

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 13, 2025

Stephen Marcum
Skyline Civil Group
4414 82nd Street STE 212-140
Lubbock, TX 79424

**RE: McDonallds
301 Eubank Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date: 8/13/2025
Hydrology File: L20D004A
Case # HYDR-2025-00287**

Dear Mr. Marcum:

Based upon the information provided in your submittal received 08/13/2025, the Grading & Drainage Plan is approved for Building Permit, Grading Permit, and SO19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Please note that a Pad Certification is not required for this site.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "Bernalillo County" for the detention pond per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

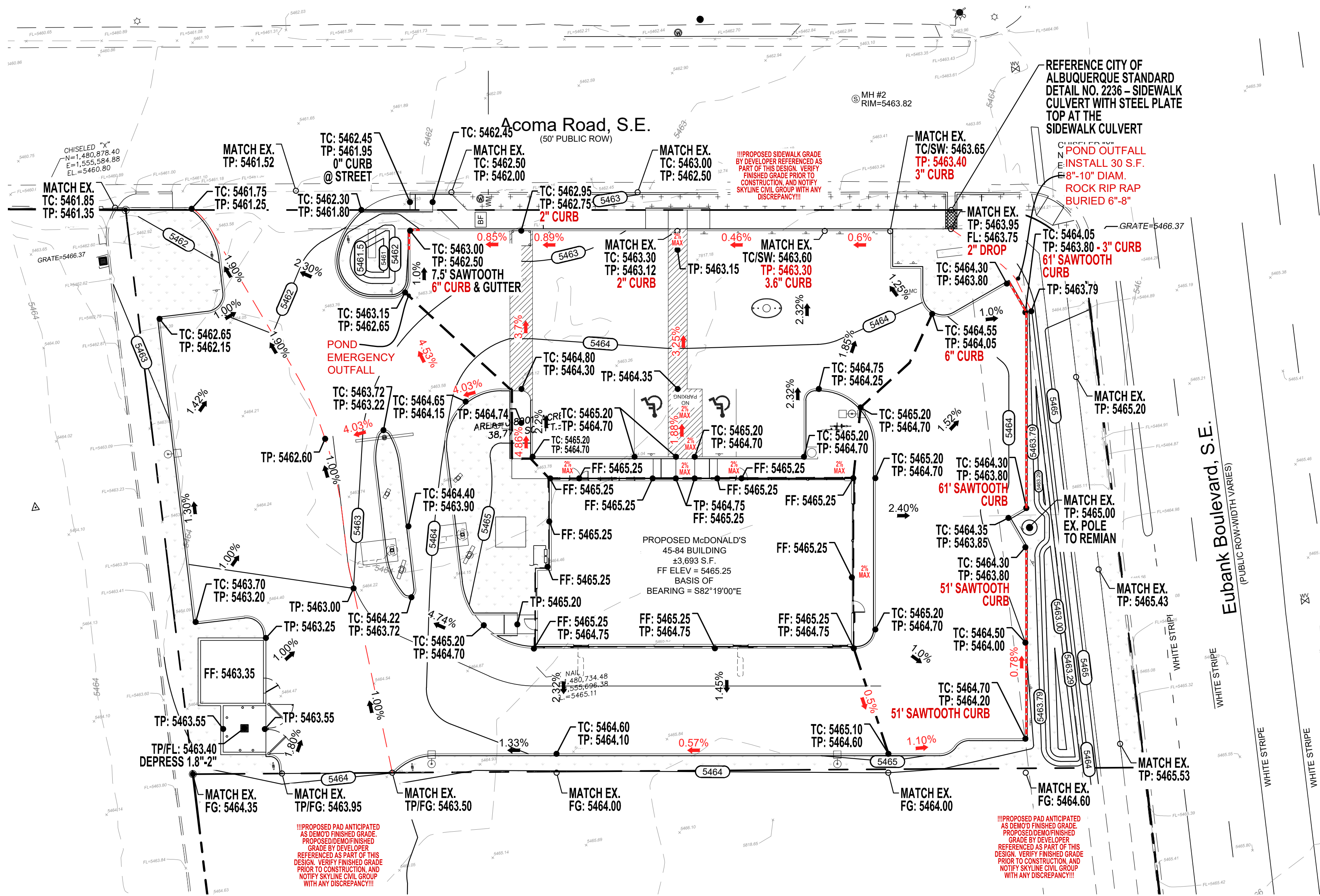
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

