

LOTS 1, 2, 3 AND 4 CENTRAL PARK PLACE

(BEING A REPLAT OF LOTS 1 THRU 8 IN BLOCK 9; LOTS 2 THRU 9 IN BLOCK 8; VACATED SOUTH PORTION OF GLORIETA STREET AND VACATED 16' ALLEYS WITHIN SAID BLOCKS 8 AND 9, SKYLINE HEIGHTS)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2005

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

	Date

Bernalillo County Treasurer

PROJECT NUMBER: 1003554

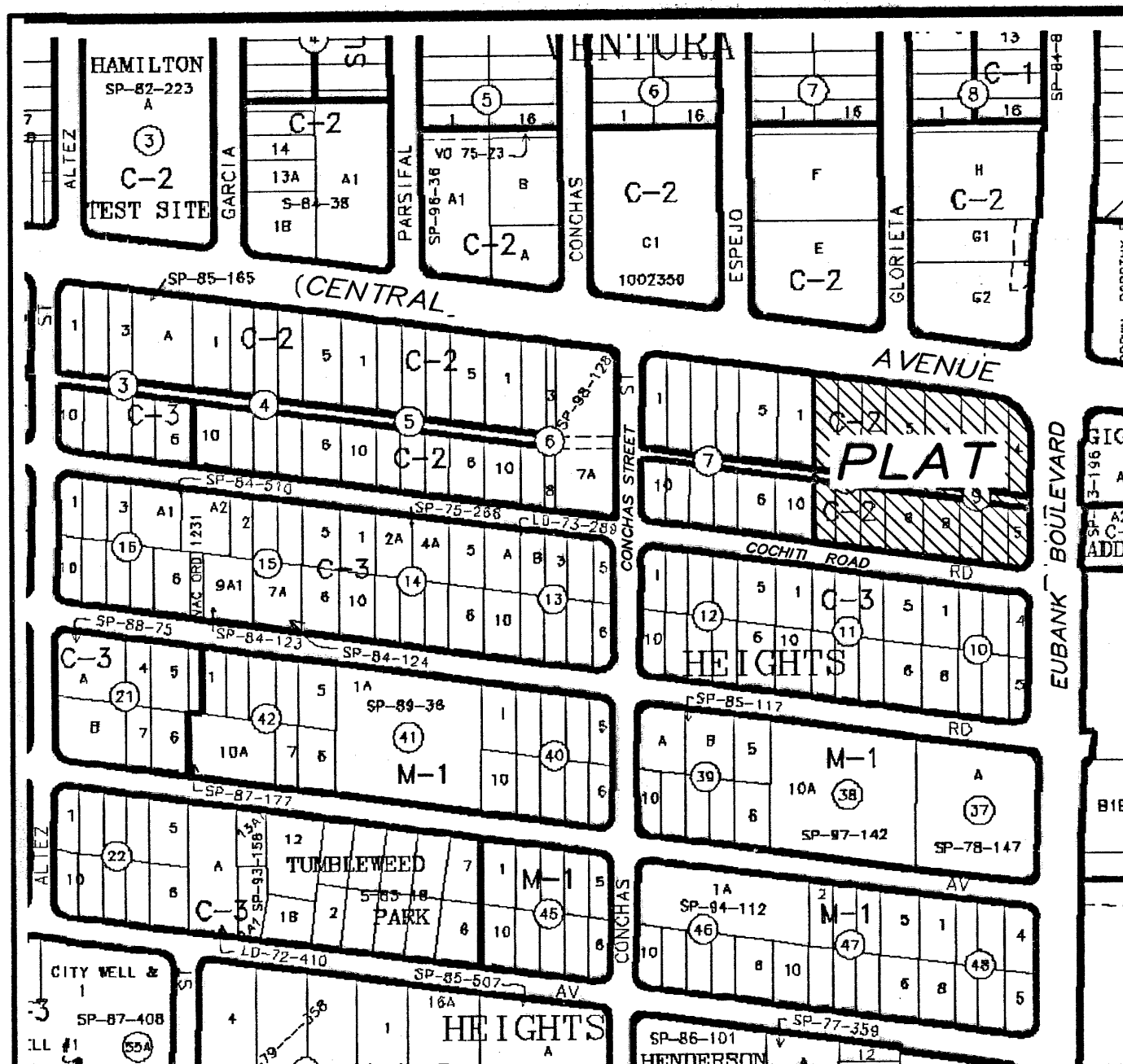
Application Number:

PLAT APPROVAL

Utility Approvals:

PNM Electric Services	Date
PNM Gas Services	Date
QWest Corporation	Date
Comcast	Date

City Approvals:	3-28-09
City Surveyor	Date
Real Property Division	Date
Environmental Health Department	Date
Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date



VICINITY MAP
N.T.S.

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone) originated at the Albuquerque Control Survey Monument "SUSAN".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750", or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Field surveys were performed during the month of February 2004.
- This property is subject to all exceptions pertaining to this property as listed in SCHEDULE B II of the Title Report prepared for this property by Fidelity National Title Insurance Company, Commitment for Title Insurance No. 04-1042117-B-RAD, effective date February 2, 2004.
- City of Albuquerque Zone Atlas Page: L-20-Z
- This property is currently zoned C-2 "Community Commercial Zone".
- U.C.L.S. Log Number 2004301789.
- Total number of new Lots created: 4
- Gross Subdivision acreage: 3.6148 acres.

DISCLOSURE STATEMENT

The Purpose of this plat is to:

- Show the Streets, Alleys and Easements vacated by 04DRB-01099 AND 04DRB-01100
- Create the Four (4) new lots as shown hereon.
- Dedicate the additional new public street right of way for Central Avenue as shown hereon to the City of Albuquerque in fee simple with warranty covenants

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPs No. 9750
March 22, 2005



LEGAL DESCRIPTION

That certain parcel of land situate within the Northeast Quarter of Section 29, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the following:

All of Lots numbered Two (2) through Nine (9), inclusive, in Block numbered Eight (8) and All of Lots numbered One (1) through Eight (8), inclusive, in Block numbered Nine (9), of Skyline Heights, as the same are shown and designated on the plat entitled "SKYLINE HEIGHTS A SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 19, 1945, in Volume C1, Folio 198;

All of Glorieta Street extending from the South intersection of Central Avenue and Glorieta Street to the North intersection of Cochiti Street, and lying adjacent to the West property line of Lots numbered One (1) and Eight (8) in Block numbered Nine (9) and the East property line of Lots numbered Five (5) and Six (6) in Block numbered Eight (8), of Skyline Heights, as the same are shown and designated on the plat entitled "SKYLINE HEIGHTS A SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 19, 1945, in Volume C1, Folio 198;

Said parcel being more particularly described by survey performed by Russ P. Hugg, New Mexico Professional Surveyor Number 9750 using New Mexico State Plane Grid Bearings, Central Zone (NAD 27) and ground distances as follows:

Beginning at the Southwest corner of the parcel herein described, a point on the Northerly right of way line of Cochiti Road S.E. and the Southwest corner of said Lot 9, Block 8, Skyline Heights whence (1) the Southwest corner of Lot 10, Block 7, Skyline Heights (a cross scribed in the concrete curb found in place) bears N 82° 19' 05" W, 352.49 feet distant and (2) the Albuquerque Control Survey Monument "SUSAN" bears S 47° 08' 32" W, 1819.74 feet distant; Thence,

N 00° 52' 55" E, 350.11 feet to a point on the Northwest corner of said Lot 2, Block 8 and a point on the Southerly right of way line of Central Avenue S.E., said point being the Northwest corner of the parcel herein described; Thence,

S 82° 19' 05" E, 479.59 feet along said Southerly right of way line of Central Avenue S.E. and the Northerly line of said Blocks 8 and 9 to the Northeast corner of Lot numbered Four (4) of Block numbered Nine (9) of said Skyline Heights, said point also being a point of intersection with the Westerly (1945) right of way line of Eubank Boulevard S.E. and the Northeast corner of the parcel herein described; Thence,

S 00° 53' 55" W, 350.10 feet along said Westerly (1945) right of way line of Eubank Boulevard S.E. to a point of intersection with the Northerly right of way line of Cochiti Road S.E., said point also being the Southeast corner of Lot numbered Five (5) of Block numbered Nine (9), of said Skyline Heights and the Southeast corner of the parcel herein described; Thence,

N 82° 19' 05" W, 479.49 feet along said Northerly right of way line of Cochiti Road S.E. to the Southwest corner and point of beginning of the parcel herein described.

Said Parcel contains 3.8272 acres, more or less.

Excepting Therefrom:

That portion of Block numbered Nine (9) of said Skyline Heights Subdivision conveyed to the City of Albuquerque for right of way by warranty deeds dated September 16, 1960, filed for record September 27, 1960, in Book D564, Page 239 and Book D564, page 242, in the office of the County Clerk of Bernalillo County, New Mexico;

And that portion of the Northeast corner of Lots numbered Three (3) and Four (4) in Block numbered Nine (9) of said Skyline Heights Subdivision vested in the City of Albuquerque for right of way by that certain Judgement filed in the records of the Bernalillo County District Court Clerk's Office on June 4, 1968, which was entered in condemnation action by the City of Albuquerque, Cause Number 27138, by the District Court of Bernalillo County, New Mexico, said property being more particularly described in the above mentioned judgement;

And that portion of the existing 16' alley, being and lying adjacent to the South property line of Lots numbered Four (4) and Five (5) in Block numbered Nine (9), of Skyline Heights, as the same are shown and designated on the plat entitled "SKYLINE HEIGHTS A SUBDIVISION, ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 19, 1945, in Volume C1, Folio 198, said alleys vacated by City Ordinance Number 1231, dated on the 4th day of June, 1957.

Said Exceptions contain 0.2124 acres, more or less.

Total Plat boundary, less exceptions contains 3.6148 acres, more or less.

LOTS 1, 2 AND 3 CENTRAL PARK PLACE

(BEING A REPLAT OF LOTS 1 THRU 8 IN BLOCK 9; LOTS 2 THRU 9 IN BLOCK 8; VACATED SOUTH PORTION OF GLORIETA STREET AND VACATED 16' ALLEYS WITHIN SAID BLOCKS 8 AND 9, SKYLINE HEIGHTS)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

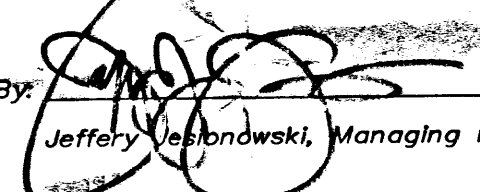
MARCH, 2005

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, LOTS 1, 2, 3, CENTRAL PARK PLACE (BEING A REPLAT OF LOTS 1 THRU 8 IN BLOCK 9; LOTS 2 THRU 9 IN BLOCK 8; VACATED SOUTH PORTION OF GLORIETA STREET AND VACATED 16' ALLEYS WITHIN SAID BLOCKS 8 AND 9, SKYLINE HEIGHTS) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby dedicate the additional street right of way for Central Avenue S.E. as shown hereon, to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever, the public utility easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER

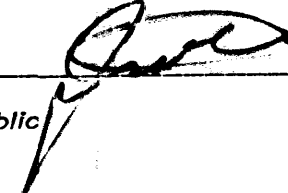
Vista Oriente, LLC
a New Mexico limited liability company

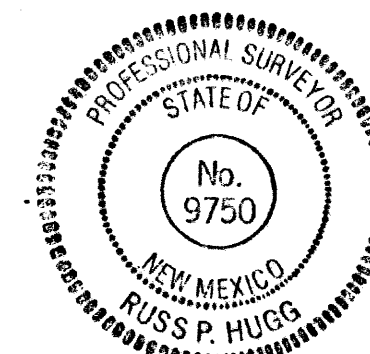
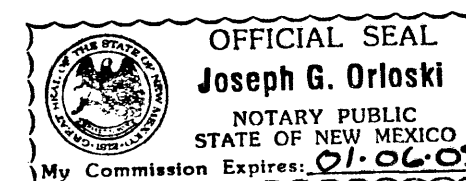
By: 
Jeffery Jesionowski, Managing member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 24TH day of MARCH, 2005, by Jeffery Jesionowski.

