

# CITY OF ALBUQUERQUE



May 18, 2017

David Aube, P.E.  
Hartman + Majewski Design Group  
120 Vassar Dr. SE, Suite 100  
Albuquerque, NM 87106

**Re: Gahp Casa Feliz, 429 San Pablo And 416 Espanola BLDG F, G, H**  
**Request for Certificate of Occupancy- Transportation Development**  
Engineer's Stamp dated 8-25-16 (L19D073E)  
Certification dated 4-24-17

Dear Mr. Aube,

Based upon the information provided in your submittal received 5-17-17,  
Transportation Development has no objection to the issuance of a Permanent  
Certificate of Occupancy. This letter serves as a "green tag" from Transportation  
Development for a Permanent Certificate of Occupancy to be issued by the Building  
and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Monica Ortiz  
Plan Checker, Transportation & Hydrology  
Development Review Services

MA/MO via: email  
C: CO Clerk, File

Zuni Rt on Espanola

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GAHP Casa Feliz

DRB #: \_\_\_\_\_

EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: L19-Z

WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 13-18, 18-20 Block 4, Lots 4-8, 17-18 Block 5, etc. Emil Mann Addition

CITY ADDRESS: 429 San Pablo and 416 Espanola L19D073E

ENGINEERING FIRM: Hartman + Majewski Design Group

ADDRESS: 120 Vassar Dr SE, Suite 100

CITY, STATE: Albuquerque, NM 87106

CONTACT: David Aube

PHONE: 505-998-6430

ZIP CODE: 87106

OWNER: Greater Albuquerque Housing Partnership

ADDRESS: 320 Gold SW, Suite 918

CITY, STATE: Albuquerque, NM

CONTACT: Felipe Rael

PHONE: 505-244-1614

ZIP CODE: 87102

ARCHITECT: Hartman + Majewski Design Group

ADDRESS: 120 Vassar Dr SE, Suite 100

CITY, STATE: Albuquerque, NM

CONTACT: Mark Wade

PHONE: 505-998-6442

ZIP CODE: 87106

SURVEYOR: SurvTek

ADDRESS: \_\_\_\_\_

CITY, STATE: Albuquerque, NM

CONTACT: Russ Hugg

PHONE: 505-897-3366

ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

ZIP CODE: \_\_\_\_\_

### CHECK TYPE OF SUBMITTAL:

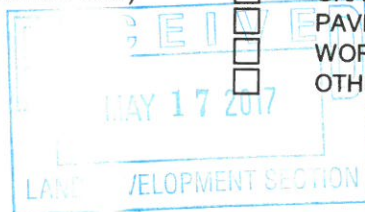
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: May 17, 2017

BY: David Aube P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





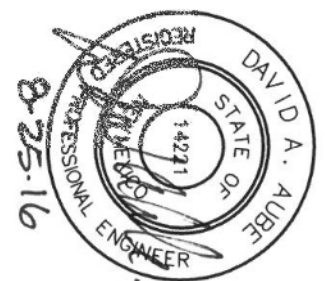




THE HARTMAN + MAJEWSKI  
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Planners • Urban Designers • LEED®  
120 VASSEGAT DRIVE, SUITE 100  
ALBUQUERQUE, NEW MEXICO 87106  
T 505.242.8880 • F 505.242.6881

CONSULTANT

STAMP



100% CONSTRUCTION SET  
PROJECT NAME  
CASA FELIZ

441 ESPANOLA STREET SE.  
ALBUQUERQUE, NEW MEXICO 87108

GREATER ALBUQUERQUE  
HOUSING PARTNERSHIP

REVISIONS

| NO. | DATE    | DISCUSSION |
|-----|---------|------------|
| 1   | 2.26.16 | AS1.001    |
|     |         |            |
|     |         |            |
|     |         |            |
|     |         |            |
|     |         |            |

Copyright: Design Group

|                |                   |
|----------------|-------------------|
| Drawn by       | DAA               |
| Checked by     | DAA               |
| Date           | FEBRUARY 19, 2016 |
| Project number | 2491              |

