

# CITY OF ALBUQUERQUE



Aug 23, 2017

David Aube, PE  
Hartman + Majewski Design Group  
120 Vassar Dr. SE Suite 100  
Albuquerque, NM 87106

**Re: GAHP Casa Feliz  
421 Espanola Street SE  
Requested for Permanent C. O. – Accepted  
Engineers Stamp Date 12/18/15 (L19D073F)  
Certification dated: 8/16/17**

Dear Mr. Aube,

Based on the certification provided in your submittal received 8/16/2017, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

NM 87103

James D. Hughes, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

www.cabq.gov

DH

C: e-mail      Serna, Yvette; Fox, Debi; Tena, Victoria; Sandoval, Darlene M.

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GAHP Casa Feliz (L19D073F)  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_

ZONE MAP/DRG. FILE #: L-19-Z  
WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 13-18, 18-20 Block 4, Lots 4-8, 17-18 Block 5, etc. Emil Mann Addition  
CITY ADDRESS: Bldg H at 421 Espanola SE

ENGINEERING FIRM: Hartman + Majewski Design Group  
ADDRESS: 120 Vassar Dr SE, Suite 100  
CITY, STATE: Albuquerque, NM 87106

CONTACT: David Aube  
PHONE: 505-998-6430  
ZIP CODE: 87106

OWNER: Greater Albuquerque Housing Partnership  
ADDRESS: 320 Gold SW, Suite 918  
CITY, STATE: Albuquerque, NM

CONTACT: Felipe Rael  
PHONE: 505-244-1614  
ZIP CODE: 87102

ARCHITECT: Hartman + Majewski Design Group  
ADDRESS: 120 Vassar Dr SE, Suite 100  
CITY, STATE: Albuquerque, NM

CONTACT: Mark Wade  
PHONE: 505-998-6442  
ZIP CODE: 87106

SURVEYOR: Community Sciences  
ADDRESS: \_\_\_\_\_  
CITY, STATE: Albuquerque, NM

CONTACT: \_\_\_\_\_  
PHONE: 505-  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, ***REQUIRES TCL or equal***
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

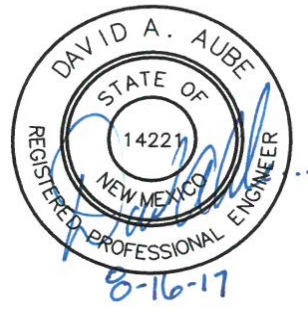
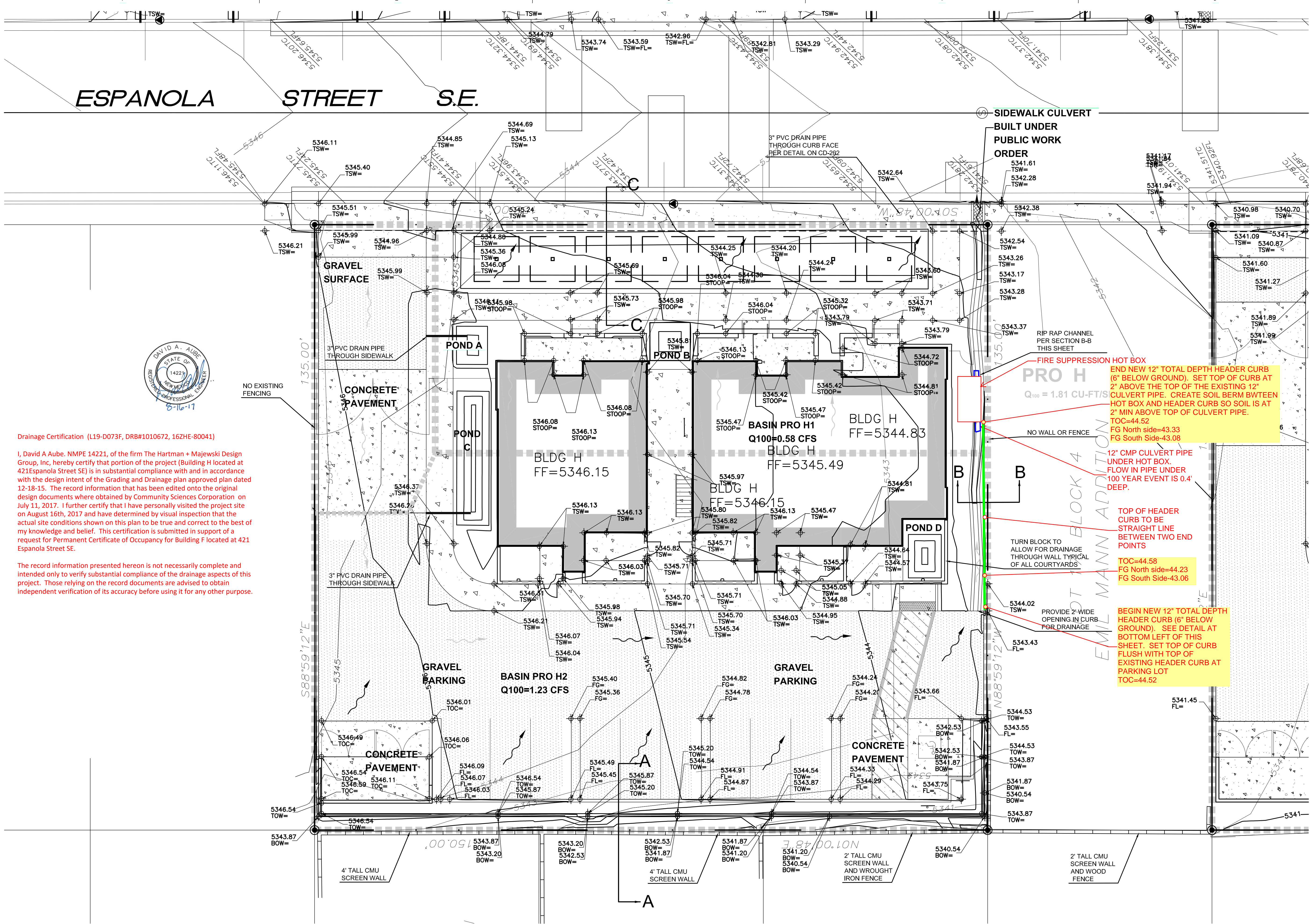
DATE SUBMITTED: August 16, 2017