 My commission expires 01-06-09
Notary Public



SHEET 2 OF 4

EXISTING BOUNDARIES AND VACATIONS

CURVE TABLE

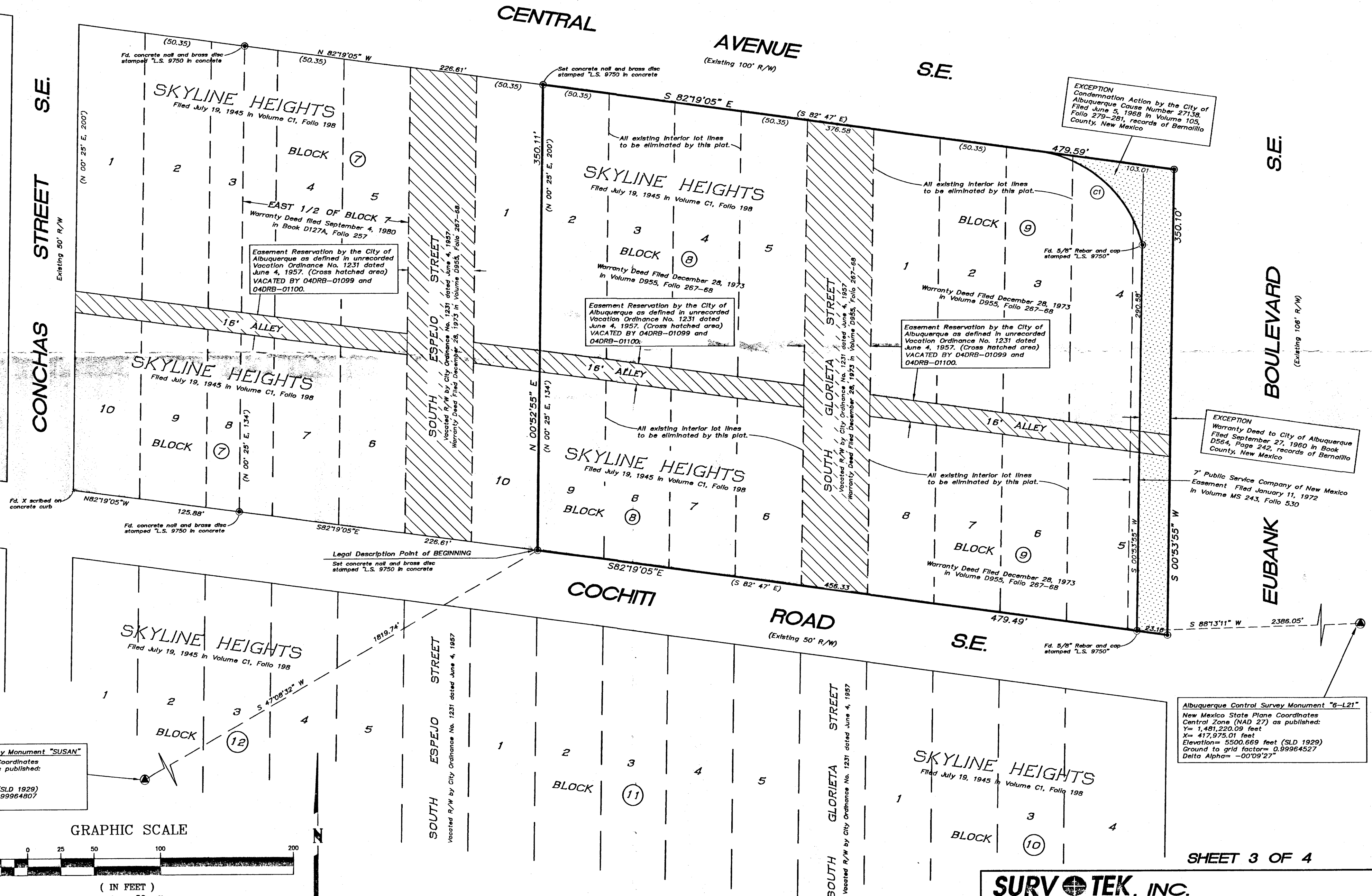
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	111.66'	93.00'	63.67'	105.08'	N48°05'26"W	68°47'39"

LOTS 1, 2, 3 AND 4 CENTRAL PARK PLACE

(BEING A REPLAT OF LOTS 1 THRU 8 IN BLOCK 9; LOTS 2 THRU 9 IN BLOCK 8; VACATED SOUTH PORTION OF GLORIETA STREET AND VACATED 16' ALLEYS WITHIN SAID BLOCKS 8 AND 9, SKYLINE HEIGHTS)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2005



NOTE

Said Lots 1 thru 4, Central Park Place, as shown hereon are subject to Reciprocal Access, Parking, Utility and Drainage Easements as set forth in that certain "Declaration and Grant of Reciprocal Easements filed— 2005 in Book — Pages — records of Bernalillo County, New Mexico.

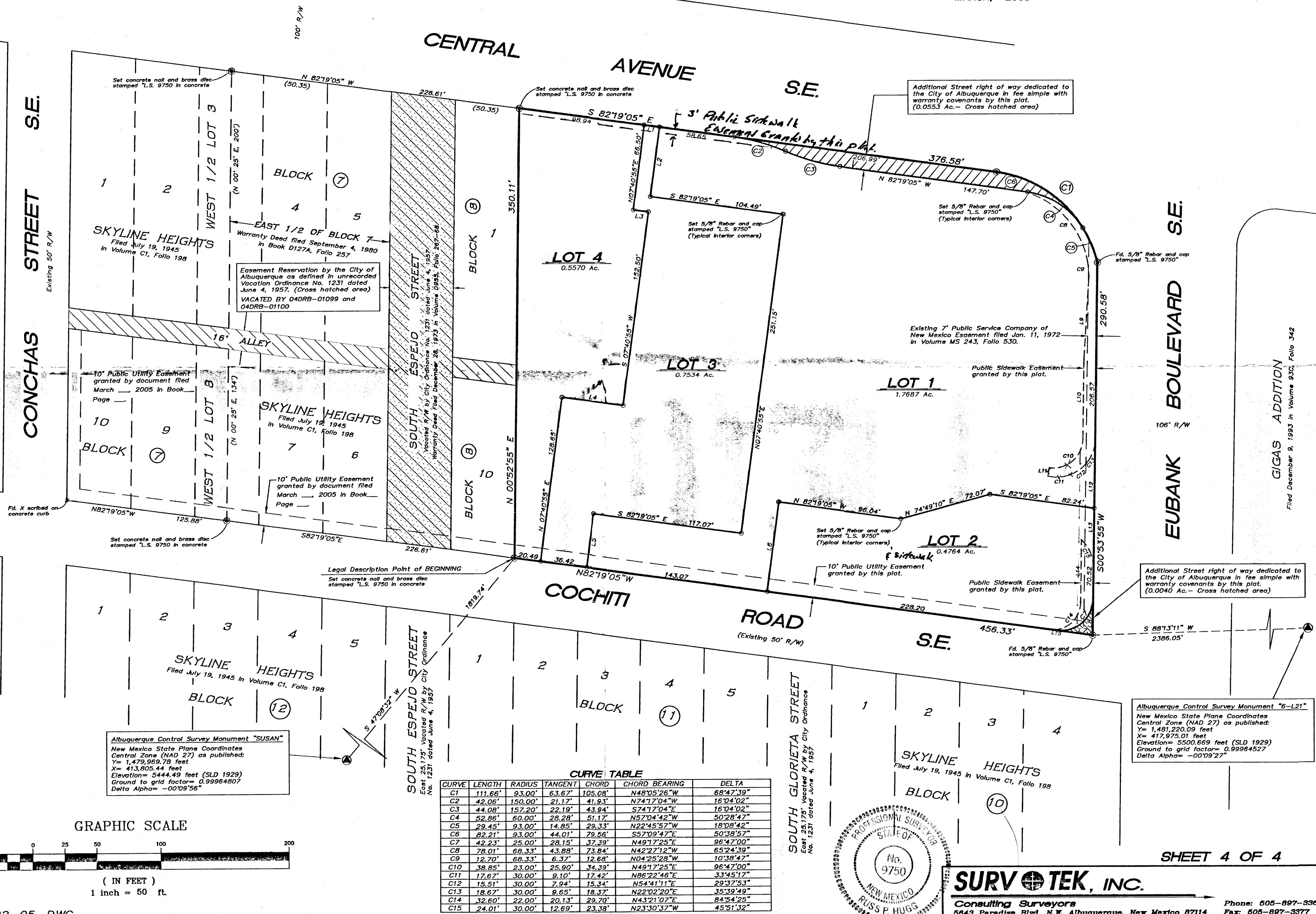
LINE	LENGTH	BEARING
L1	12.00'	S82°19'05"E
L2	54.50'	N07°40'55"E
L3	12.00'	S82°19'05"E
L4	49.00'	S82°19'05"E
L5	42.01'	N07°40'55"E
L6	69.99'	N07°40'55"E
L7	28.15'	S82°19'05"E
L8	28.15'	N00°53'55"E
L9	63.66'	S03°35'59"W
L10	62.49'	N00°53'55"E
L11	6.53'	N07°40'55"E
L12	52.18'	N00°53'55"E
L13	46.01'	N00°53'55"E
L14	48.50'	N00°53'55"E
L15	2.65'	S82°19'05"E

LOTS 1, 2, 3 AND 4 CENTRAL PARK PLACE

(BEING A REPLAT OF LOTS 1 THRU 8 IN BLOCK 9; LOTS 2 THRU 9 IN BLOCK 8; VACATED SOUTH PORTION OF GLORIETA STREET AND VACATED 16' ALLEYS WITHIN SAID BLOCKS 8 AND 9, SKYLINE HEIGHTS)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2005