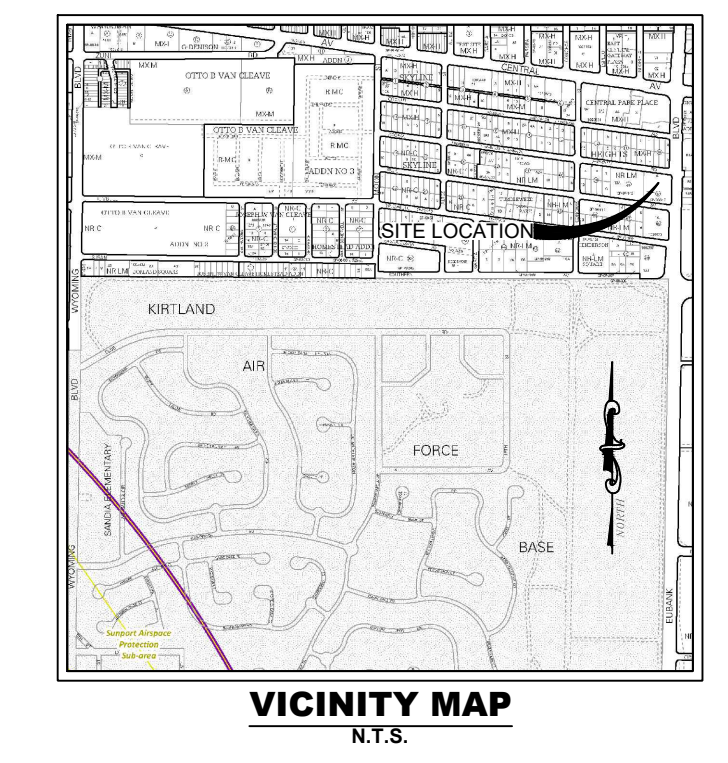
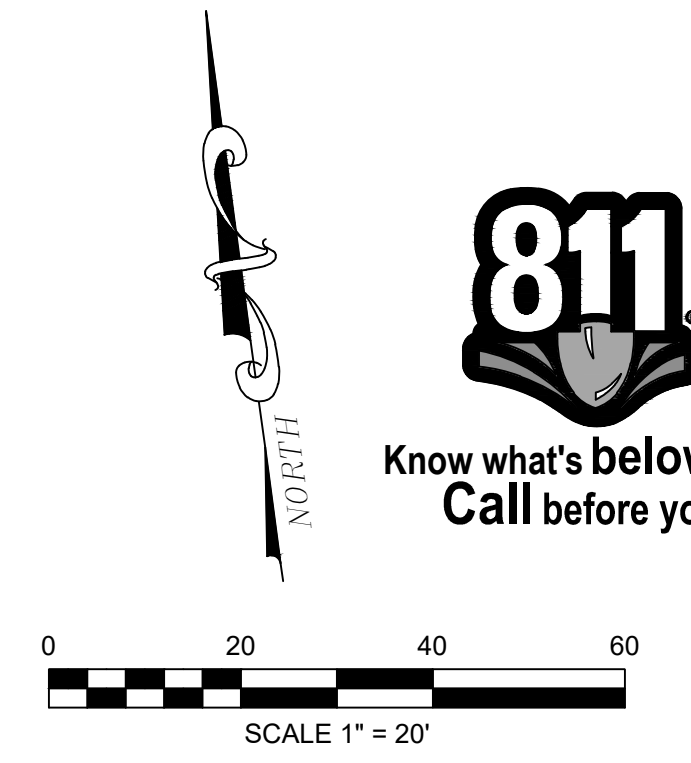
Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

