

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 28, 2025

John Niski
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: 301 Eubank Blvd SE
Grading and Drainage Plan
Engineer's Stamp Date: 8/25/25
Hydrology File: L20D004A
Case # HYDR-2025-00308**

Dear Mr. Niski:

PO Box 1293

Based upon the information provided in your submittal received 03/18/2025, the Grading & Drainage Plan is approved for Rough Grading and Demo for Grading Permit and Demo Permit.

Albuquerque

PRIOR TO BUILDING PERMIT:

NM 87103

1. For the future development on the southern half of the lot, prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of the following conditions is met: 500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving.

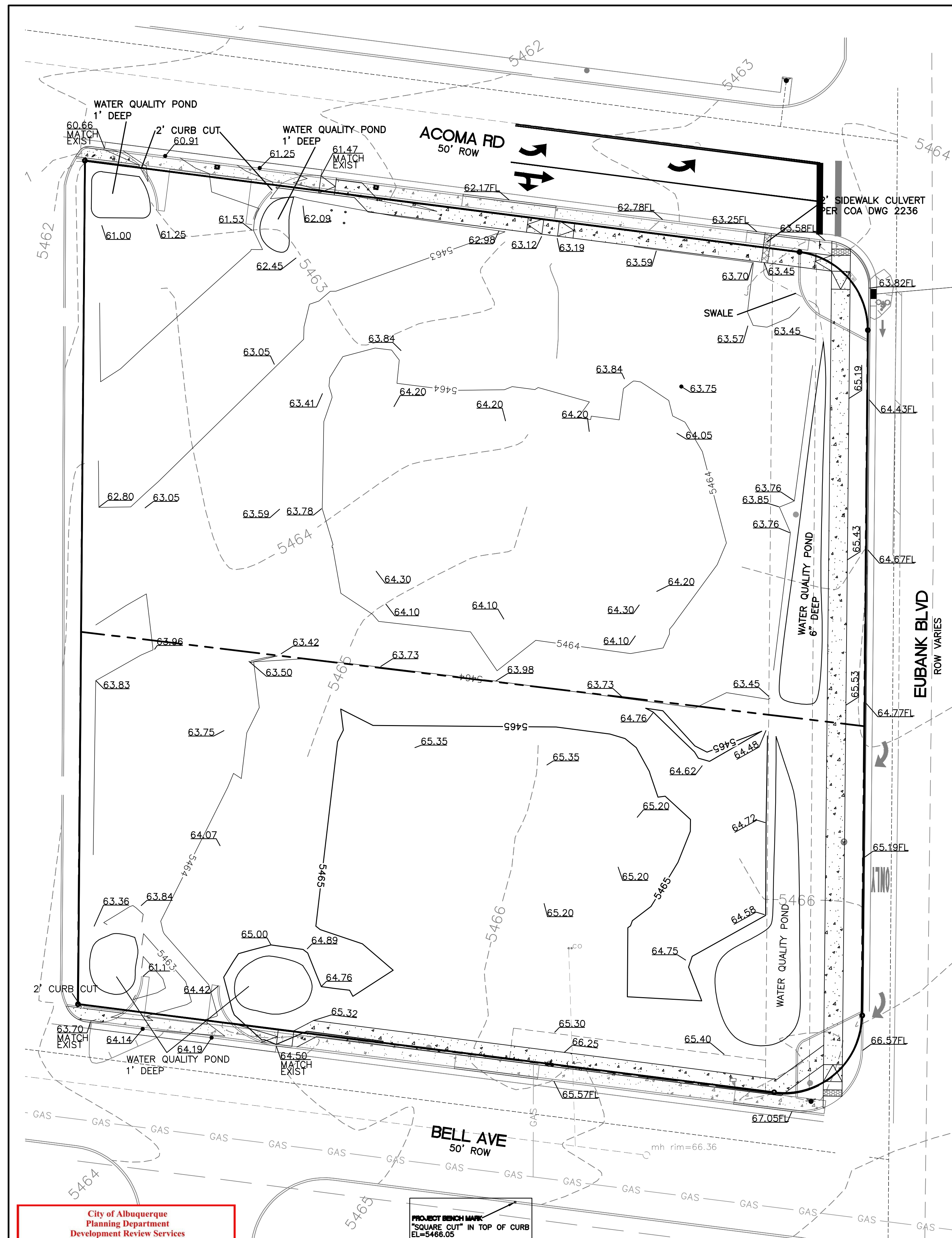
www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - RIGHT-OF-WAY
- SIDEWALK
- 5010— CONTOUR MAJOR
- 5011— CONTOUR MINOR
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- - - EASEMENT

