

CITY OF ALBUQUERQUE



September 25, 2017

David Aube, PE
Hartman + Majewski Design Group
120 Vassar Dr. SE Suite 100
Albuquerque, NM 87106

**Re: GAHP Casa Feliz
511 Espanola Street SE
Request Modified Grading Plan Approved
Engineers Stamp Date 9/13/2017 (L19D073H)**

Dear Mr. Aube,

Based on the Modified Grading Plan submittal received 9/25/2017, the Modified G&D Plan is approved for Building Permit in order to construct the wall as shown on the plan.

The contractor should obtain written permission from the property owner prior to construction.

Please provide an Engineer's Certification after the wall is constructed so this project can be closed out.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

JH
C: email

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Casa Feliz

DRB #: _____

EPC#: _____

ZONE MAP/DRG. FILE #: L19Z
WORK ORDER#: _____

L19D0734

LEGAL DESCRIPTION: Lot 13-18, 18-20 Block 4, Lots 4-8, 17-18 Block 5, etc. Emil Mann Addition
CITY ADDRESS: Bldg J at 511 Espanola SE

ENGINEERING FIRM: Hartman + Majewski Design Group
ADDRESS: 120 Vassar Dr SE, Suite 100
CITY, STATE: Albuquerque, NM 87106

CONTACT: David Aube
PHONE: 505-998-6430
ZIP CODE: 87106

OWNER: Greater Albuquerque Housing Partnership
ADDRESS: 320 Gold SW, Suite 918
CITY, STATE: Albuquerque, NM

CONTACT: Felipe Rael
PHONE: 505-244-1614
ZIP CODE: 87102

ARCHITECT: Hartman + Majewski Design Group
ADDRESS: 120 Vassar Dr SE, Suite 100
CITY, STATE: Albuquerque, NM

CONTACT: Mark Wade
PHONE: 505-998-6442
ZIP CODE: 87106

SURVEYOR: Community Sciences.
ADDRESS: _____
CITY, STATE: Albuquerque, NM

CONTACT: _____
PHONE: 505-
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____



CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER *Amend Approved Plan*

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: September 22, 2017

BY: David Aube P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



THE HARTMAN • MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP



100% CONSTRUCTION
DOCUMENTS

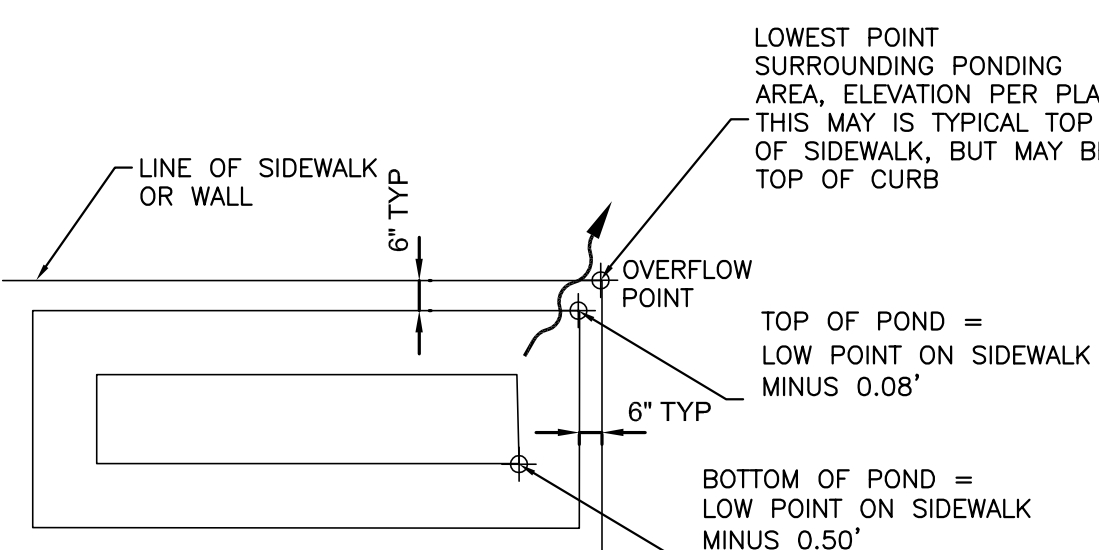
PROJECT NAME
CASA FELIZ

441 ESPANOLA STREET SE,
ALBUQUERQUE, NEW MEXICO 87108

GREATER ALBUQUERQUE
HOUSING PARTNERSHIP

DRAINAGE PLAN GENERAL NOTES

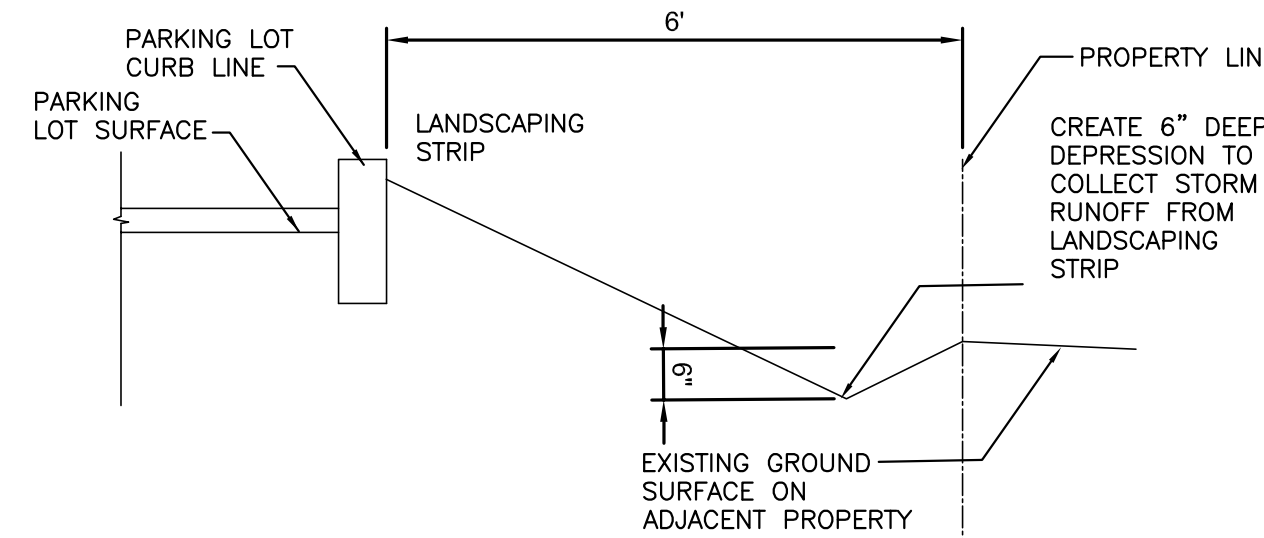
- SEE SHEET CG001 FOR COMPLETE LIST OF GENERAL NOTES AND SYMBOL/LINETYPE LEGEND THAT APPLY TO ALL SHEETS.
- SEE SHEET CD-202 FOR 3" PVC DRAINAGE PIPES THROUGH SIDEWALKS AND UNDER SIDEWALKS THROUGH CITY CURB FACE.