SHEET TITLE  
ENLARGED  
TRAFFIC CIRCULATION  
LAYOUT  
BUILDING E

SHEET NUMBER

TCL - 6

PROJECT TABULATED PARKING COUNTS

| Building of Units | Number of Bath | Number Red'd | After   |         | Total    |          | HC  | MC | MC | Bicycle | Bicycle |
|-------------------|----------------|--------------|---------|---------|----------|----------|-----|----|----|---------|---------|
|                   |                |              | Transit | On Site | Off Site | provided |     |    |    |         |         |
| A                 | 2              | 2            | 4       | 4       | 3        | 5.5      | 1   | 1  | 1  | 1       | 2       |
| B                 | 22             | 38           | 41      | 4       | 32       | 35       | 3   | 2  | 2  | 16      | 18      |
| C1                | 12             | 20           | 22      | 20      | 21       | 8        | 25  | 2  | 1  | 6       | 22      |
| E1-G              | 18             | 32           | 35      | 28      | 8        | 32       | 2   | 2  | 2  | 9       | 27      |
| H                 | 2              | 10           | 22      | 15      | 6        | 13.5     | 2   | 1  | 1  | 4       | 10      |
| I                 | 6              | 10           | 22      | 15      | 6        | 13.5     | 1   | 1  | 1  | 3       | 12      |
| J                 | 15             | 17           | 21      | 17      | 7        | 20.5     | 1   | 2  | 1  | 6       | 10      |
| K                 | 7              | 9            | 12      | 12      | 5        | 13.5     | 1   | 1  | 1  | 4       | 10      |
| L                 | 4              | 4            | 6       | 4       | 3        | 5.5      | 1   | 1  | 1  | 2       | 2       |
| Total             | 89             | 144          | 176     | 171     | 143      | 60       | 173 | 14 | 11 | 46      | 113     |

- Notes:
- Parking required 1 space per bath, but no less than 1.5 dwelling unit.
  - Bicycle parking required, 1 per 2 dwelling units.
  - Motorcycle parking required 1 space per 25 of street parking.
  - HC at Community Bldg includes one HC stall inside and outside secure perimeter.

HATCH LEGEND

- Light duty parking lot  
3" thick gravel pavement
- Concrete drive pads, valley gutters  
and sidewalks.

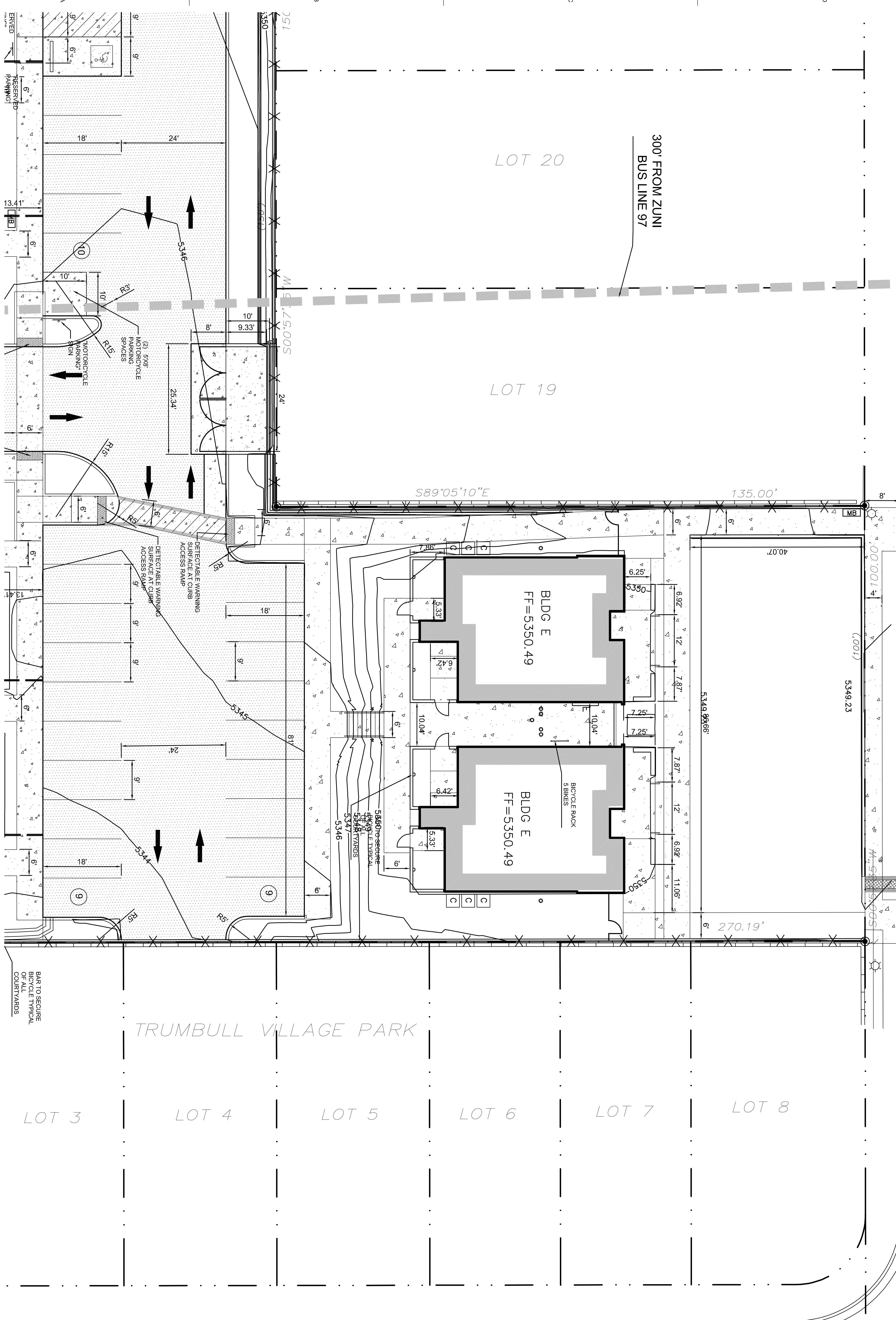
TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Monica Ortiz  
Professional Engineer  
New Mexico State License No. 14568  
Signed: Date:

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOWNS.

KEY PLAN

|              |   |                  |   |
|--------------|---|------------------|---|
| Grove St. SE |   | L                |   |
| D            | C | San Pablo St. SE | B |
| E            |   |                  | A |
| F            | G | Esplanade St. SE | J |
| H            | I | Bell Ave. SE     | K |
|              |   | Trumbull Ave. SE |   |

50' ROW  
SAN PABLO STREET  
S.E.

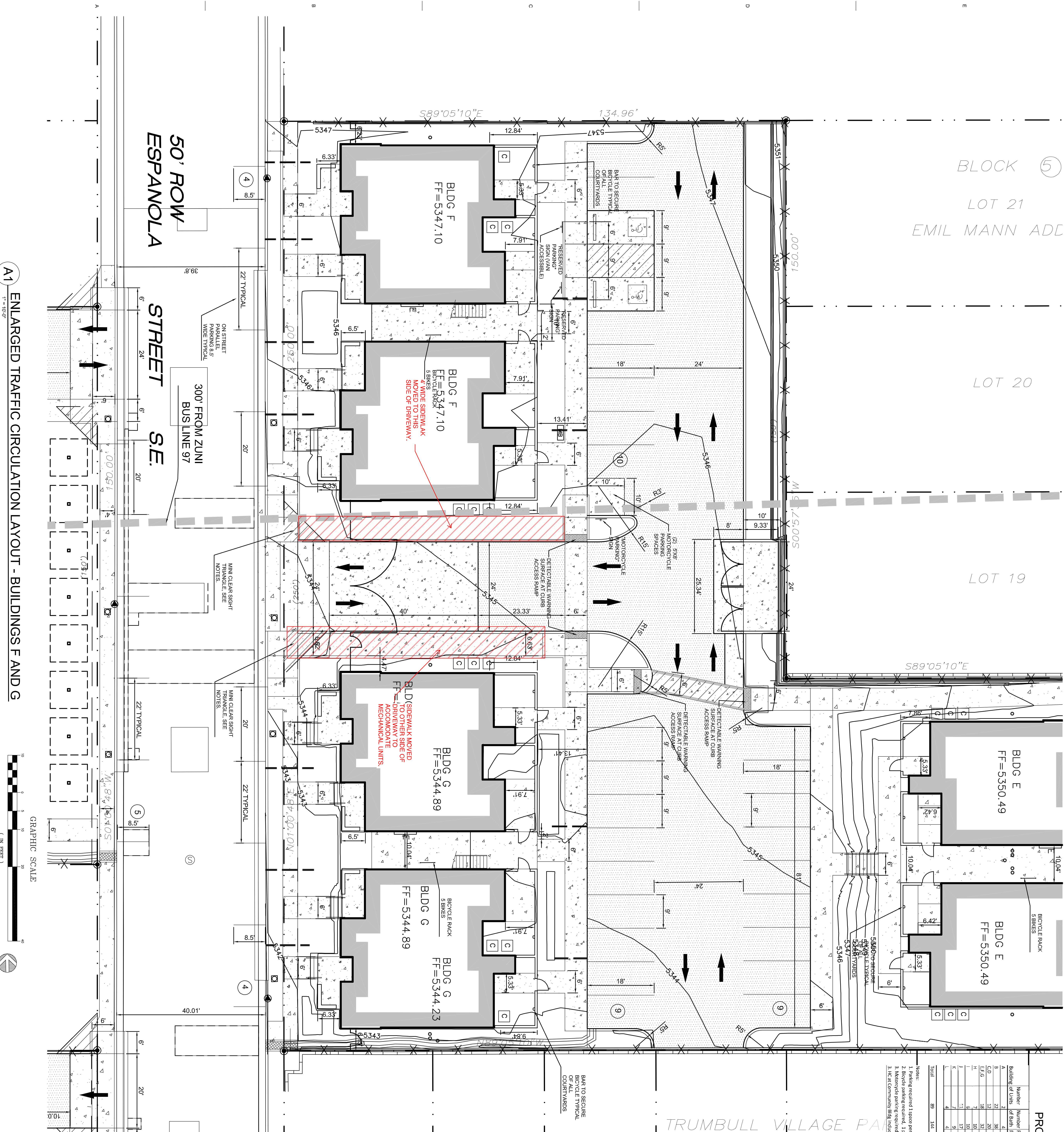


A1 ENLARGED TRAFFIC CIRCULATION LAYOUT - BUILDING E

GRAPHIC SCALE  
( IN FEET )  
1 inch = 10' ft.







## PROJECT TABULATED PARKING COUNTS

| Building of units | Number of units | Bed | Transit | On-Site Off-Street | Total   |         | IC   | MC | MC | Booths | Booths |     |
|-------------------|-----------------|-----|---------|--------------------|---------|---------|------|----|----|--------|--------|-----|
|                   |                 |     |         |                    | Parking | Parking |      |    |    |        |        |     |
| A                 | 2               | 4   |         | 4                  | 4       | 3       | 5.5  | 1  | 1  | 1      | 1      | 2   |
| B                 | 22              | 38  | 41      | 41                 | 32      | 15      | 39.5 | 3  | 2  | 2      | 11     | 22  |
| C,D               | 20              | 22  | 22      | 20                 | 21      | 8       | 29   | 2  | 2  | 1      | 6      | 18  |
| E,F,G             | 18              | 32  | 36      | 33                 | 28      | 6       | 34   | 2  | 2  | 2      | 9      | 27  |
| H                 | 16              | 10  | 10      | 10                 | 10      | 1       | 18   | 1  | 1  | 1      | 3      | 12  |
| I                 | 1               | 22  | 22      | 21                 | 17      | 7       | 20.5 | 1  | 1  | 1      | 6      | 10  |
| J                 | 1               | 9   | 12      | 12                 | 11      | 5       | 13.5 | 1  | 1  | 1      | 4      | 10  |