BY: David Aube P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



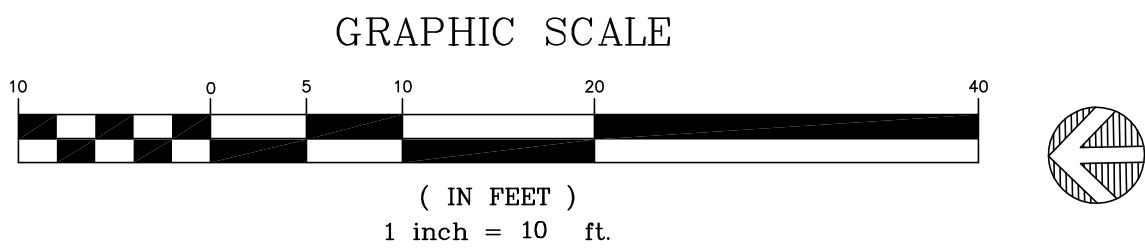


Drainage Certification (L19-D073F, DR#H1010672, 162HE-80041)

I, David A. Aubé, NMPE 14221, of the firm The Hartman + Majewski Design Group, Inc. hereby certify that portion of the project (Building H located at 421 Espanola Street SE) is in substantial compliance with and in accordance with the design intent of the Grading and Drainage plan approved dated 12-18-15. The record information that has been edited onto the original design documents were obtained by Community Sciences Corporation on July 11, 2017. I further certify that I have personally visited the project site on August 16th, 2017 and have determined by visual inspection that the actual site conditions shown on this plan to be true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certificate of Occupancy for Building F located at 421 Espanola Street SE.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the drainage aspects of this project. Those relying on the record documents are advised to obtain independent verification of its accuracy before using it for any other purpose.

