AND PLANNERS

1000 East 10th Street  
Albuquerque, New Mexico 87102

### UTILITY PRECAUTIONS

THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO IDENTIFY, LOCATE, AND PRESERVE ANY AND ALL EXISTING UTILITY LINES, PIPELINES, AND UNDERGROUND UTILITY LINES IN PLANNING AND CONDUCTING EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

DATE/REVISIONS:

SHEET NUMBER:

4 OF 10



# Open Space Calculations

* OF TWO BEDROOM UNITS	56 UNITS = 28,000 SQUARE FEET
* OF THREE BEDROOM UNITS	10 UNITS = 6,000 SQUARE FEET
TOTAL USABLE OPEN SPACE REQUIRED	= 34,000 SQUARE FEET
TOTAL LANDSCAPE AREA	= 35,071 SQUARE FEET
PRIVATE PATIOS AND BALCONIES	= 12,885 SQUARE FEET
COMMUNITY RECREATION AREA	= 10,744 SQUARE FEET
TOTAL USABLE OPEN SPACE PROVIDED	= 58,700 SQUARE FEET

# Landscape Calculations

TOTAL LOT AREA	3.55 ACRES = 154,638 SQUARE FEET
TOTAL BUILDING FOOTPRINT AREA	40,946 SQUARE FEET
ROW LANDSCAPE AREA	4,025 SQUARE FEET
NET LOT AREA	109,667 SQUARE FEET
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIREMENT	16,450 SQUARE FEET
TOTAL LANDSCAPE PROVIDED	35,071 SQUARE FEET

# General Notes

- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- IT IS THE INTENT OF PLAN TO COMPLY WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE PLANTING RESTRICTION APPROACH.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION OF THE WATER WASTE ORDINANCE. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL LANDSCAPING WILL BE IN CONFORMANCE WITH THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. IN GENERAL, WATER CONSERVATION, ENVIRONMENTALLY SOUND LANDSCAPE PRINCIPLES WILL BE FOLLOWED IN DESIGN AND INSULATION.
- PLANT BEDS SHALL ACHIEVE 75% LIVE GROUND COVER AT MATURITY.
- NO PARKING SPACE SHALL BE GRATER THAN 100' FROM THE TRUNK OF A PARKING LOT TREE.

# Irrigation Notes

- IRRIGATION SHALL BE A COMPLETE UNDERGROUND SYSTEM. IRRIGATION SYSTEM WILL BE OPERATED BY AUTOMATIC CONTROLLER. LOCATION OF CONTROLLER TO BE IN BUILDING Q.
- IRRIGATION MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- DRIP IRRIGATION MUST COMPLY WITH CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE.