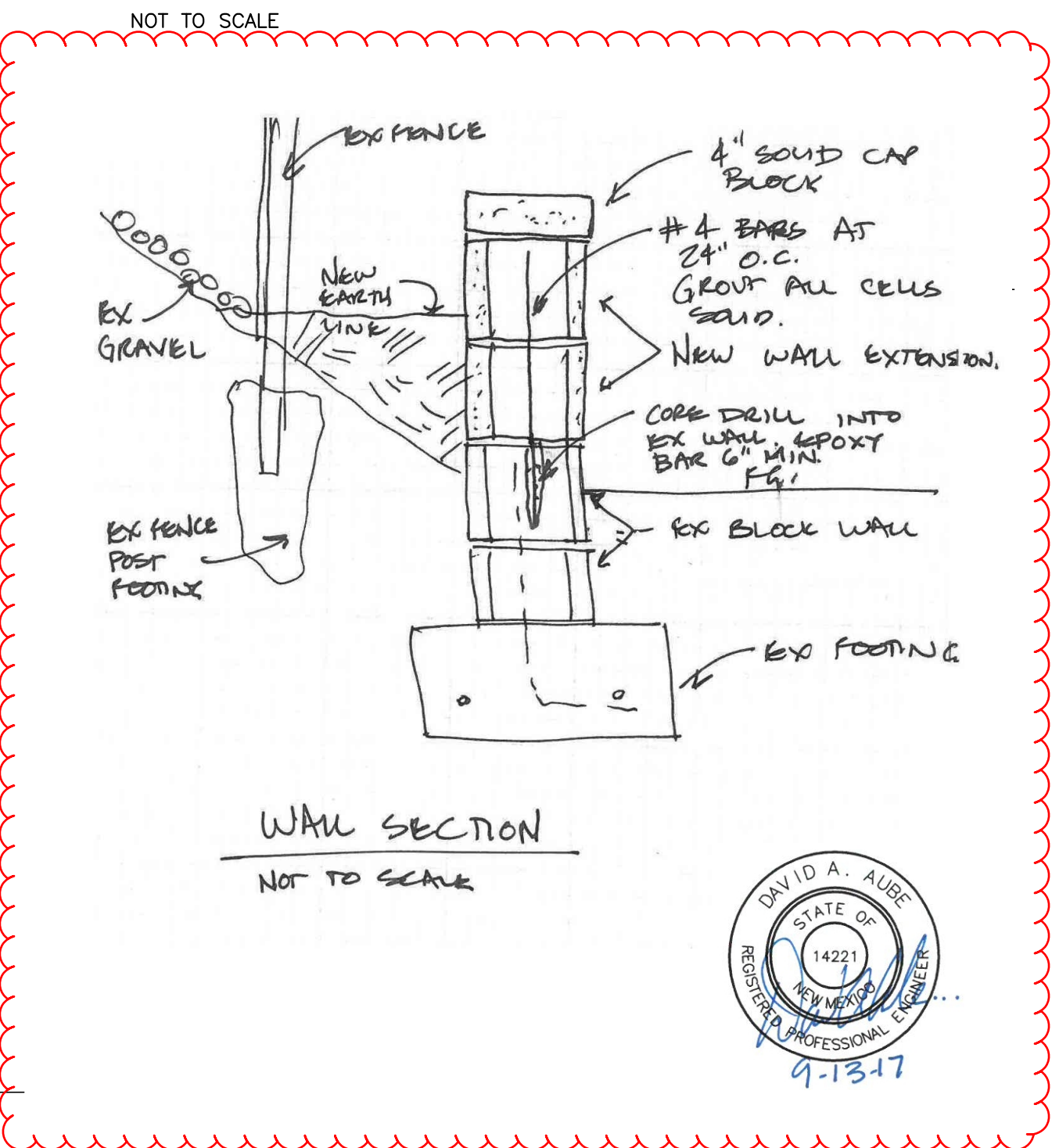
TYPICAL POND DETAIL

NOT TO SCALE

BUILDING J			
POND	LOWEST POINT ON CURB OR TSW	TOP ELEV	BOTTOM ELEV
A	5339.38	5339.46	5339.30
B	5339.67	5339.60	5339.59
C	5339.78	5339.70	5339.70
D	5339.93	5339.77	5339.85
E	5340.10	5339.85	5340.02
F	5338.17	5338.44	5338.09
G	5337.47	5337.95	5337.39
H	5338.50	5338.90	5338.42
I	5339.55	5339.47	5339.05
J	5339.93	5340.14	5339.85