**A1 ENLARGED SITE DRAINAGE PLAN - BUILDING H**  
1" = 10'-0"



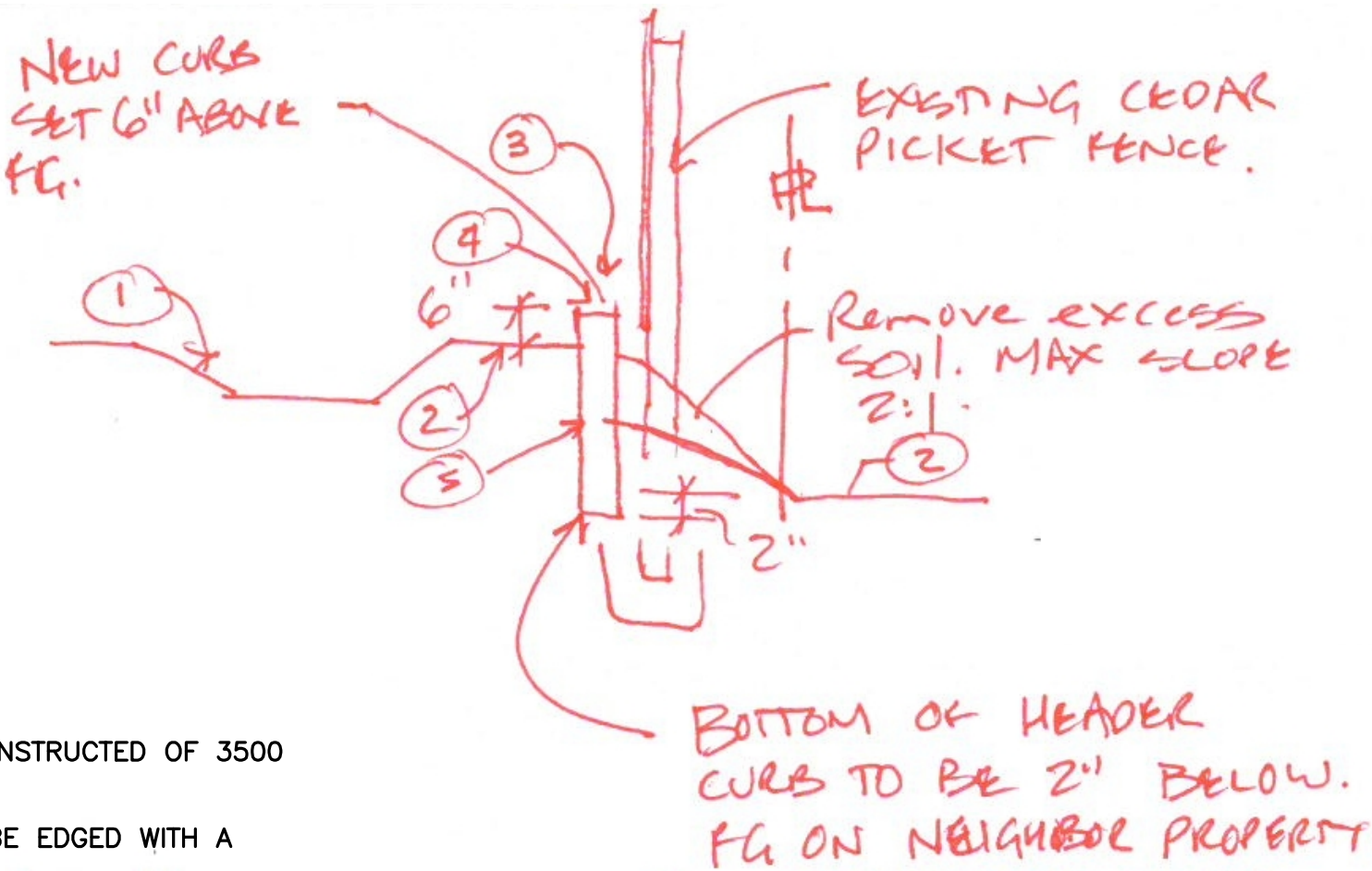
**KEYED NOTES:**

1. GRAVEL SWALE PER PLANS AND SPECS.
2. FINISHED GRADE.
3. SMOOTH RUBBED FINISH.
4. 3/4" RADIUS.
5. CONCRETE CURB

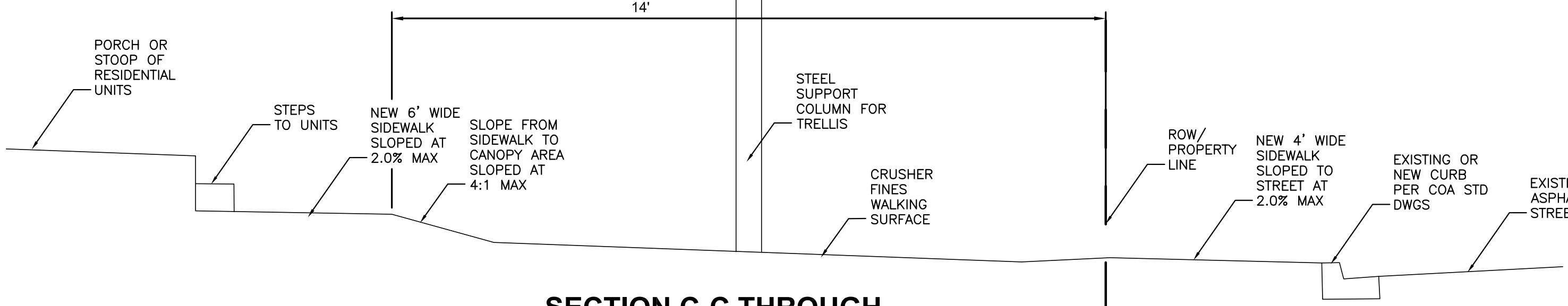
**CURB & GUTTER CONSTRUCTION NOTES:**

- A. CURBS, GUTTERS & CUT-OFF WALLS TO BE CONSTRUCTED OF 3500 PSI P.C.C. UNLESS OTHERWISE NOTED.
- B. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.