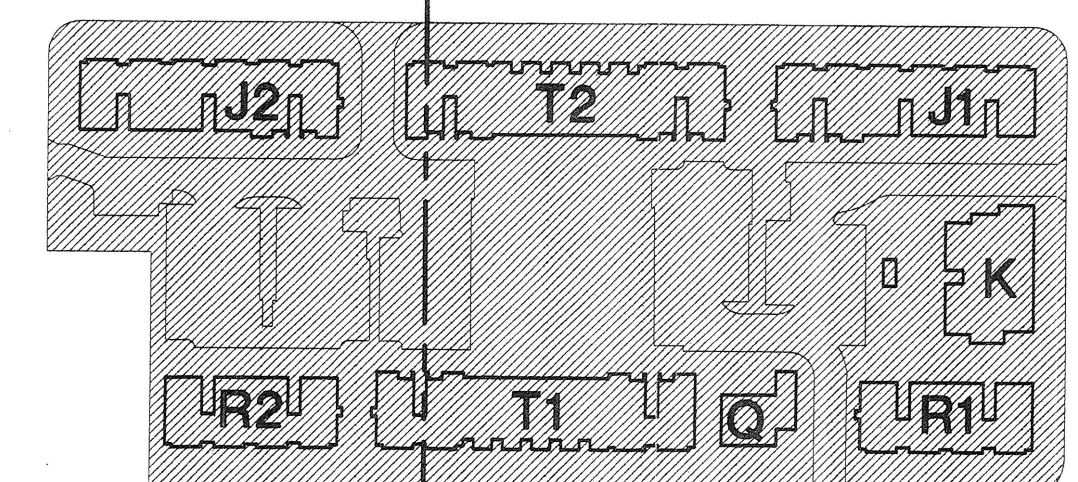
VICINITY MAP

# General Notes

- SETBACKS PER SECTOR DEVELOPMENT PLAN (S-DR):  
15' FRONT SETBACK @ ESPANOLA & SAN PABLO STREET  
10' SIDE SETBACK @ BELL & TRUMBULL AVENUE
- VISIT SITE TO BECOME FAMILIAR WITH ALL EXISTING VISIBLE CONDITIONS.
- WHERE REMOVAL OCCURS, MODIFY PER PLANS.
- PROVIDE CONSTRUCTION FENCING COORDINATE EXACT LOCATION WITH OWNER PRIOR TO PLACEMENT.
- MAINTAIN ASPHALT AND CONCRETE PAVING TO REMAIN IN ITS CURRENT CONDITION. REPAIR ANY DAMAGE.
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- WHERE RAMP ARE REQUIRED SLOPE SHALL NOT EXCEED 1:12 WITH A CROSS SLOPE NOT EXCEEDING 2%. SLOPED SIDE WALKS SHALL NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE.

# Parking Calculations

ZONING CODE SECTION 14-16-3-1 OFF-STREET PARKING REGULATIONS				
CAR SPACES REQUIRED:				
BUILDING BREAKDOWN:				
BUILDING T1 & T2:	AREA (SQ. FT.)	FACTOR (PER UNIT)	NO.	
(8) UNIT TYPE 2	888	2	16	
(8) UNIT TYPE 3	840	1.5	12	
(10) UNIT TYPE 4	1,157	2	20	
BUILDING J1 & J2:				
(8) UNIT TYPE 1	840	1.5	12	
(4) UNIT TYPE 2	888	2	8	
(12) UNIT TYPE 3	840	1.5	18	
BUILDING R1 & R2:				
(8) UNIT TYPE 1	840	1.5	12	
(8) UNIT TYPE 3	840	1.5	12	
BUILDING K:	AREA (SQ. FT.)	FACTOR (PER SF)	NO.	
LESS NON-LEASEABLE	4,064			
AREA CONSIDERED	-1,316			
BUILDING Q:	2,748	2 + 1 PER 500	8	
LESS NON-LEASEABLE	1,500			
AREA CONSIDERED	-900			
	600	1 PER 200	3	
				SPACES REQUIRED: 121
OTHER SPACES:				
MOTORCYCLE: 101-500 CAR SPACES = 4 SPACES				
BICYCLE: (1 PER EVERY 2 UNITS) 66 UNITS/2 = 33 REQUIRED				
SPACES PROVIDED:				
CAR SPACES:	129			
STANDARD:	82			
OFF-STREET:	55			
ON-STREET:	29			
COMPACT:	37			
OFF-STREET:	37			
ACCESSIBLE:	8			
OFF-STREET:	8			
OTHER OFF-STREET SPACES:				
MOTORCYCLE:	4			
BICYCLE:	28			
28 GROUND FLOOR STORAGE ROOMS & (2) 4-SPACE BIKE RACKS				



KEY PLAN

906 1/2 Park Avenue SW  
Albuquerque, NM 87102  
tel: 505.243.3499  
fax: 505.243.3583  
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Greater Albuquerque Housing Partnership  
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PROJECT ARCHITECT:  
BOB HALL, AIA