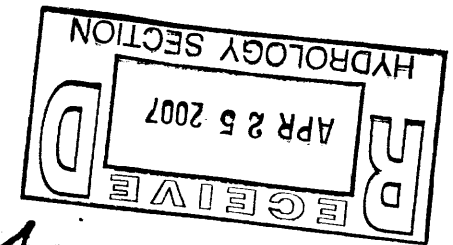
SHEET 4 OF 4

SURVOTEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

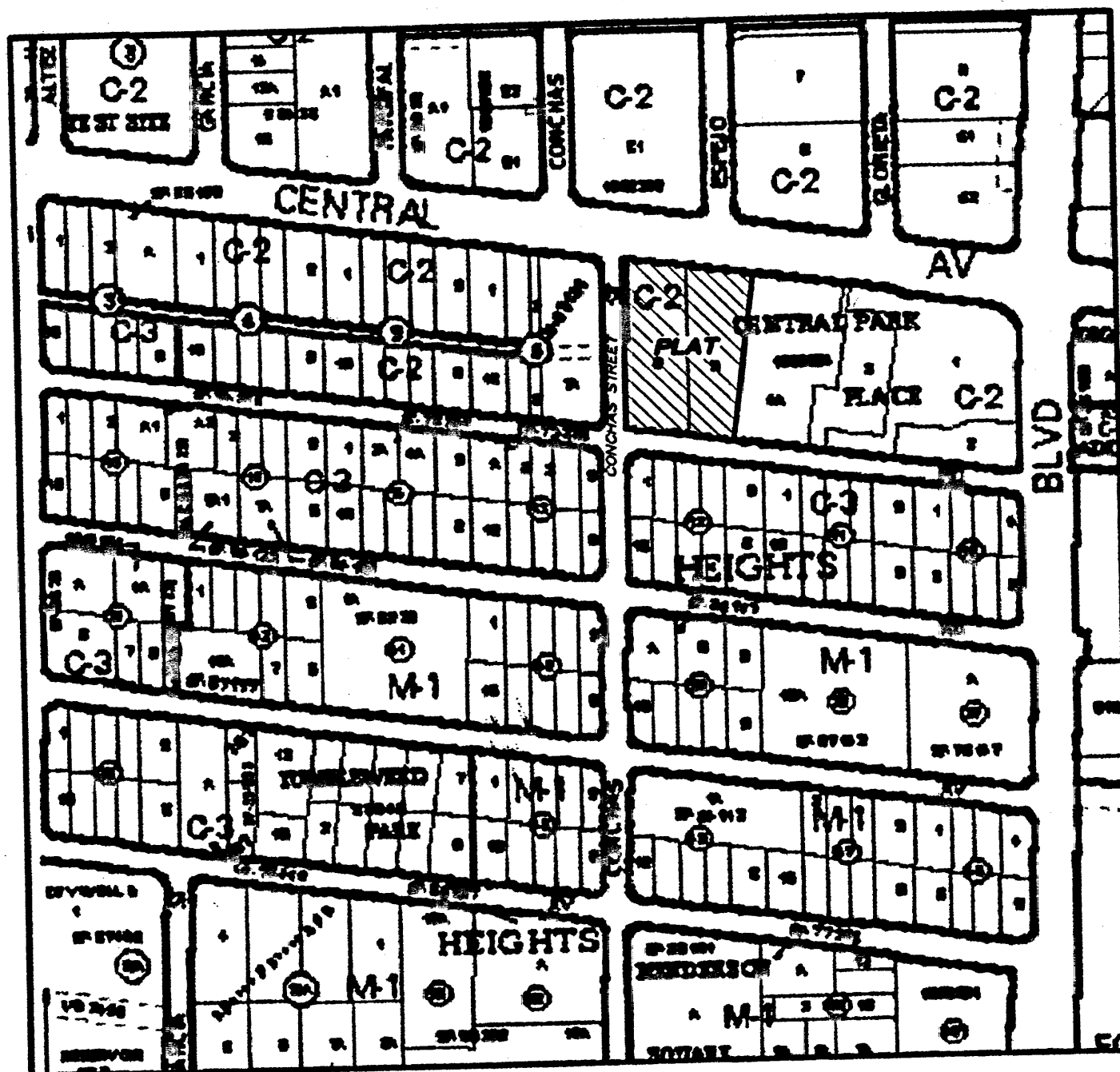
(BEING A REPLAT OF LOTS 5 AND 6, CENTRAL PARK PLACE)

APRIL , 2007



<u>Lea D. Mels</u> PNM Electric Services	<u>4-9-07</u> Date
<u>Lea D. Mels</u> PNM Gas Services	<u>4-9-07</u> Date
<u>QWest Corporation</u> <u>Lorne Bubba</u> Qwest	<u>4.9.07</u> Date

City Approvals	
<i>[Signature]</i>	4-9-07
City Surveyor	Date
Department of Municipal Development	4/11/07
<i>N/A</i>	Date
Real Property Division	4/11/07
<i>N/A</i>	Date
Environmental Health Department	
<i>[Signature]</i>	4-11-07
Traffic Engineering, Transportation Division	Date
<i>Roger A. Green</i>	4-11-07
Utilities Department	Date
<i>Christina Sandoval</i>	4/11/07
Parks and Recreation Department	Date
<i>Bradley L. Bingham</i>	4/11/07
AMA/FA	Date
<i>Bradley L. Bingham</i>	4/11/07
City Engineer	Date
<i>[Signature]</i>	4/18/07
Public Chairperson, Planning Department	Date



VICINITY MAP
N.T.S.

GENERAL NOTES

1. ~~Bearings are New Mexico State-Plane Grid-Bearings~~ (Central Zone) originated at the Albuquerque Control Survey Monument "SUSAN".
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750", or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise Indicated hereon.
7. City of Albuquerque Zone Atlas Page: L-20-Z
8. This property is currently zoned C-2 "Community Commercial Zone".
9. U.C.L.S. Log Number 2007143365.
10. Total number of Existing Lots : 2
11. Total number of new Lots created: 1
12. Gross Subdivision acreage: 1.9260 acres.

PURPOSE OF PLAT:

The Purpose of this plat is to:

- a. Combine existing Lots 5 and 6 into One (1) Lot as shown hereon.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

_____ Date _____

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. *PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.*
- B. *PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.*
- C. *QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.*
- D. *Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.*

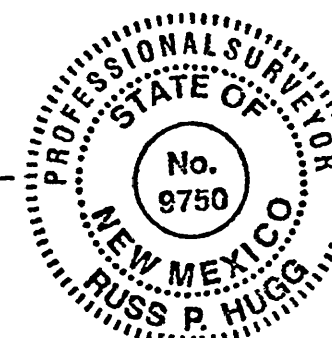
included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
April 2, 2007



SHEET 1 OF 3

070280. DWG

SURV TEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

LOT 5-A
CENTRAL PARK PLACE

(BEING A REPLAT OF LOTS 5 AND 6, CENTRAL PARK PLACE)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

APRIL, 2007

LEGAL DESCRIPTION

That certain parcel of land situate within the Northeast Quarter of Section 29, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Lots numbered Five (5) and Six (6) of Central Park Place as the same are shown and designated on the plat entitled "LOTS 4-A, 5 AND 6, CENTRAL PARK PLACE (BEING A REPLAT OF LOTS 1 THRU 10, BLOCK 7, LOTS 1 AND 10, BLOCK 8; PORTION OF VACATED ALLEY AND VACATED SOUTH PORTION OF ESPEJO STREET, SKYLINE HEIGHTS ADDITION; TOGETHER WITH LOT 4, CENTRAL PARK PLACE) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 28, 2005 in Plat Book 2005C, page 261.

Said parcel contains 1.9260 acres, more or less.

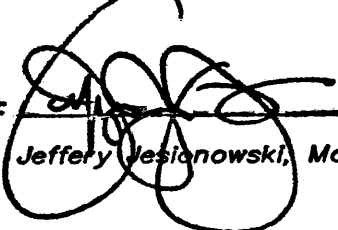


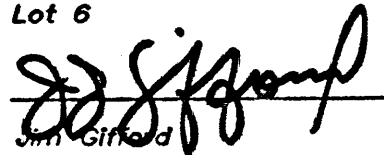
FREE CONSENT

SURVEYED and REPLATTED and now comprising, LOT 5-A, CENTRAL PARK PLACE (BEING A REPLAT OF LOTS 5 AND 6, CENTRAL PARK PLACE) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER (S)

Lot 5
Vista Oriente, LLC
a New Mexico limited liability company

By:  Manager
Jeffery Jesionowski, Managing member

Lot 6

Jim Gifford
a married man dealing in his sole and separate estate.

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 6TH
day of APRIL, 2007, by Jeffery Jesionowski.

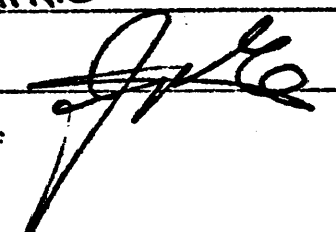
By:  My commission expires 1-06-09
Notary Public

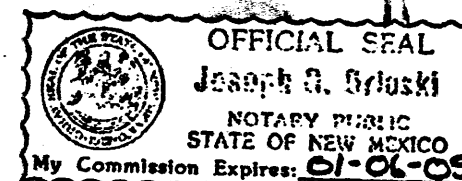


ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 6TH
day of APRIL, 2007, by Jim Gifford.