SECTION A-A



REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

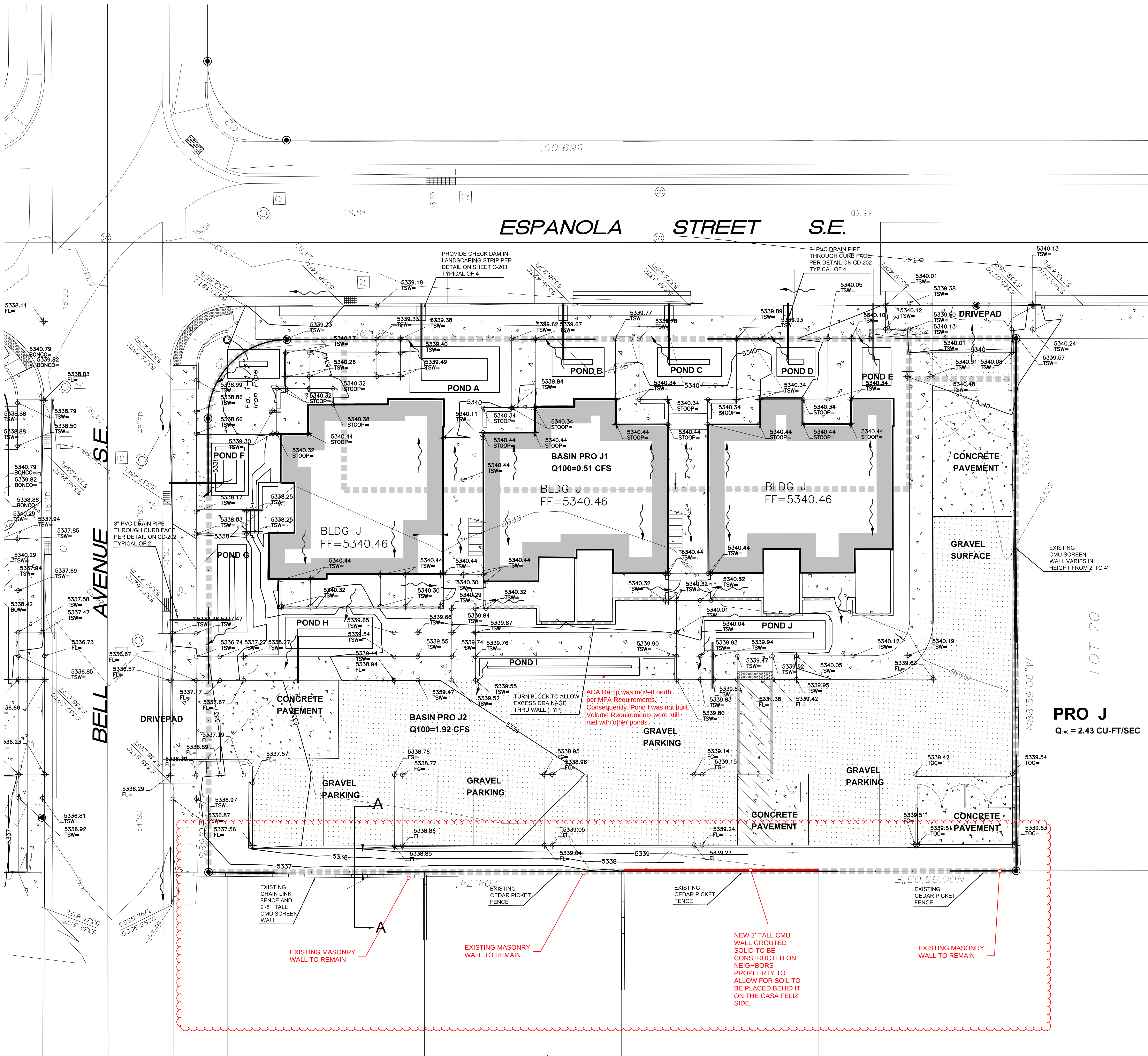
Drawn by: DAA
Checked by: DAA
Date: OCTOBER 19, 2015
Project number: 2491

SHEET TITLE
ENLARGED
SITE DRAINAGE PLAN

BUILDING J

SHEET NUMBER

CD-210



A1 ENLARGED SITE DRAINAGE PLAN - BUILDING J
1" = 10'-0"