**HEADER CURB DETAIL AT SWALE**  
NOT TO SCALE

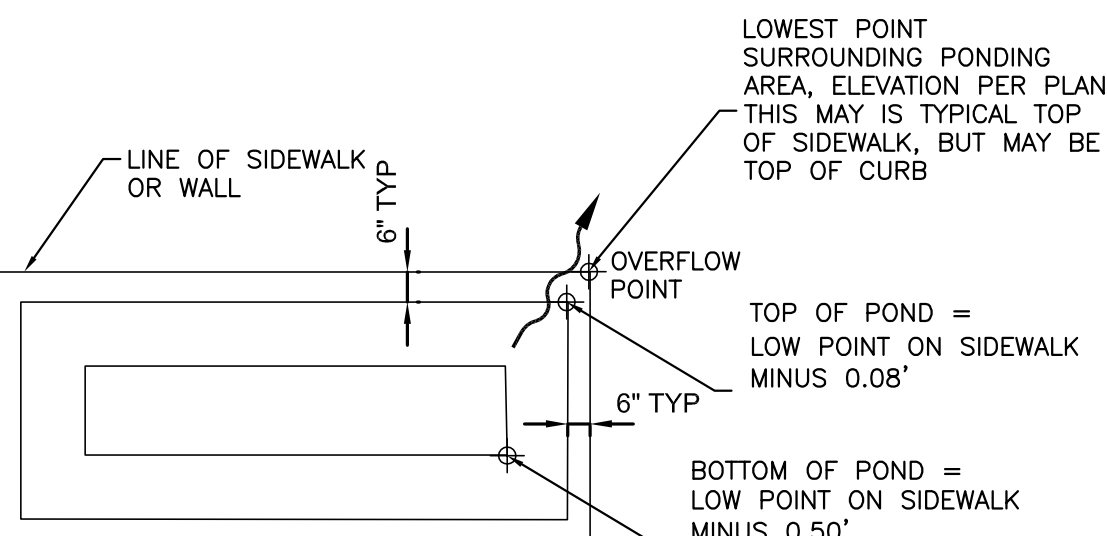


**SECTION C-C THROUGH TRELLIS STRUCTURE**  
NOT TO SCALE



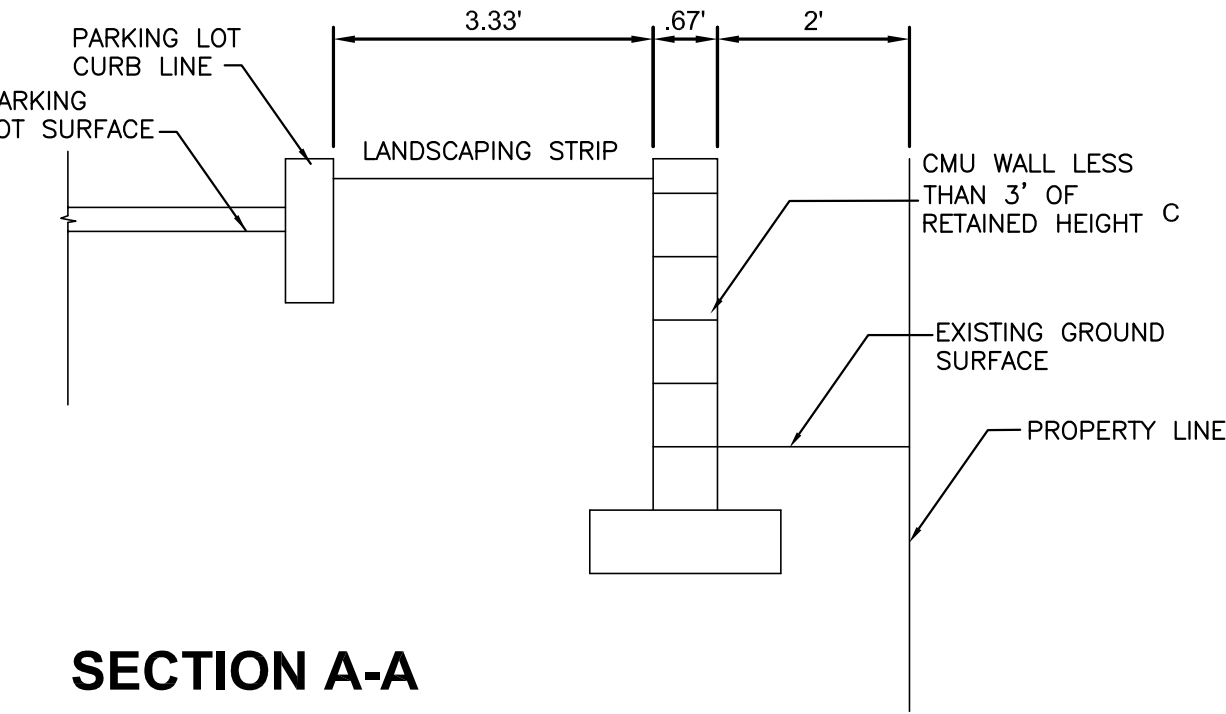
**DRAINAGE PLAN GENERAL NOTES**

- SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- SEE SHEET CD-202 FOR 3" PVC DRAINAGE PIPES THROUGH SIDEWALKS AND UNDER SIDEWALKS THROUGH CITY CURB FACE.