By:  My commission expires 1-06-09
Notary Public



SHEET 2 OF 3

LOT 5-A

CENTRAL PARK PLACE

(BEING A REPLAT OF LOTS 5 AND 6, CENTRAL PARK PLACE)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

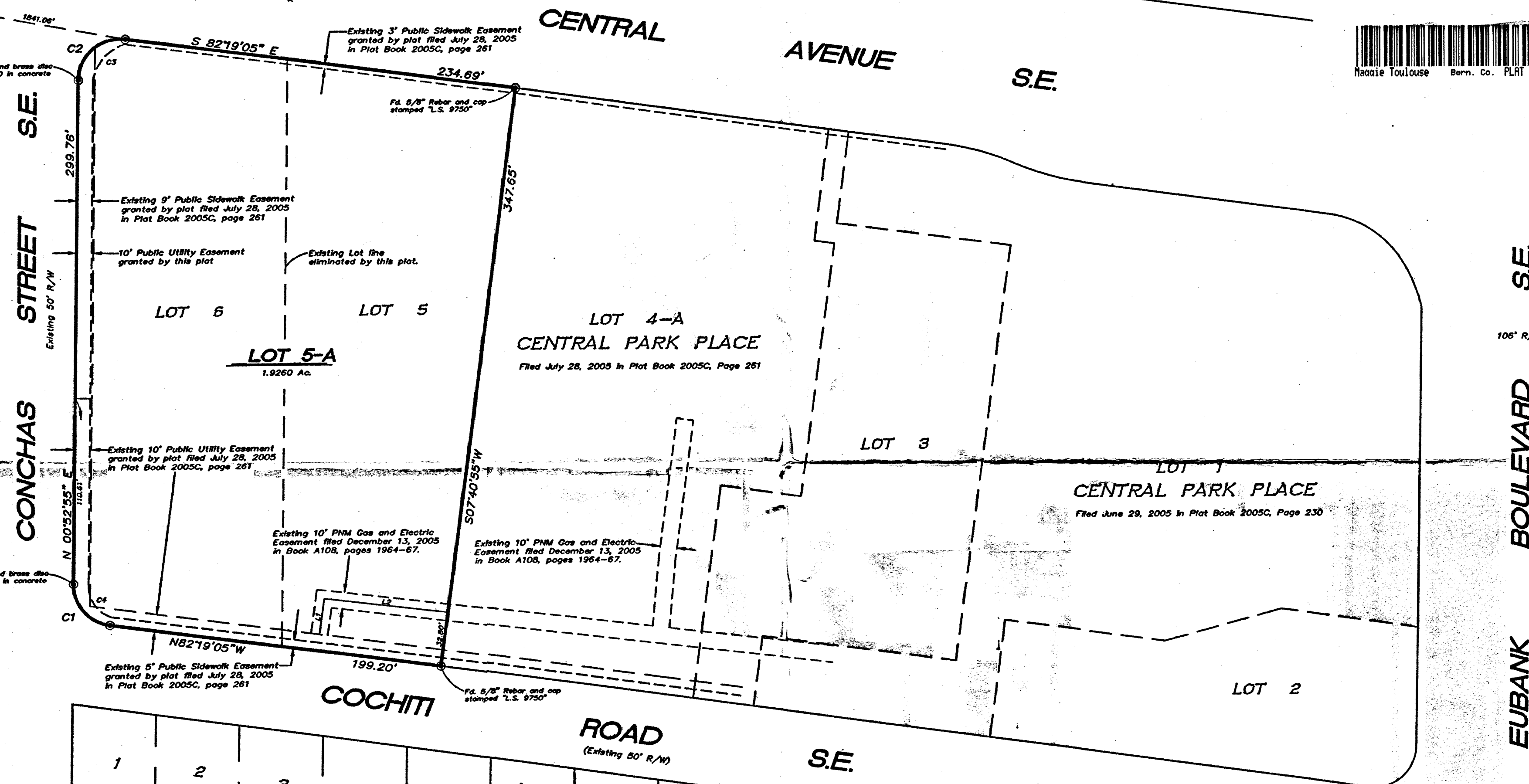
APRIL, 2007

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	36.30'	25.00'	22.20'	33.20'	N40°43'05"W	83°12'00"
C2	42.24'	25.00'	28.16'	37.39'	N49°16'55"E	96°48'00"
C3	30.20'	27.36'	16.85'	28.69'	N41°18'07"E	63°14'46"
C4	25.85'	20.00'	15.09'	24.09'	N33°35'05"W	74°03'16"

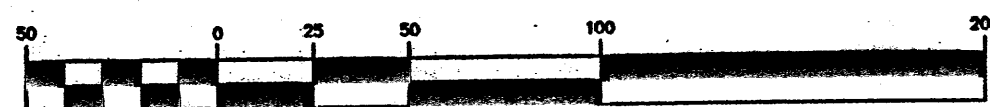
LINE TABLE		
LINE	LENGTH	BEARING
L1	21.58'	N07°55'55"E
L2	74.14'	S83°15'52"E



Albuquerque Control Survey Monument "S-K20"
New Mexico State Plane Coordinates
Central Zone (NAD 27) as published:
Y= 1,481,938.56 feet
X= 413,013.65 feet
Elevation= 5427.38 feet (SLD 1929)
Ground to grid factor= 0.99964908
Delta Alpha= -00°10'01"



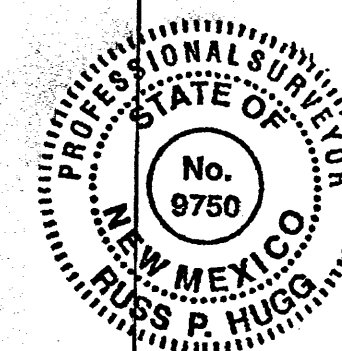
GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.

NOTE

Sold Lots 5 and 6, Central Park Place, as shown hereon are subject to Reciprocal Access, Parking, Utility and Drainage Easements as set forth in that certain "Declaration and Grant of Reciprocal Easements" filed- July 28, 2005 in Book A100, Page 8192, records of Bernalillo County, New Mexico.

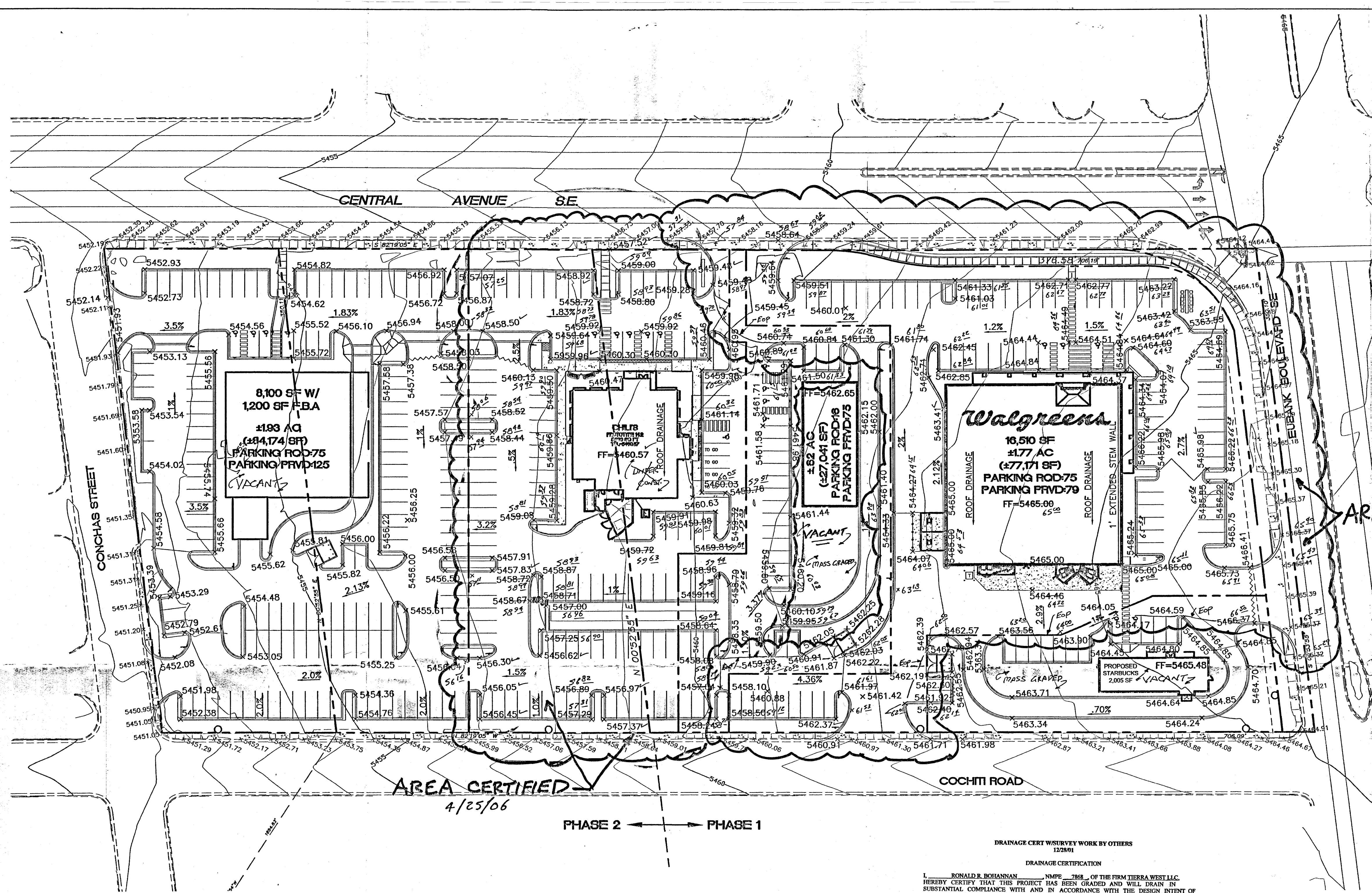
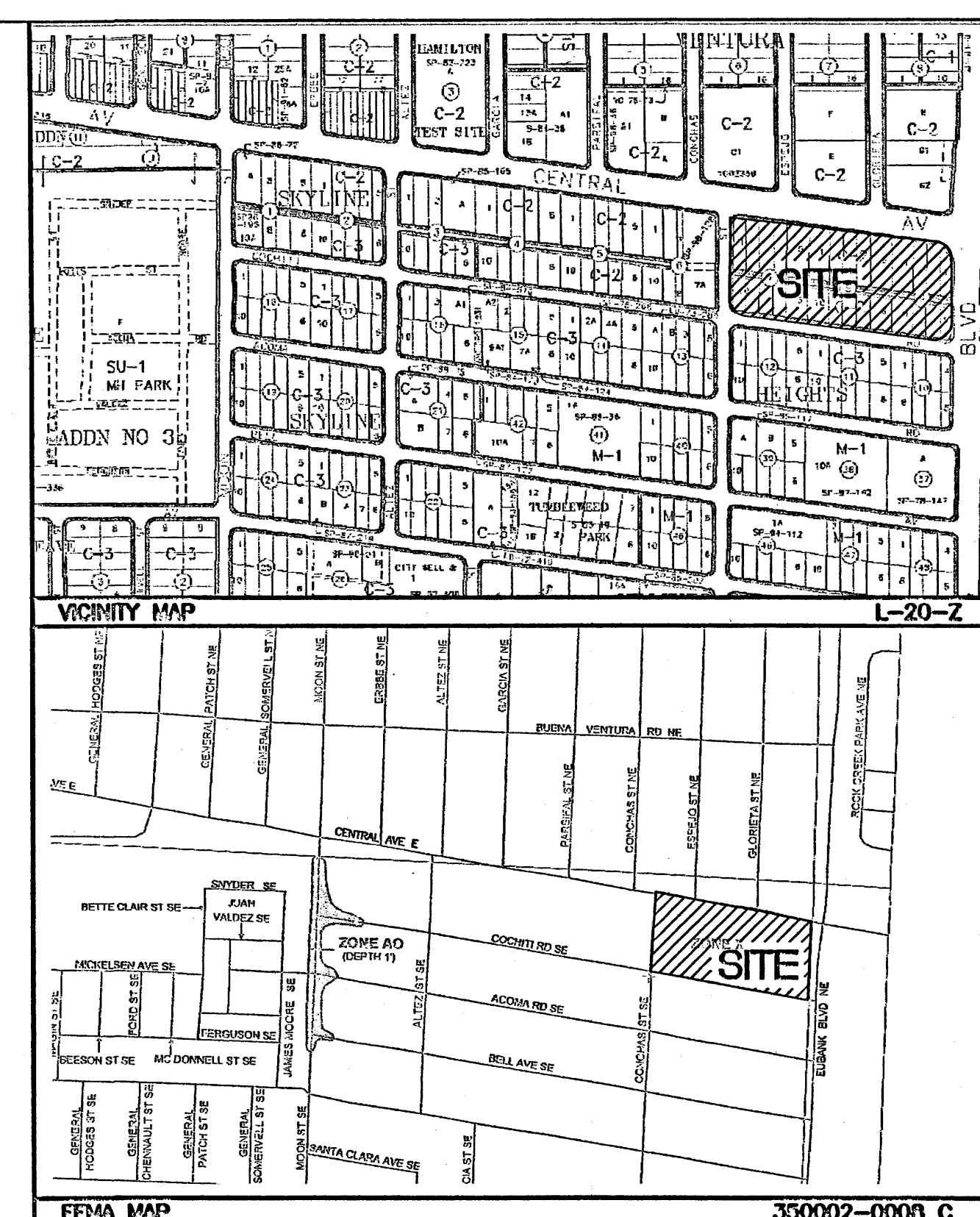


