

CITY OF ALBUQUERQUE



April 27, 2017

Dave Aude
Design Group
120 Vassar Dr SE
Albuquerque, NM 87106

Re: Casa Feliz, 512 San Pablo St SE Building "C & D
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 8-25-16 (L19D073B)
Certification dated 04-24-17

Dear Mr. Aude,

Based upon the information provided in your submittal received 04-25-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz
Plan Checker, Transportation & Hydrology
Development Review Services

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

EMIL MANN ADDITION

**Traffic Circulation Layout
Certification (L19-D073C,
DRB#1010674, 16ZHE-80041)**

I, David A. Aubrey, NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc. hereby certify that portion of the project (Buildings C and D located at 418 San Pablo Street SE) is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout plan approved plan dated 8-25-16. The record information that has been edited onto the original design documents. I further certify that I have personally visited the project site on April 24, 2017 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for Building C and D located at 418 San Pablo Street, SE.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.



"RESERVED PARKING" SIGN (VAN ACCESSIBLE)

PROJECT TABULATED PARKING COUNTS

Building	Number of Units	Number of Bath	Req'd Parking	After Transit Reduction	On Site Parking	Off Site Parking	Total Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Req'd	Bicycle Provided
A	2	4	4	4	4	3	5.5	1	1	1	1	1	2
B	22	38	41	41	32	15	39.5	3	3	2	2	11	22
C,D	12	20	22	20	21	8	25	2	2	1	1	6	18
E,F,G	18	32	36	33	28	8	32	2	2	2	2	9	27
H	7	10	11	11	11	5	13.5	1	1	1	1	4	10
I	6	10	23	23	15	6	18	2	2	1	1	3	12
J	11	17	21	21	17	7	20.5	1	1	1	1	6	18
K	7	9	12	12	11	5	11.5	1	1	1	1	4	10
L	4	4	6	6	4	3	5.5	1	1	1	1	2	2
Total	89	144	176	171	143	60	173	14	14	11	11	46	118

- Notes:
1. Parking required 1 space per bath, but no less than 1.5 dwelling unit.
 2. Bicycle parking required, 1 per 2 dwelling units.
 3. Motorcycle parking required 1 space per 25 off street parking.
 4. HC at Community Bldg includes one HC stall inside and outside secure perimeter.

HATCH LEGEND

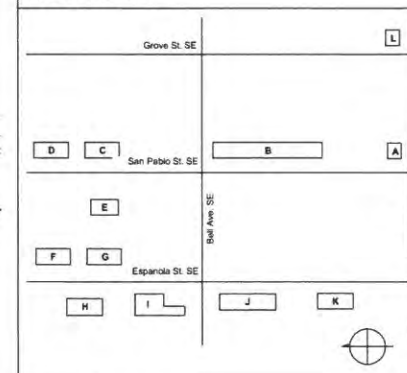
- LIGHT DUTY PARKING LOT
3" THICK GRAVEL PAVEMENT
- CONCRETE DRIVE PADS, VALLEY GUTTERS
AND SIDEWALKS.

- NOTES:
1. CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 3, SUBSECTION D-5. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 2. MINI CLEAR SIGHT TRIANGLE PER DPM CHAPTER 23, SECTION 6, SUBSECTION D.12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 3. ALL PARKING AREAS ARE SURROUNDED BY A 6" TALL HEADER CURB OR BY ELEVATED SIDEWALK 6" TALL.

TRAFFIC CIRCULATION
LAYOUT APPROVED
Monica Ortiz
Signature: _____ Date: _____

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

KEY PLAN



dg
THE HARTMAN + MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®
120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881
CONSULTANT