NOTICE TO CONTRACTORS

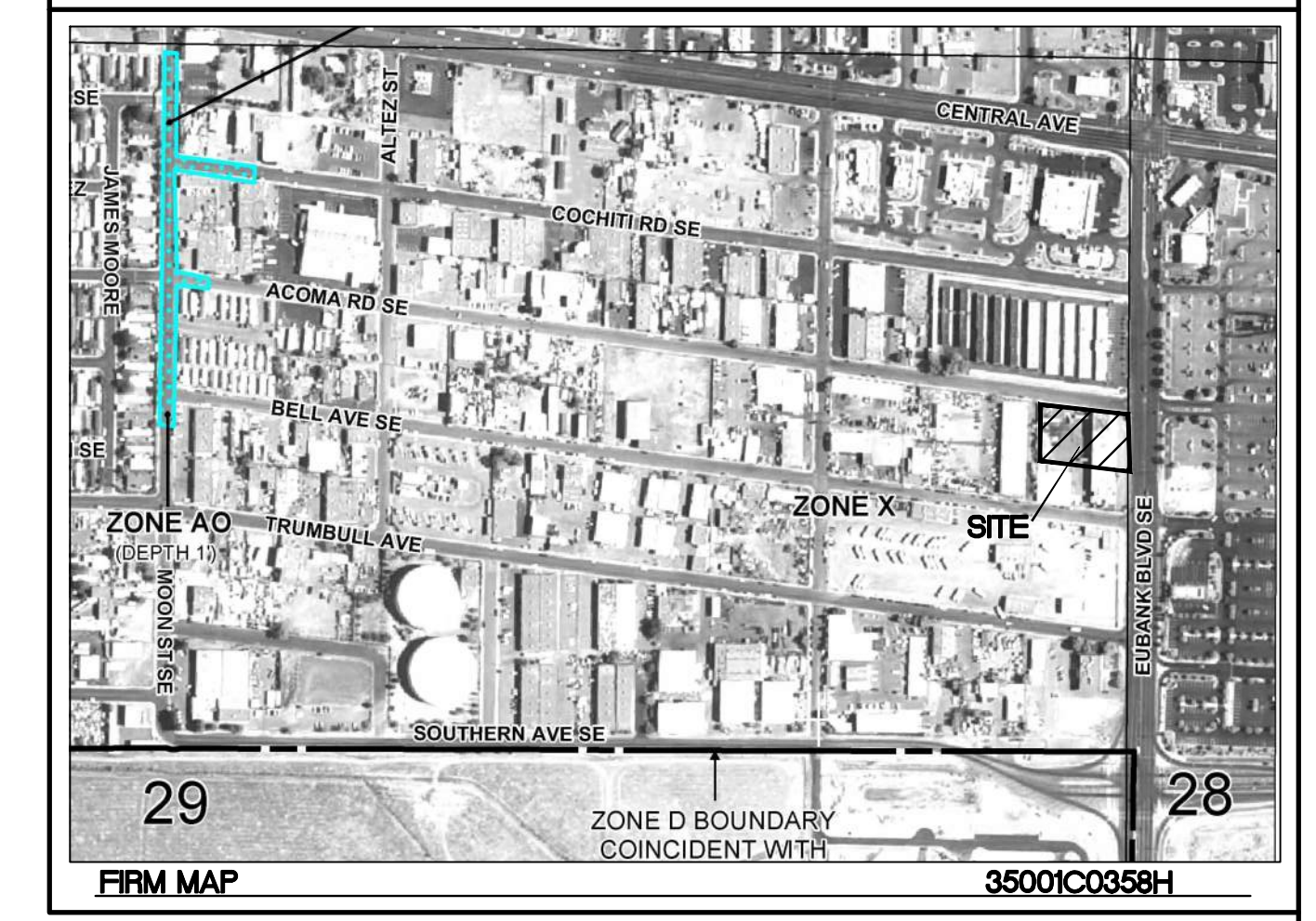
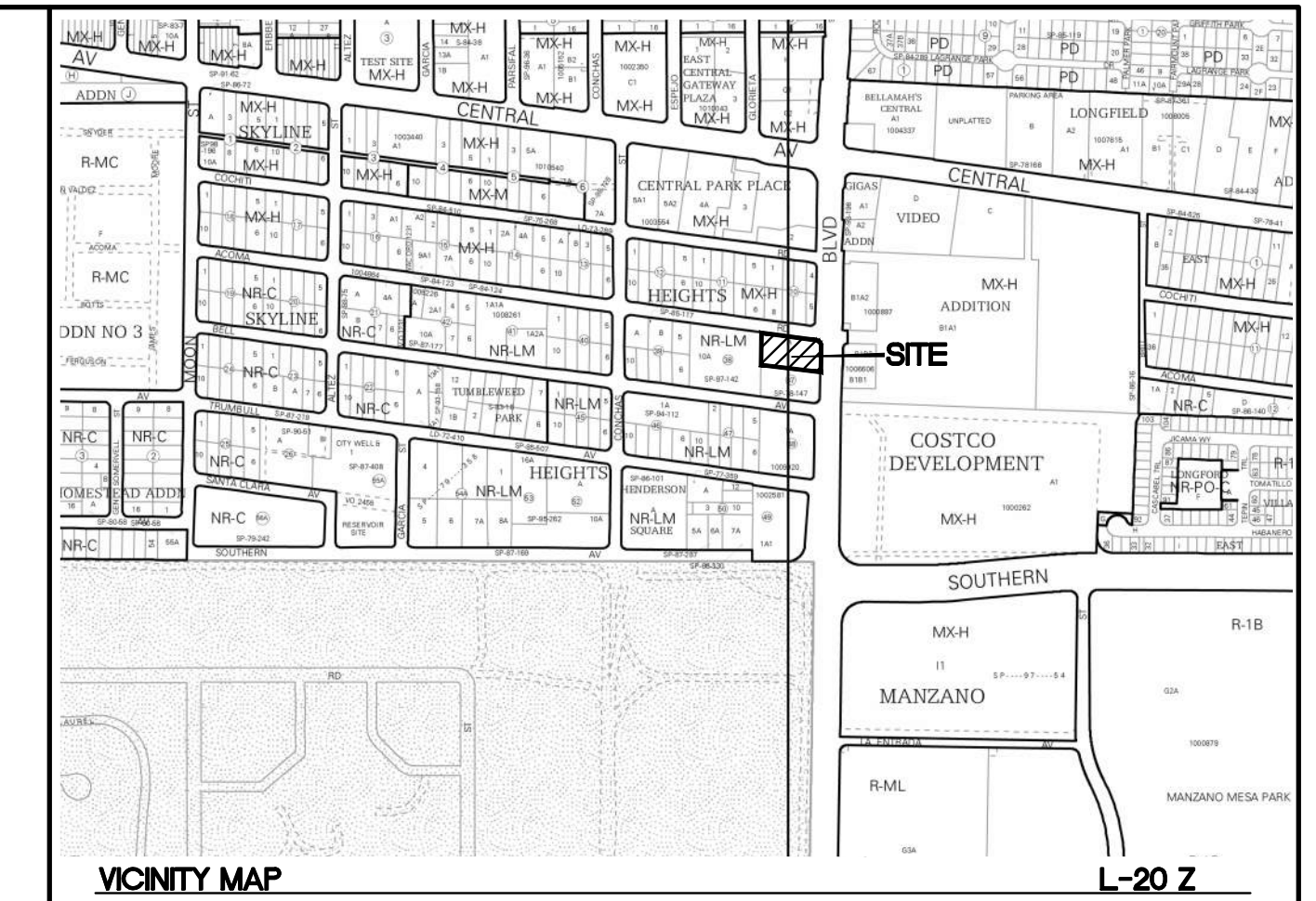
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3/4" GRAVEL.