C:\USERS\STEPHEN\MARCU\PROJ\STEPHEN\MARCU\2024\1020 - McDONALD'S USA, LLC 30-0275 - NEW BUILD (001) EUBANK BLVD SE, ALBUQUERQUE, NM\DRAWINGS\10-C7.0 GRADING PLAN.DWG



LEGAL DESCRIPTION
TRACT A-1, SKYLINE HEIGHTS SUBDIVISION, SECTIONS 28 & 29, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BENCHMARK
CHISELED "X" IN CURB AT NORTHWEST CORNER OF PROPERTY
N=1,480,836.85
E=1,555,851.03
EL.=5464.89



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES



Skyline CIVIL GROUP
Skyline Civil Group, LLC • Lubbock Address: 4414 82nd Street, STE 212-140, Lubbock, TX 79424
Midland Address: 3523 N. Midland Drive, STE 113-106, Midland, TX 79707
• Firm No. # JN - 72462-015 - E3376, (A) - E000692, (K) - 6542, (T) - 17171
• (817) 485-1726 • www.skylinegroup.com

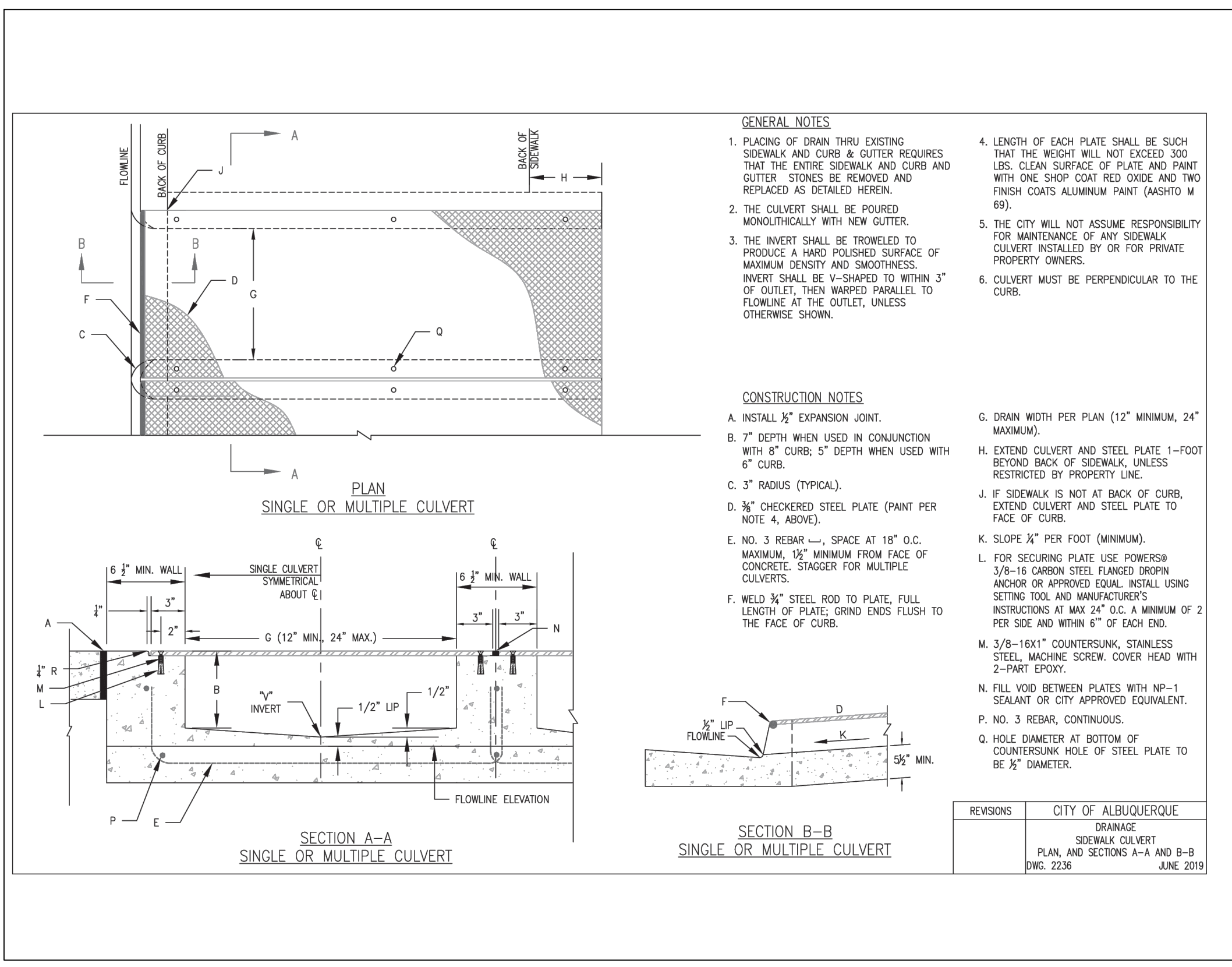
C7.0 GRADING PLAN

ISSUE FOR LAYOUT REVIEW	C.L.C. I.S.T.M.	BY	APPR
ISSUE FOR LAYOUT REVIEW	C.L.C. I.S.T.M.		
REVISED PER SURVEY	C.L.C. I.S.T.M.		
REVISED PER CITY COMMENT, NOTES AND DTL - 2236	C.L.C. I.S.T.M.		
REVISED PER CITY COMMENT, NOTES AND DTL - 2236	C.L.C. I.S.T.M.		

STANDARD ACCESSIBILITY REQUIREMENTS
PARKING:
ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.
EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.
CURB RAMPS:
RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)
BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.
RAMPS SHALL NOT EXCEED A 1:12 SLOPE
SIDEWALKS AND ACCESSIBLE ROUTES:
MINIMUM SIDEWALK WIDTH OF 5'. IF OBSTRUCTIONS EXIST SIDEWALKS MUST HAVE AT LEAST 36" MINIMUM CLEARANCE
SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)
LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

LEGEND

TC	PROPOSED TOP OF CURB
TP	PROPOSED TOP OF PAVEMENT