STAMP



100% CONSTRUCTION SET
PROJECT NAME:
CASA FELIZ

441 ESPANOLA STREET SE,
ALBUQUERQUE, NEW MEXICO 87108

GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

REVISIONS

NO.	DATE	DESCRIPTION
1	2.26.16	ASI 001

Copyright: Design Group

Drawn by: DAA
Checked by: DAA
Date: FEBRUARY 19, 2016
Project number: 2491

SHEET TITLE:
ENLARGED
TRAFFIC CIRCULATION
LAYOUT
BUILDINGS C AND D

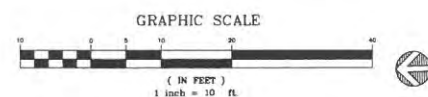
SHEET NUMBER

TCL - 5

P:\2491_Zasa Feliz\A0_Drawings\Civil\TCL01.dwg

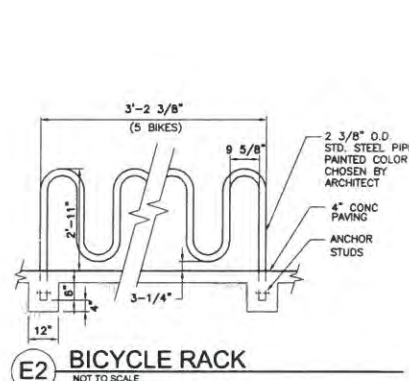
8/14/2016 8:13:40 AM

A1 ENLARGED TRAFFIC CIRCULATION LAYOUT - BUILDINGS C AND D
1" = 10'-0"



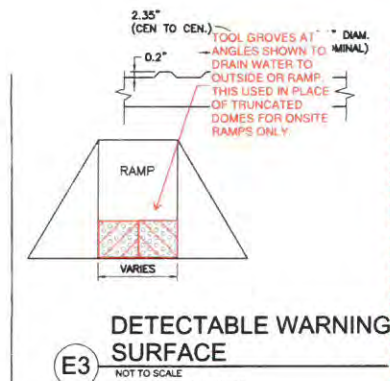


A2 VICINITY MAPS
SCALE: NOT TO SCALE

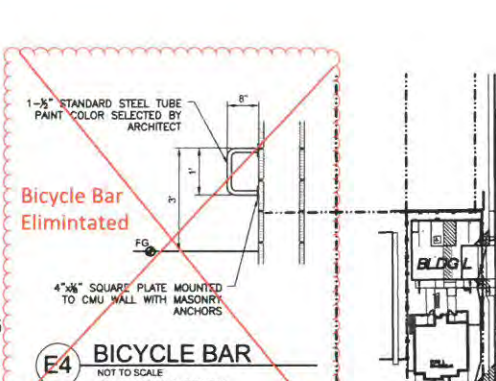


E2 BICYCLE RACK
NOT TO SCALE
SEE ENLARGES SHEETS FOR REQUIRED LOCATIONS

Bicycle racks increased to meet parking requirements.