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR (SPECIAL ORDER 19 - '80-'19')**

1. BUILD SIDEWALK CULVERT PER COA STD DWG 2236.
2. CONTACT STORM MAINTENANCE AT (505)857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
3. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505)260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL OBSTRUCTIONS. SHOULD CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
7. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
8. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
9. WORK ON ARTERIAL STREETS MAY REQUIRED ON A 24-HOUR BASIS.
10. CONTRACTOR MUST CONTACT STORM MAINTENANCE AT (505)857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505)924-3416.



EXISTING DRAINAGE:

THIS EXISTING SITE IS CURRENTLY OCCUPIED BY A VACANT BUILDING AND PARKING LOT. IT IS BOUNDED BY A COMMERCIAL BUILDING TO THE WEST, BELL AVENUE TO THE SOUTH, EUBANK BOULEVARD TO THE EAST AND ACOMA ROAD TO THE NORTH CONTAINING APPROXIMATELY 1.53 ACRES. HISTORICALLY THE SITE DRAINS FROM SOUTH TO NORTH ONTO ACOMA ROAD AND THEN WEST ALONG ACOMA ROAD. THE SITE CURRENT DISCHARGES 6.68 CFS TO THE STREET.

THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS LOCATED ON FIRM MAP 35001C0358H AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN A FLOOD ZONE.

PROPOSED DRAINAGE:

THE PROPOSED SITE CONSISTS OF FIVE BASINS. BASIN A CONSISTS OF A FUTURE BUILDING AND NORTH PARKING LOT. IT WILL DRAIN TO A WATER QUALITY POND ALONG EUBANK AND THEN TO ACOMA ROAD THRU A SIDEWALK CULVERT. BASIN B CONSISTS OF THE SOUTH PARKING LOT AND DRAINS TO WATER QUALITY POND AT THE ENTRANCE AND THEN THRU A 2' CURB OPENING ONTO ACOMA ROAD. BASIN C CONSISTS OF THE EAST PARKING LOT OF A FUTURE DEVELOPMENT AND WILL DRAIN TO A WATER QUALITY POND ALONG EUBANK. IT WILL OVERFLOW TO THE NORTH DRAINING THROUGH BASIN A AND ONTO ACOMA ROAD. BASIN D CONSISTS OF A FUTURE DRIVE THRU AND WILL DRAIN THRU BASIN B AND ONTO ACOMA ROAD. BASIN E CONTAINS A FUTURE BUILDING AND PARKING LOT AND WILL DRAIN TOWARDS THE ENTRANCE ON BELL AVENUE PASSING THROUGH A WATER QUALITY POND PRIOR TO BEING DISCHARGED INTO THE ROAD THROUGH A 2' CURB OPENING. BASIN F CONTAINS A FUTURE PARKING LOT AND WILL DRAIN THROUGH A WATER QUALITY POND AT THE BELL AVENUE ENTRANCE AND DRAIN ONTO THE ROAD THRU A 2' CURB OPENING.

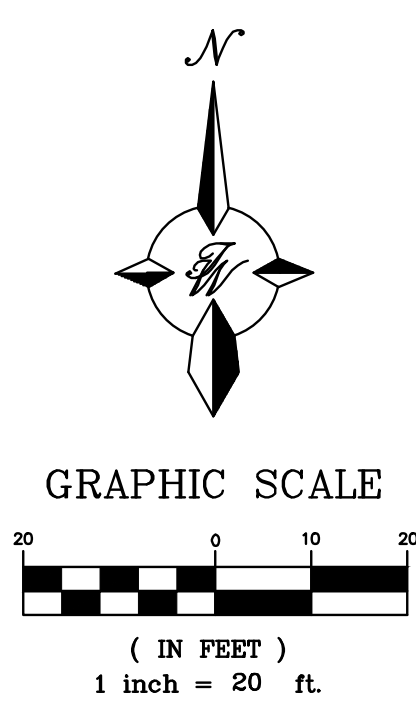
THE SITE DISCHARGES A TOTAL OF 6.16 CFS WHICH IS LESS THAN THE EXISTING 6.68 CFS DISCHARGE. 4.87 CFS WILL DISCHARGE TO ACOMA ROAD AND 1.29 CFS WILL DISCHARGE TO BELL AVENUE.