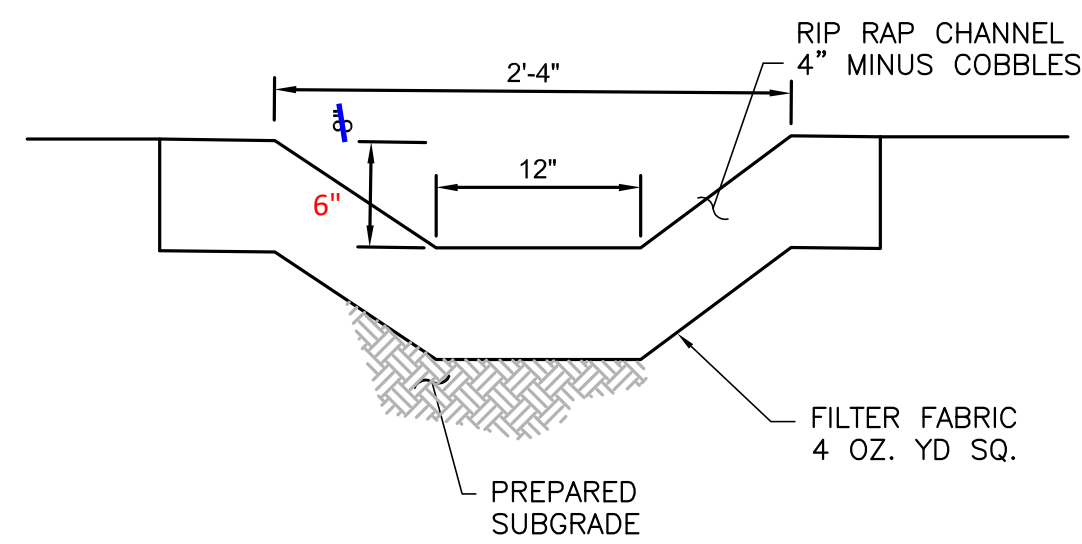


**TYPICAL POND DETAIL**  
NOT TO SCALE

BUILDING H				
POND	LOWEST POINT ON CURBOR TSW	TOP ELEV	BOTTOM ELEV	
A	5345.90	5345.96	5345.82	5344.75 5345.40
B	5344.30	5344.68	5344.22	5343.78 5343.80
C	5345.98	5345.90		5345.48
D	5344.16	5344.08		5343.66