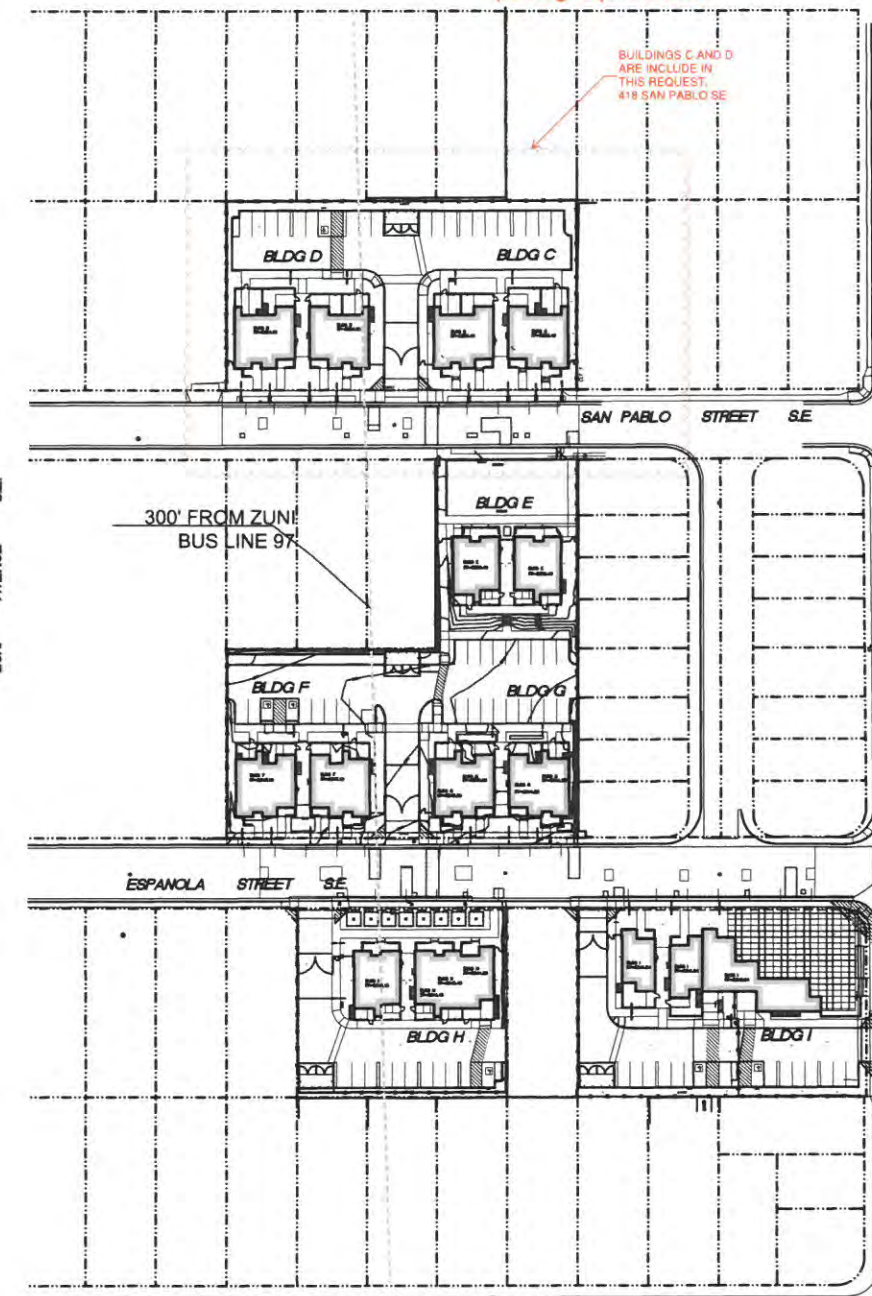
E3 DETECTABLE WARNING SURFACE
NOT TO SCALE
SEE ENLARGES SHEETS FOR REQUIRED LOCATIONS