SHEET 3 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

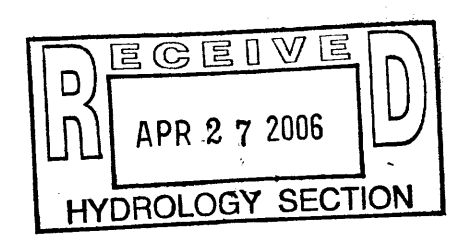
070280. DWG



- LEGEND**
- ===== EXISTING CURB & GUTTER
 - ===== PROPOSED CURB & GUTTER
 - ===== BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - ===== PROPOSED SIDEWALK
 - ===== EXISTING SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - FLOW ARROW
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - RIGHT-OF-WAY
 - LOT LINES
 - LANE
 - STRIPING
- 64" = TYPICAL AS-BUILT ELEVATION

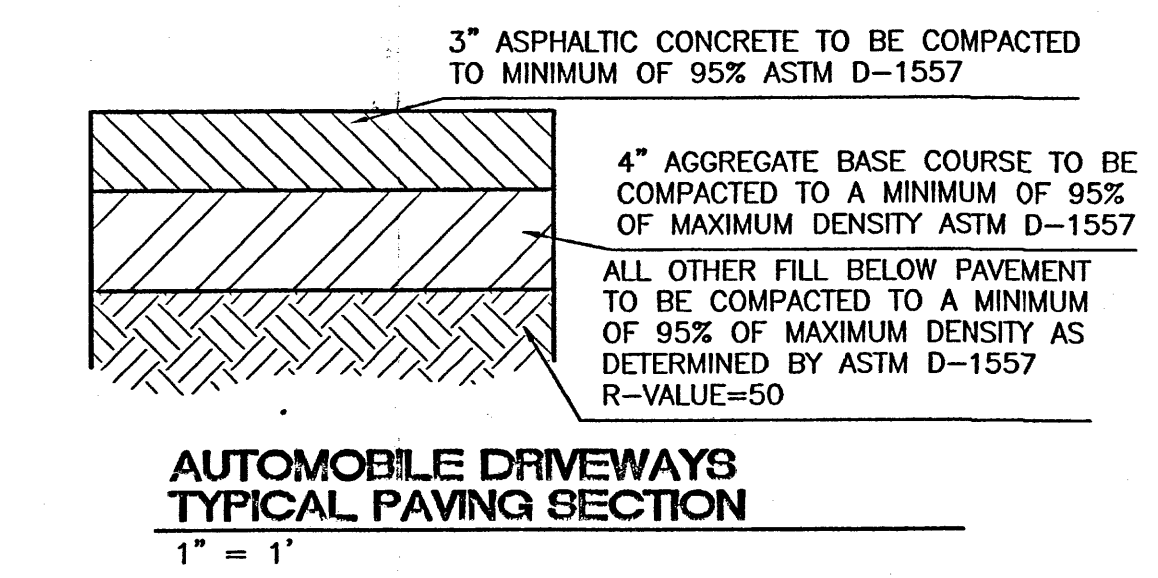
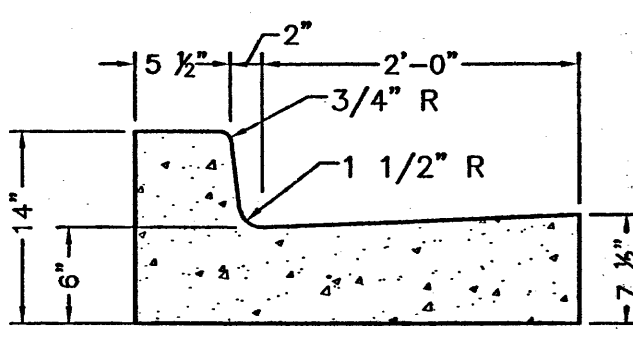
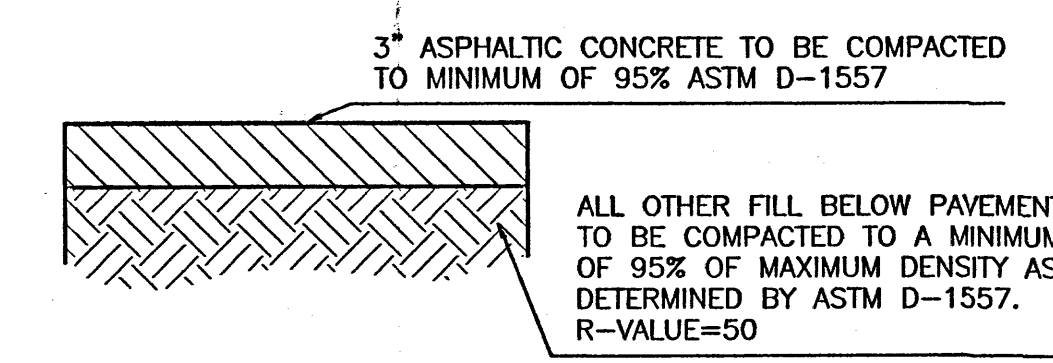
GENERAL NOTES:

1. MATCH EXISTING PAVING AROUND CURB & GUTTER AND MEDIAN @ FLOWLINE.
2. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



DRAINAGE CERT SURVEY WORK BY OTHERS 12/28/01

DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE 788, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/24/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY STEVE WALKER, NMPS 460, OF THE FIRM WALKER SURVEYING.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/9/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE EXCEPTIONS HERE: NONE TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DRAINAGE CERT SURVEY WORK BY OTHERS 12/28/01

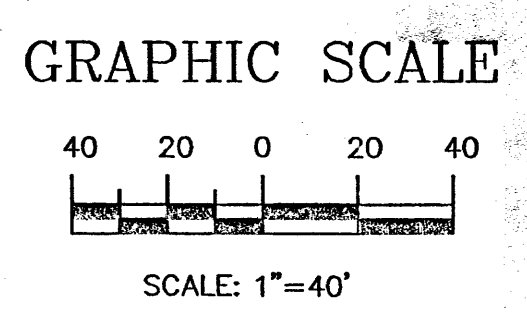
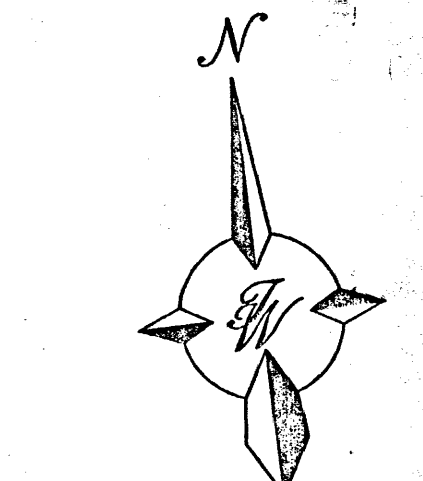
DRAINAGE CERTIFICATION

I, RONALD R. BOHANNAN, NMPE 788, OF THE FIRM TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/24/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSS HUGG, NMPS 9750, OF THE FIRM SURVEYING.