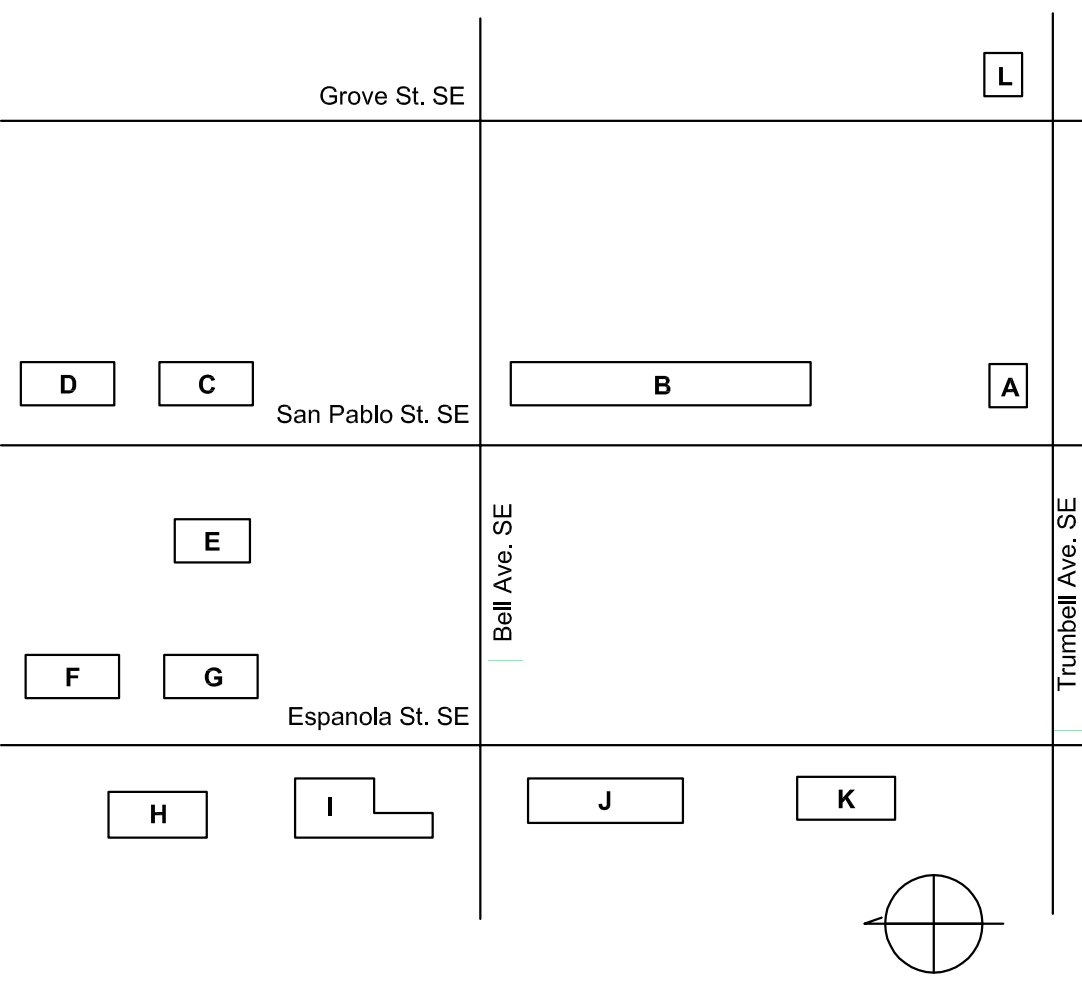


**SECTION A-A**  
NOT TO SCALE



**RIP-RAP CHANNEL SECTION B-B**  
NOT TO SCALE

**KEY PLAN**



STAMP



100% CONSTRUCTION DOCUMENTS

PROJECT NAME  
CASA FELIZ

441 ESPANOLA STREET SE,  
ALBUQUERQUE, NEW MEXICO 87108

GREATER ALBUQUERQUE  
HOUSING PARTNERSHIP

**REVISIONS**

NO.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by: DAA  
Checked by: DAA  
Date: OCTOBER 19, 2015  
Project number: 2491

SHEET TITLE

**ENLARGED  
SITE DRAINAGE PLAN**

**BUILDING H**

SHEET NUMBER

**CD-208**