SW	PROPOSED TOP OF SIDEWALK
EX	EXISTING ELEVATION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
XXXXXX	DENOTES EXISTING GRADE
---5461---	DENOTES EXISTING CONTOUR
---5465---	DENOTES PROPOSED CONTOUR
---	DENOTES RIDGE LINE/DRAINAGE DIVIDE
---	DENOTES SAWCUT LINE
---	DENOTES BOUNDARY LINE
---	DENOTES SWALE/FLOW LINE



REV. 12/2022

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR

- (SPECIAL ORDER 19 - "SO-19")
- BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
 - CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
 - AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
 - WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
 - CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

GENERAL NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE EPA'S NPDES REGULATIONS 40-CFR-123, AND 40-CFR-124 CONCERNING EROSION AND SEDIMENT CONTROL.
- REFER TO STRUCTURAL PLANS FOR GRADING AND COMPACTION REQUIREMENTS UNDERNEATH BUILDING SLAB.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- SITE PREPARATION SHOULD BEGIN BY REMOVING ALL SURFACE VEGETATION AND ROOT SYSTEMS TO A DEPTH OF 6 INCHES FOR A DISTANCE OF FIVE FEET OUTSIDE THE BUILDING LINES AND TWO FEET BEYOND PAVEMENT LINES. ALL COMPACTION AND SOIL SPECIFICATIONS SHALL COMPLY WITH THE GEOTECH REPORT.

McDONALD'S, LLC 30-0275	OFFICE LONG BEACH FIELD OFFICE	DATE	DATE	DATE	DATE
ADDRESS 1566 AMBROSIE ROAD, STE. 650, IRVINE, CA 92612	PREPARED FOR McDonald's USA, LLC	SIGNATURE (2 REQUIRED)	REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.
					REAL ESTATE DEPT.
					CO-SIGN SIGNATURES
					CONTRACTOR
					OWNER
					DRAWN BY C.L.C.
					CHECKED BY S.T.M.
					DATE JULY 2025
					SHEET NO. 10 OF 24
					FILE NO. SKY2024.1020