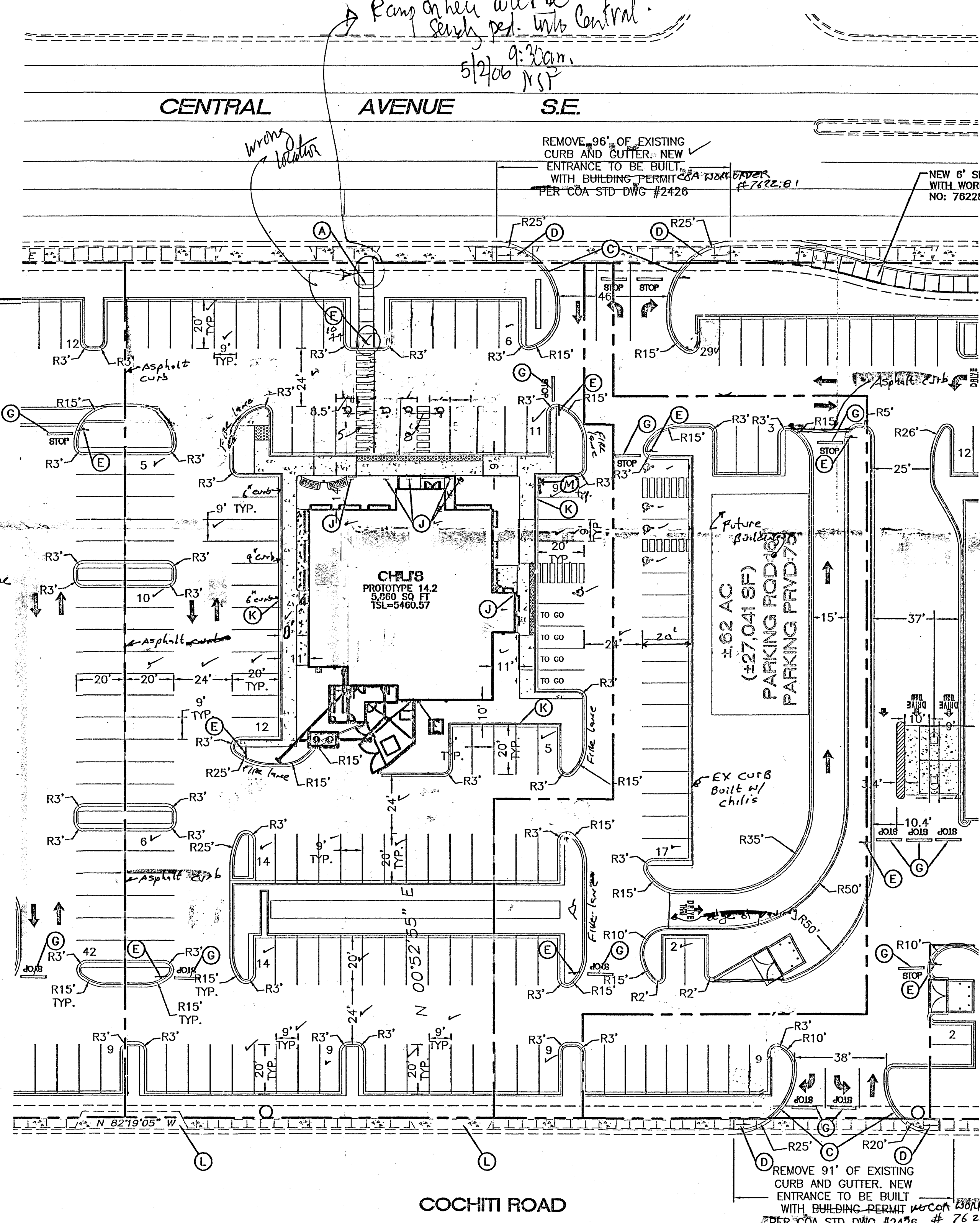
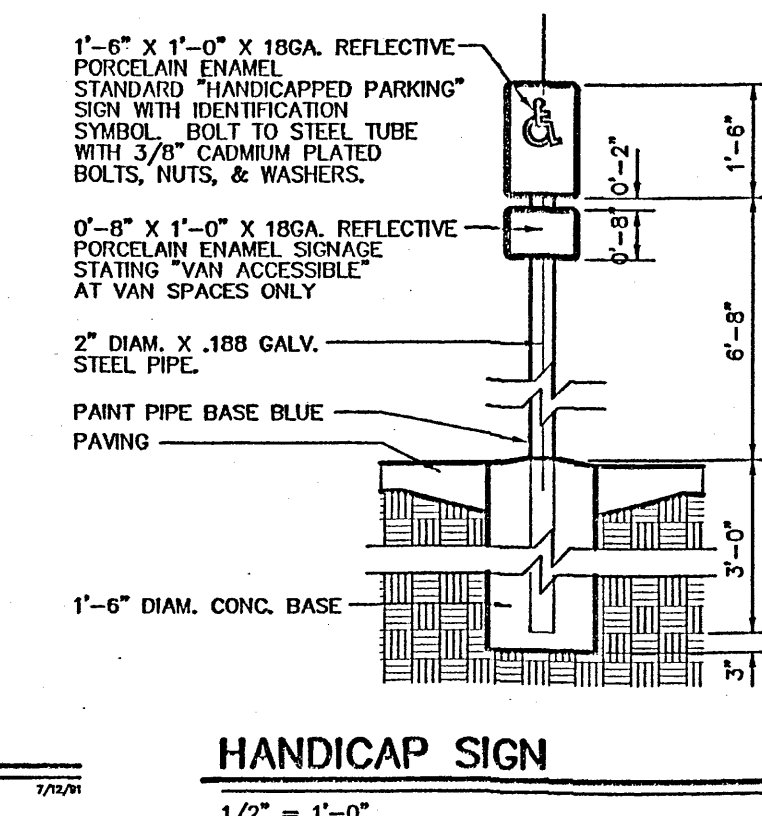
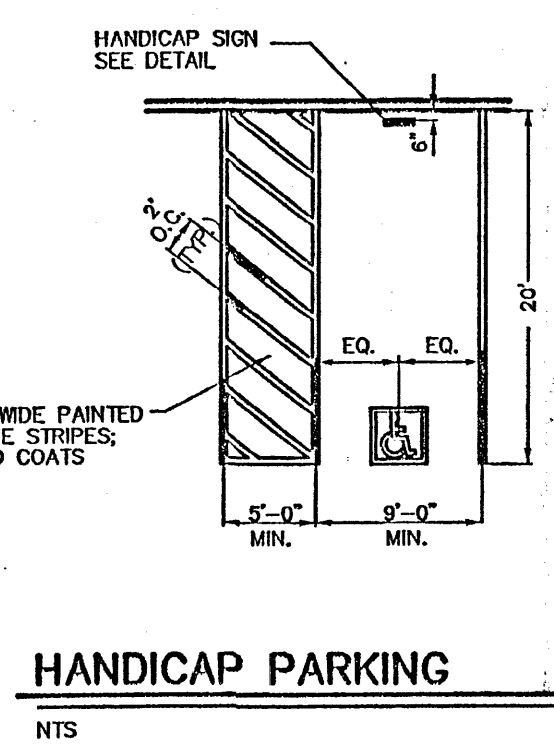
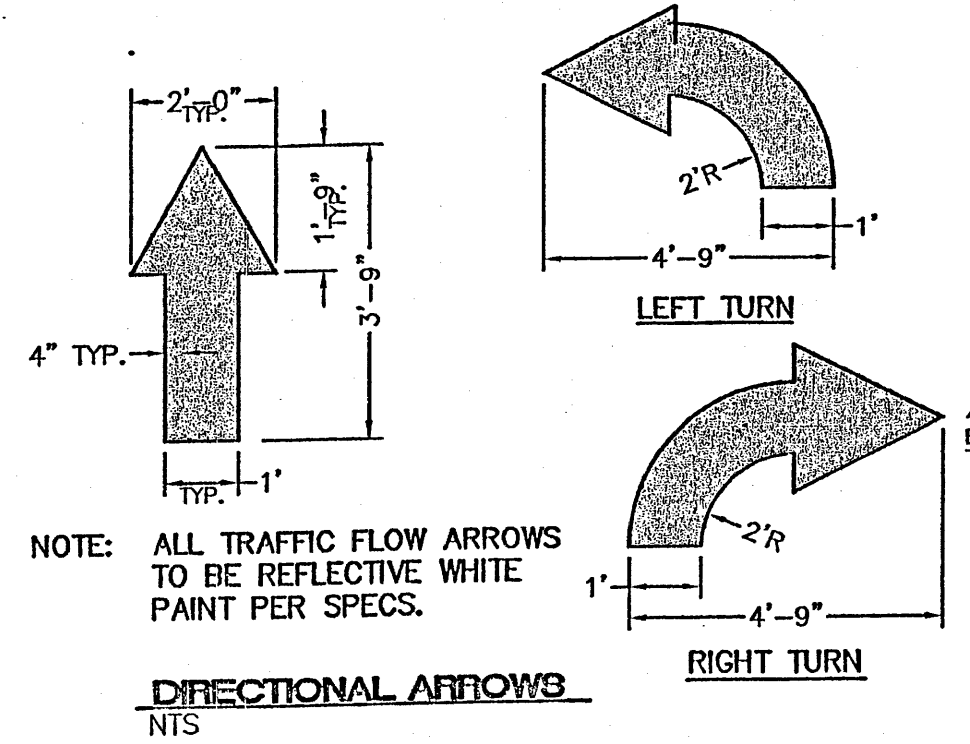
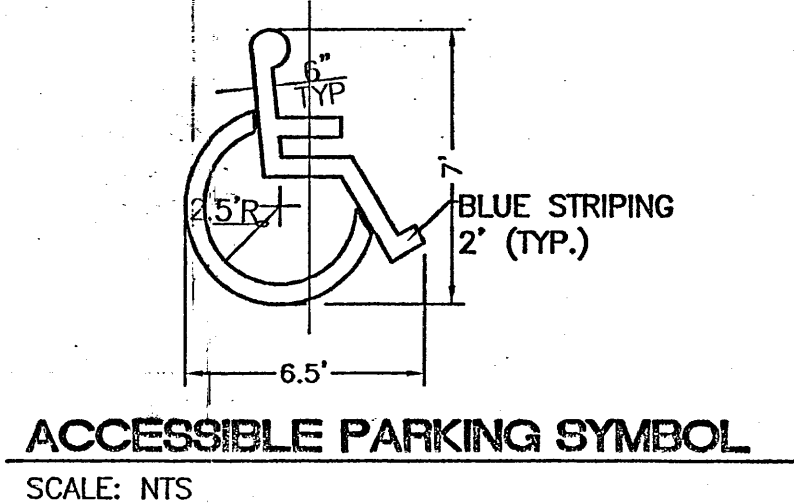
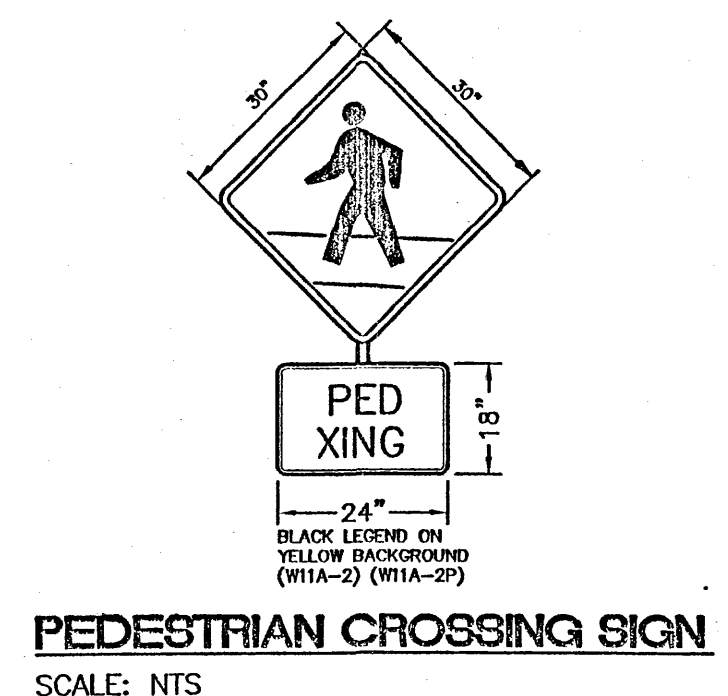
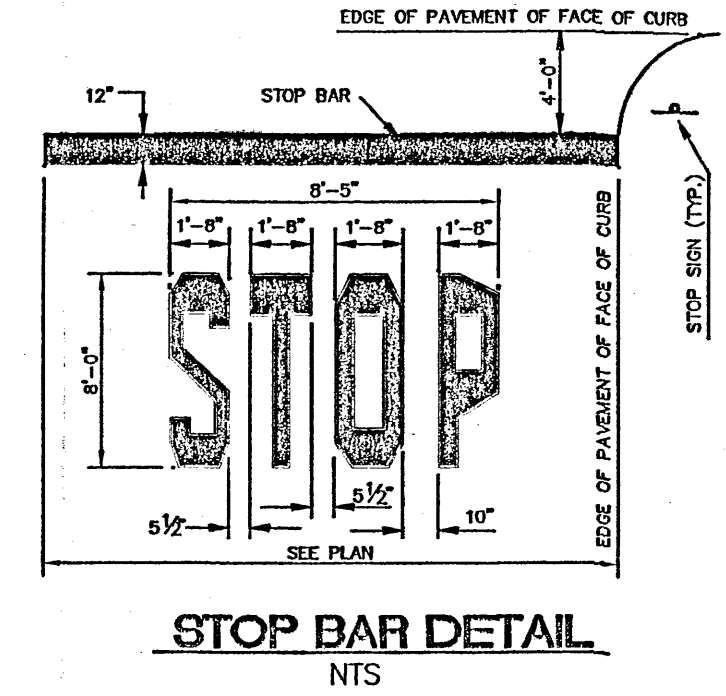
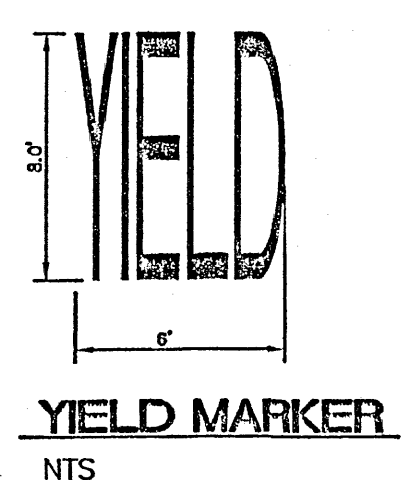
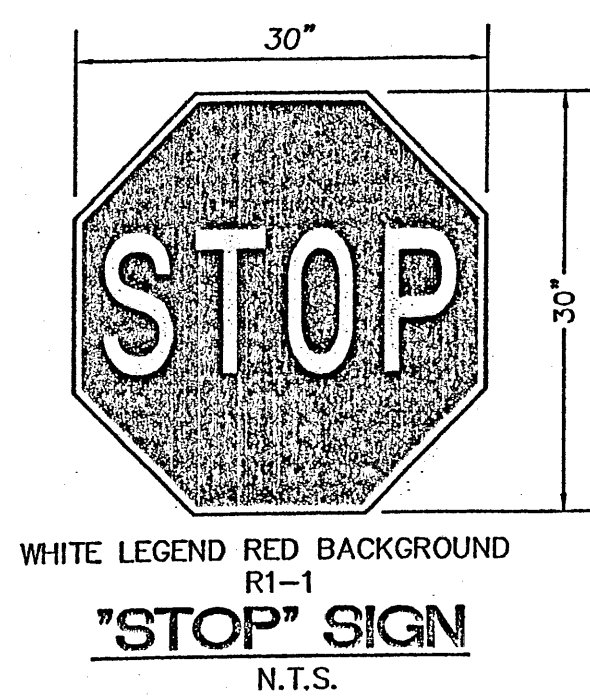
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/5/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