THE REQUIRED WATER QUALITY VOLUME IS 1,104 CUBIC FEET. THE TOTAL WATER QUALITY VOLUME PROVIDED ON SITE WILL BE 2,341 CUBIC FEET.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 8/28/2025
BY: *[Signature]*
HydroTeam # L20D004A

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

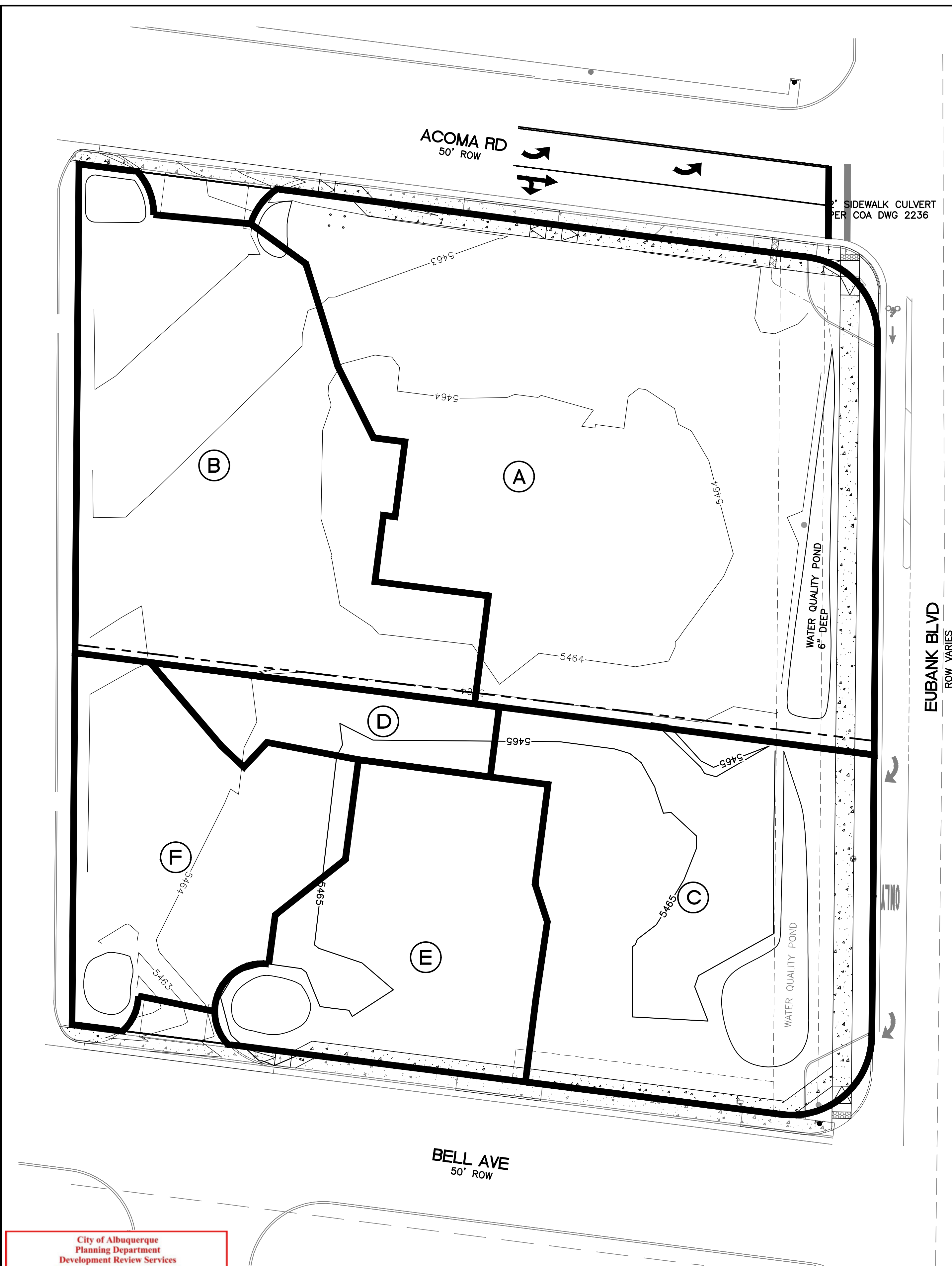
PROJECT BENCHMARK
"SQUARE CUT" IN TOP OF CURB
E1=5466.08



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	301 EUBANK BLVD ALBUQUERQUE, NM GRADING AND DRAINAGE PLAN	DRAWN BY pm DATE 8-25-25 DRAWING
	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1 JOB # 2024052



EUBANK BLVD
ROW VARIES

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
EX. 1	66,743	1.53	0%	0	0%	0.00	10%	0.15	90%	1.38	2,431	0.310	6.68	1,528	0.195	4.13
A	24,063	0.55	0%	0	16%	0.09	0%	0.00	84%	0.46	2,305	0.106	2.30	1,432	0.066	1.40
B	13,900	0.32	0%	0	18%	0.06	0%	0.00	82%	0.26	2,270	0.060	1.32	1,406	0.037	0.80
C	12,351	0.28	0%	0	41%	0.12	0%	0.00	59%	0.17	1,875	0.044	1.04	1,107	0.026	0.59
D	2,189	0.05	0%	0	17%	0.01	0%	0.00	83%	0.04	2,288	0.010	0.21	1,419	0.006	0.13