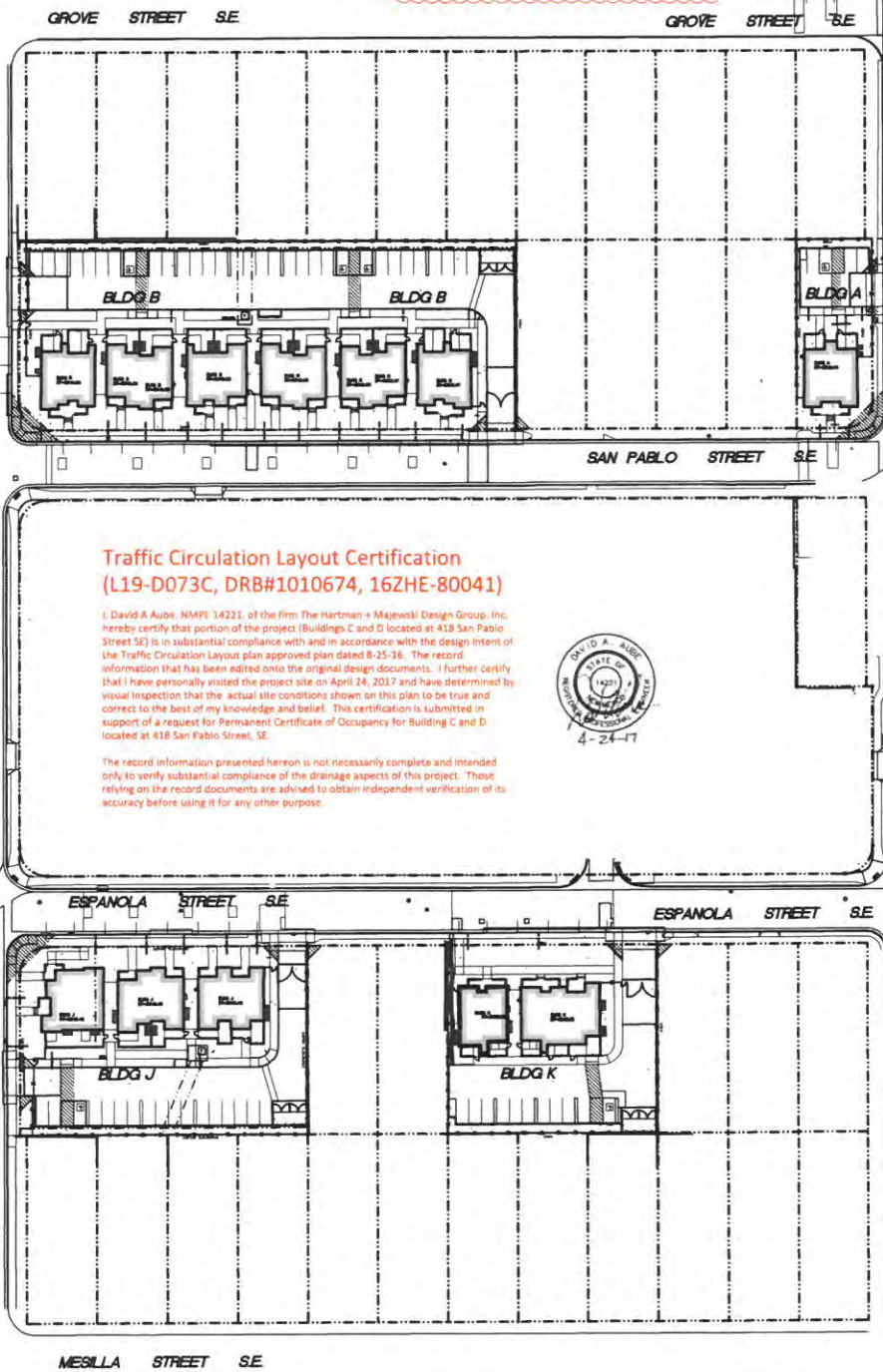
E4 BICYCLE BAR
NOT TO SCALE
SEE ENLARGES SHEETS FOR REQUIRED LOCATIONS

PROJECT TABULATED PARKING COUNTS												
Building	Number of Units	Number of Bath	Req'd Parking	After Transit Reduction	On Site Parking	Off Site Parking	Total Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Provided
A	2	4	4	4	4	3	5.5	1	1	1	1	1
B	22	38	41	41	32	15	39.5	3	3	2	2	11
C,D	12	20	22	20	21	8	25	2	2	1	1	6
E,F,G	18	32	36	33	28	8	32	2	2	2	2	9
H	7	10	11	11	11	5	13.5	1	1	1	1	4
I	6	10	23	23	15	6	18	2	2	1	1	3
J	11	17	21	21	17	7	20.5	1	1	1	1	6
K	7	9	12	12	11	5	13.5	1	1	1	1	4
L	4	4	6	6	4	3	5.5	1	1	1	1	2
Total	89	144	176	171	143	60	173	14	14	11	11	46

- Notes:
1. Parking required 1 space per bath, but no less than 1.5 dwelling unit.
 2. Bicycle parking required, 1 per 2 dwelling units.
 3. Motorcycle parking required 1 space per 25 off street parking.
 4. HC at Community Bldg includes one HC stall inside and outside secure perimeter.