NOTE EXCEPTIONS HERE: NO EXCEPTIONS TAKEN

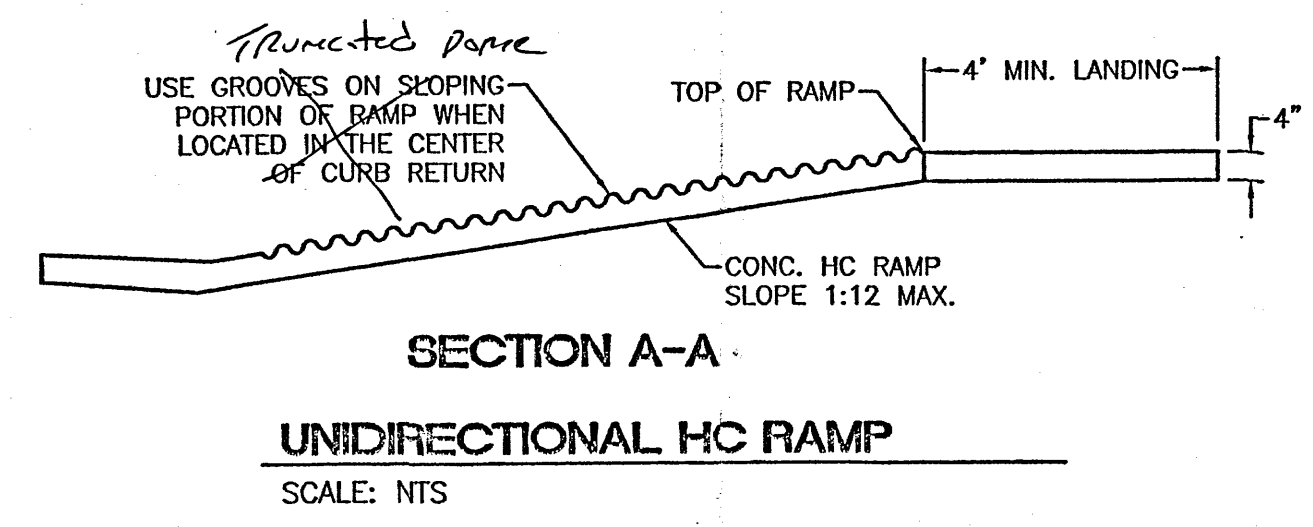
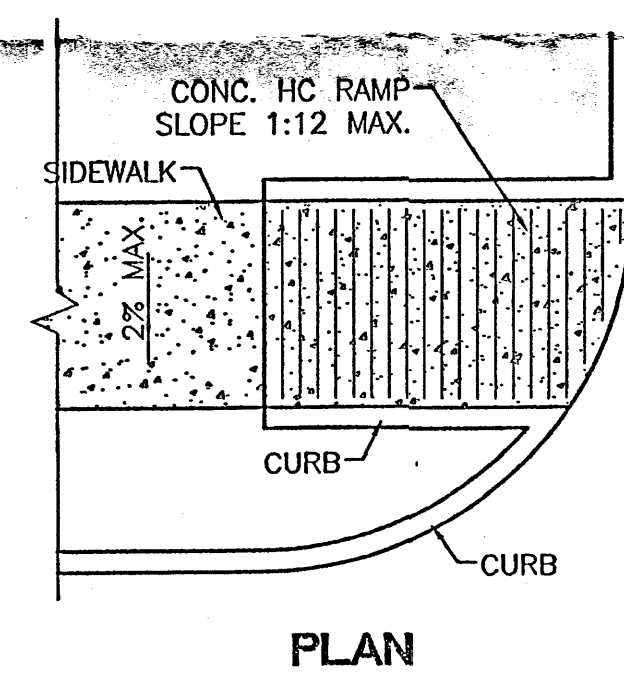
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	EUBANK AND CENTRAL		DRAWN BY: EMT
	GRADING AND DRAINAGE OVERALL PLAN		DATE: 06-24-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		2418690-03-21-0506.dwg
			SHEET # 1

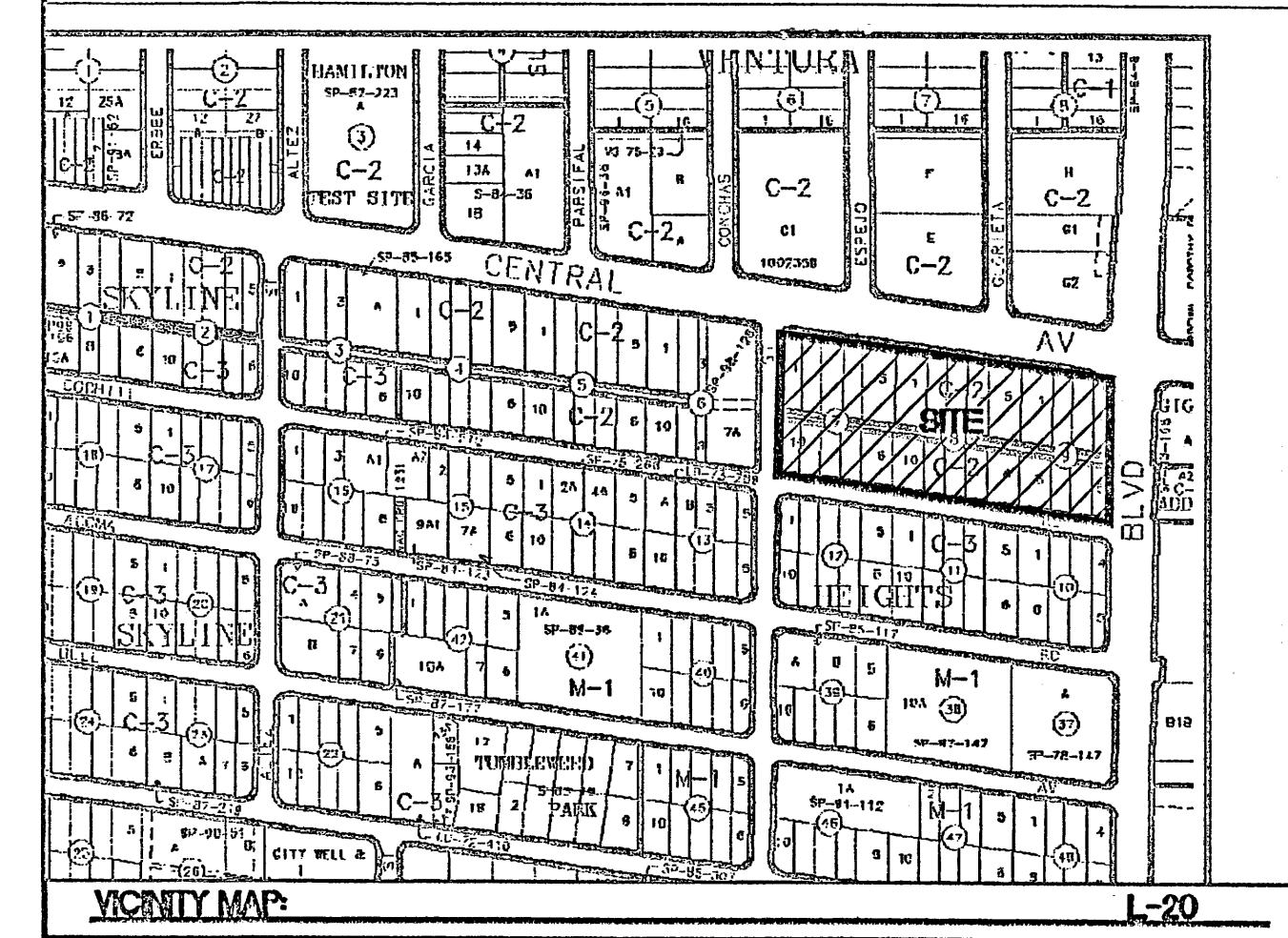


- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
 3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
 4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
 5. CONSTRUCT PER A.D.A. STANDARDS.



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] 10/20/05 Date



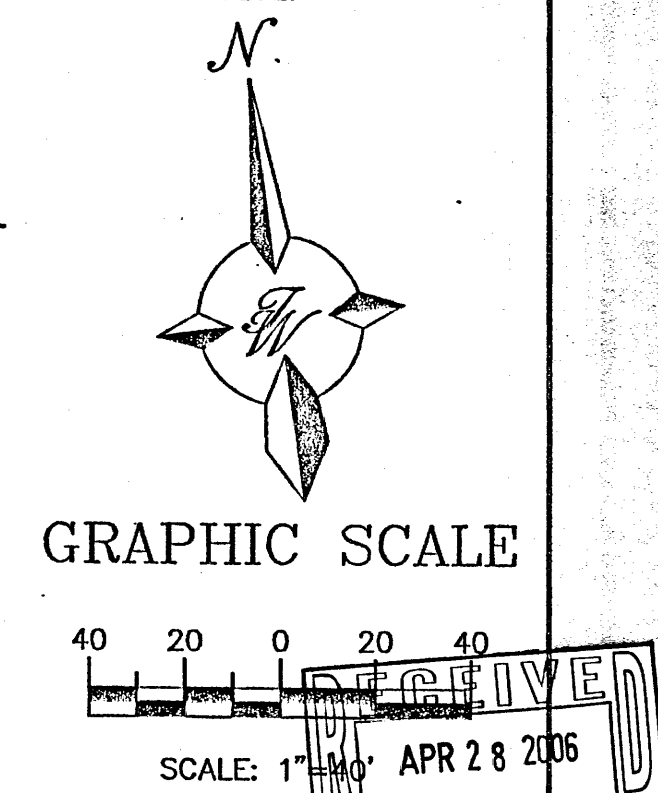
LEGAL DESCRIPTION:
LOTS 1-10 BLK 7; LOTS 1-10 BLK 8; LOTS 1-10 BLK 9; SKYLINE HEIGHTS

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB
 - PROPOSED SCREEN WALL
 - PROPOSED SIDEWALK
 - EXISTING BOUNDARY
 - PROPOSED CROSSWALK
 - PROPOSED BIKE RACK
 - PROPOSED PARKING LOT LIGHTING