| K                 | 4               | 4   | 6       | 6                  | 4       | 3       | 5.5  | 1  | 1  | 1      | 1      | 2   |
| L                 | 4               | 4   | 6       | 6                  | 4       | 3       | 5.5  | 1  | 1  | 1      | 1      | 2   |
| Total             | 89              | 144 | 176     | 171                | 148     | 60      | 173  | 14 | 14 | 11     | 46     | 113 |

Notes:

1. Garage enclosed 1. Garage open but no less than 1.5 dwelling units.
2. Booths include enclosed 1. Open 2. Dwelling units.
3. Wherever parking required 1 space per 25 of street parking.
4. IC at Community Hall includes one IC stall inside and outside secure perimeter.

1. Parking required 1 space per bath, but no less than 1.5 dwelling unit.
2. Bicycle parking required, 1 per 2 dwelling units.
3. Motorcycle parking required 1 space per .25 off street parking.
3. HC at Community Bldg. includes one HC stall inside and outside secure perimeter

## PROJECT TABULATED PARKING COUNTS

### HATCH LEGEND

LIGHT DUTY PARKING LOT  
3" THICK GRAVEL PAVEMENT

CONCRETE DRIVE PADS, VALLEY GUTTERS  
AND SIDEWALKS.

GREATER ALBUQUERQUE  
HOUSING PARTNERSHIP

441 ESPANOLA STREET SE,  
ALBUQUERQUE, NEW MEXICO 87108

100% CONSTRUCTION SET  
PROJECT NAME  
CASA FELIZ



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## KEY PLAN

|                               |                  |        |
|-------------------------------|------------------|--------|
|                               | Grove St SE      |        |
| D<br>C<br><br>San Pablo St SE | Bell Ave. SE     | A<br>B |
| E<br>G<br><br>Epiphany St SE  |                  | J<br>K |
| H<br>I                        |                  |        |
|                               | Trumbull Ave. SE |        |

[illegible]

SHEET TITLE  
ENLARGED  
TRAFFIC CIRCULATION  
LAYOUT  
BUILDINGS F AND G

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SHEET NUMBER

SHEET NUMBER

# TCL-7