A1 OVERALL TRAFFIC CIRCULATION LAYOUT
1" = 50'



MESILLA STREET SE

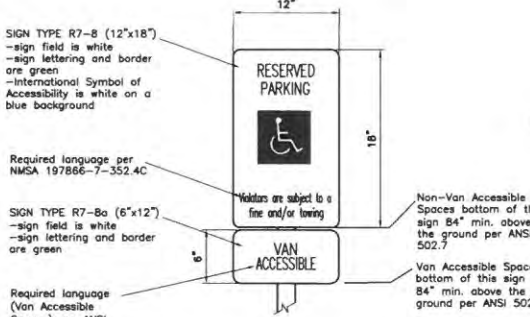
TRAFFIC CIRCULATION LAYOUT APPROVED
Monica Ortiz
Signed: _____ Date: _____

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES

PROJECT TABULATED PARKING COUNTS

Building	Number of Units	Number of Bath	Req'd Parking	After Transit Reduction	On Site Parking	Off Site Parking	Total Provided	HC Req'd	HC Provided	MC Req'd	MC Provided	Bicycle Provided
A	2	4	4	4	4	3	5.5	1	1	1	1	1
B	22	38	41	41	32	15	39.5	3	3	2	2	11
C,D	12	20	22	20	21	8	25	2	2	1	1	6
E,F,G	18	32	36	33	28	8	32	2	2	2	2	9
H	7	10	11	11	11	5	13.5	1	1	1	1	4
I	6	10	23	23	15	6	18	2	2	1	1	3
J	11	17	21	21	17	7	20.5	1	1	1	1	6
K	7	9	12	12	11	5	13.5	1	1	1	1	4
L	4	4	6	6	4	3	5.5	1	1	1	1	2
Total	89	144	176	171	143	60	173	14	14	11	11	46

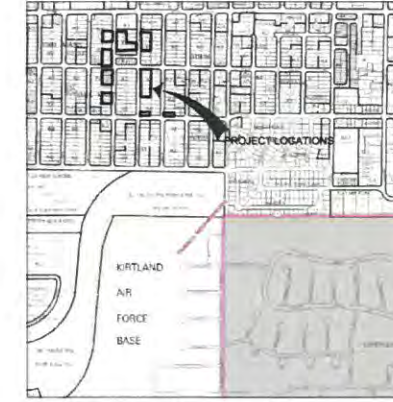
- Notes:
1. Parking required 1 space per bath, but no less than 1.5 dwelling unit.
 2. Bicycle parking required, 1 per 2 dwelling units.
 3. Motorcycle parking required 1 space per 25 off street parking.
 4. HC at Community Bldg includes one HC stall inside and outside secure perimeter.



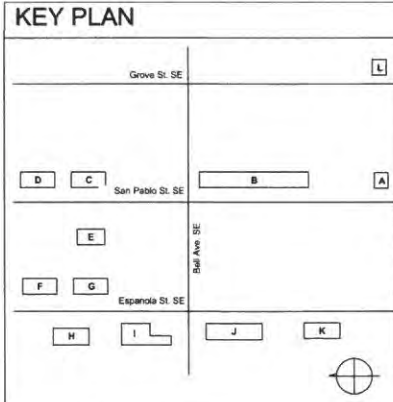
D5 RESERVED PARKING SIGNS
NOT TO SCALE

ADD ADDITIONAL SIGN BELOW RESERVED PARKING SIGN OR VAN ACCESSIBLE SIGN THAT READS "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"

ACCESS AISLES AT ADA PARKING SPACES THAT BE LABELED WITH "NO PARKING"



A4 L-19-Z ZONE ATLAS PAGE
SCALE: NOT TO SCALE



KEY PLAN

STAMP

100% CONSTRUCTION SET

PROJECT NAME
CASA FELIZ

441 ESPANOLA STREET SE,
ALBUQUERQUE, NEW MEXICO 87108

GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

REVISIONS		
NO.	DATE	DESCRIPTION
1	2.26.16	AST 001

Copyright: Design Group

Drawn by: DAA

Checked by: DAA

Date: FEBRUARY 10, 2016

Project number: 2491

SHEET TITLE

OVERALL TRAFFIC
CIRCULATION LAYOUT

SHEET NUMBER

TCL-1