Project #:  
IDA-10-05-P

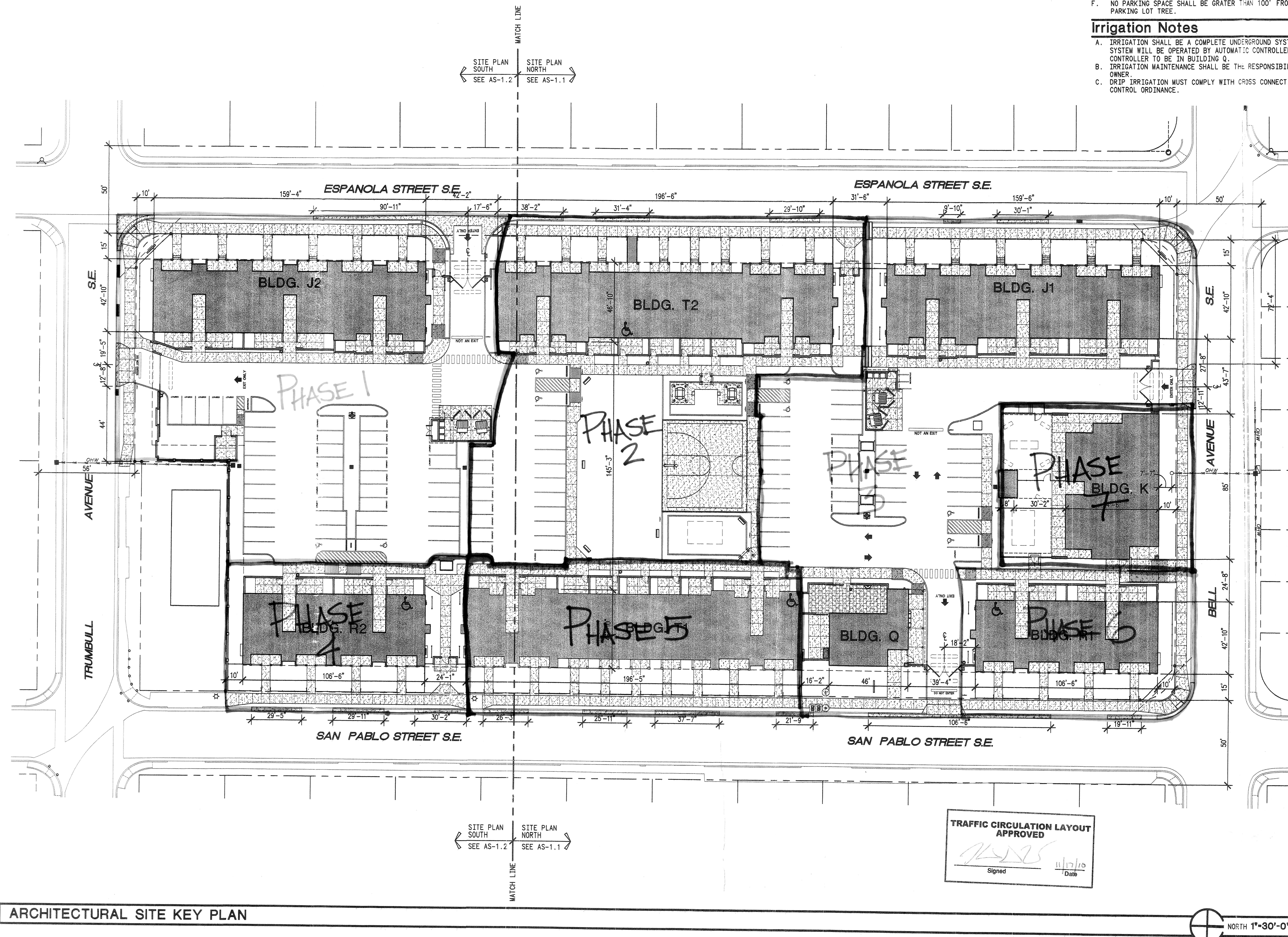
Date:  
October 18, 2010

Site Key Plan

By: C/C, LA  
File: AS-1.0 ARCH SITE PLAN.DWG  
Plot Date: 11/5/2010 11:38:25 AM

Sheet of  
AS-1.0

RECEIVED  
DEC 13 2011  
HYDROLOGY  
SECTION



ARCHITECTURAL SITE KEY PLAN

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed: [Signature]  
Date: 11/17/10