E	7,259	0.17	0%	0	19%	0.03	0%	0.00	81%	0.13	2,253	0.031	0.68	1,393	0.019	0.41
F	6,981	0.16	0%	0	35%	0.06	0%	0.00	65%	0.10	1,978	0.026	0.61	1,185	0.016	0.35
										1.17			0.278			6.16

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

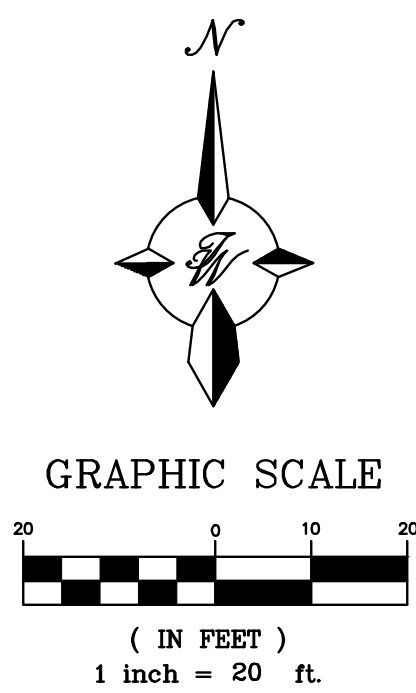
Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Water Quality Calculation: $0.26'' \times 1.17 \text{ ac} = 1,104 \text{ cubic feet (0.025 ac-ft)}$

Zone 3	Excess Precipitation, E (inches)		Peak Discharge (cfs/acre)	
	100-Year	10-Year	100-Year	10-Year
E_a	0.67	0.18	Q_a	1.84
E_b	0.86	0.34	Q_b	2.49
E_c	1.09	0.52	Q_c	3.17
E_d	2.58	1.64	Q_d	4.49

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HYDROLOGY SECTION
APPROVED
DATE: 8/28/2025
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Hydro: L20D004A
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 RONALD R. BOHANNAN P.E. #7868	301 EUBANK BLVD ALBUQUERQUE, NM BASIN MAP	DRAWN BY pm DATE 8-25-25 DRAWING
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-2 JOB # 2024052