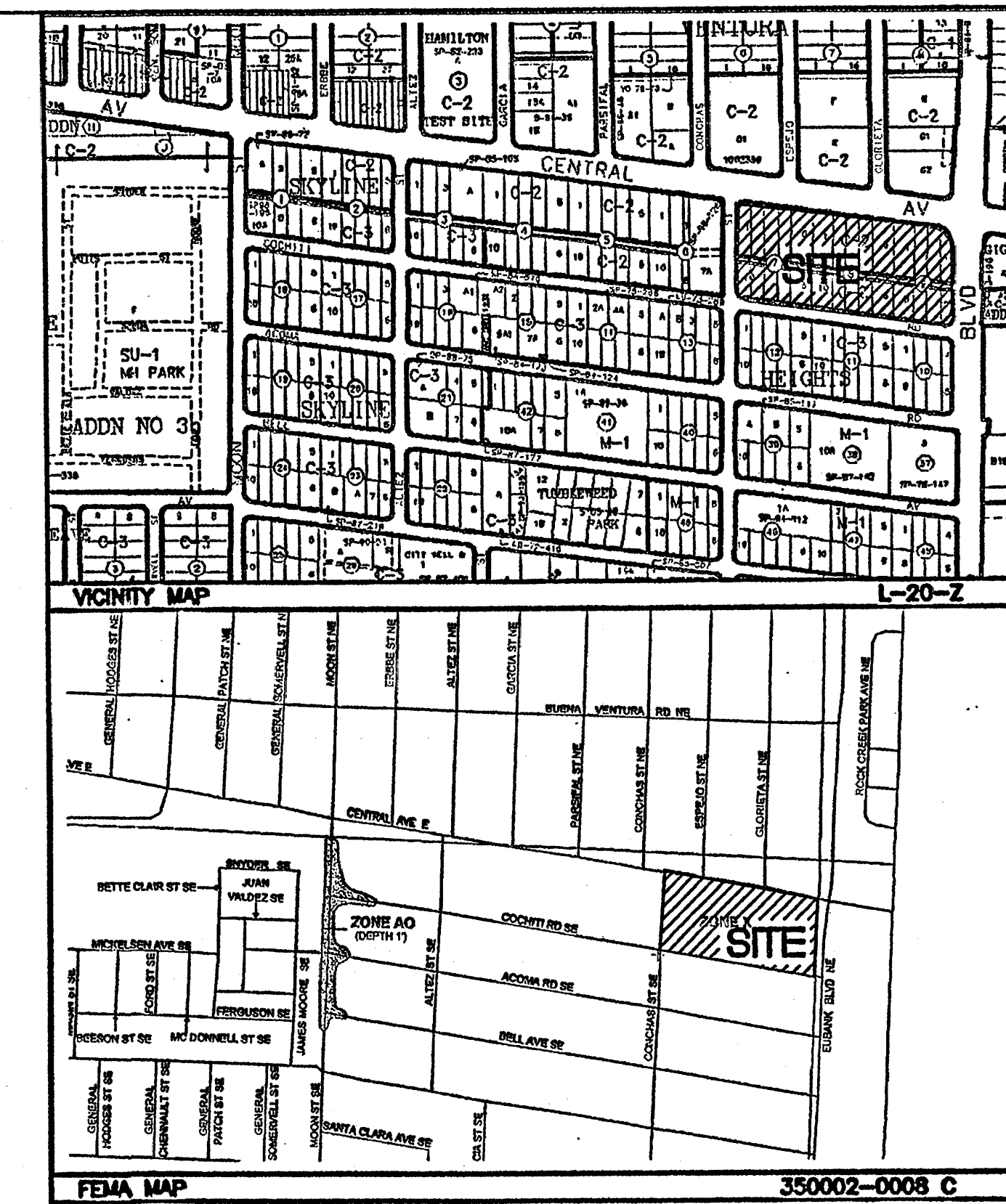
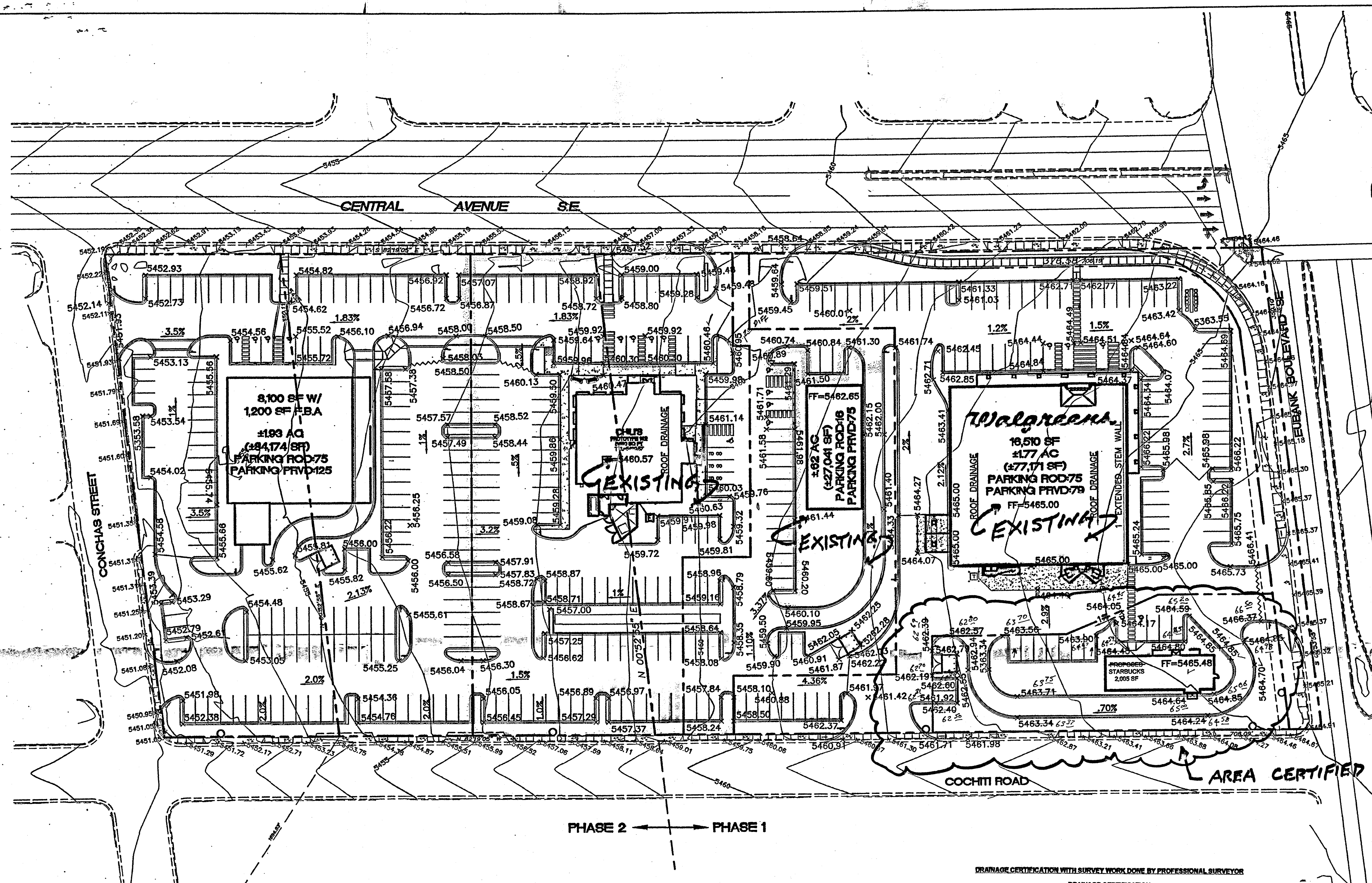
- KEYED NOTES:**
- (A) 6" SW PER C.O.A. STD DWG #2430
 - (B) 6" PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) 8" CURB & GUTTER PER C.O.A. STD DWG #2415A
 - (D) HC RAMP PER C.O.A. STD DWG #2441
 - (E) STOP SIGN (SEE DETAIL)
 - (F) UNI-DIRECTIONAL HC RAMP (SEE DETAIL)
 - (G) STOP BAR STRIPING (SEE DETAIL)
 - (H) YIELD STRIPING (SEE DETAIL)
 - (I) PEDESTRIAN CROSSING SIGN (SEE DETAIL)
 - (J) HANDICAP SIGN (SEE DETAIL)
 - (K) 6" CURB AND GUTTER
 - (L) EXISTING DRIVE PAD TO BE REMOVED AND DISPOSED WITH WORK ORDER #762281
- NOTES:**
- (M) SPACES ON EAST SIDE OF CHILI'S TO HAVE WHEEL STOPS - SEE ARCHITECTURAL PLANS FOR DETAILS
1. ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 2. ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 3. ALL HANDICAP STRIPING TO BE PAINTED BLUE.

SITE DATA

PROPOSED USAGE:	RESTAURANT
LOT AREA:	62,631 SF (1.438 ACRES)
BUILDING AREA:	5,860 SF
PARKING PROVIDED:	111 SPACES
PARKING REQUIRED:	74 SPACES
HC PARKING PROVIDED:	5 SPACES
HC PARKING REQUIRED:	2 SPACES
	1 SPACES VAN ACCESSIBLE



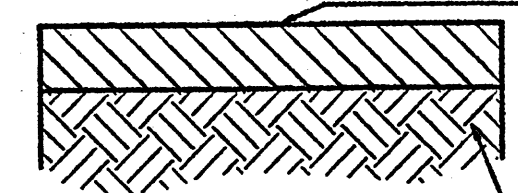
ENGINEER'S SEAL	CENTRAL PARK PLACE CHILI'S	DATE
RON R. BOHANNAN P.E. #7868	TRAFFIC CONTROL LAYOUT	10-18-05
	TERRA WEST, LLC	SHEET #
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 240018



- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - FLOW ARROW
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - RIGHT-OF-WAY
 - LOT LINES
 - LANE
 - STRIPING

- GENERAL NOTES:**
1. MATCH EXISTING PAVING AROUND CURB & GUTTER AND MEDIAN & FLOWLINE.
 2. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

3" ASPHALTIC CONCRETE TO BE COMPACTED TO MINIMUM OF 95% ASTM D-1557

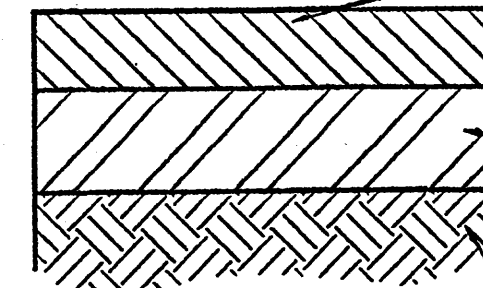


ALL OTHER FILL BELOW PAVEMENT TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557, R-VALUE=50

AUTOMOBILE PARKING TYPICAL PAVING SECTION

1" = 1'

3" ASPHALTIC CONCRETE TO BE COMPACTED TO MINIMUM OF 95% ASTM D-1557

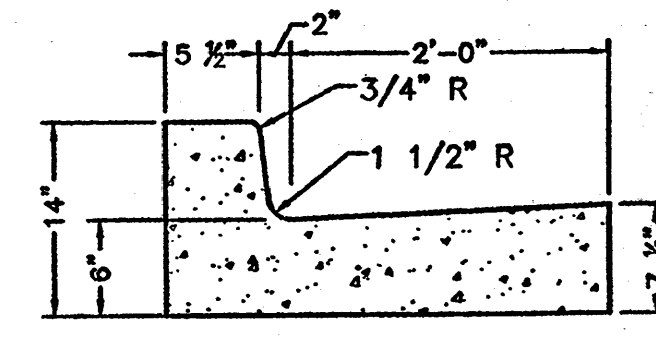


4" AGGREGATE BASE COURSE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY ASTM D-1557

ALL OTHER FILL BELOW PAVEMENT TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557, R-VALUE=50

AUTOMOBILE DRIVEWAYS TYPICAL PAVING SECTION

1" = 1'



STD. STANDARD CURB AND GUTTER

NTS

DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

DRAINAGE CERTIFICATION

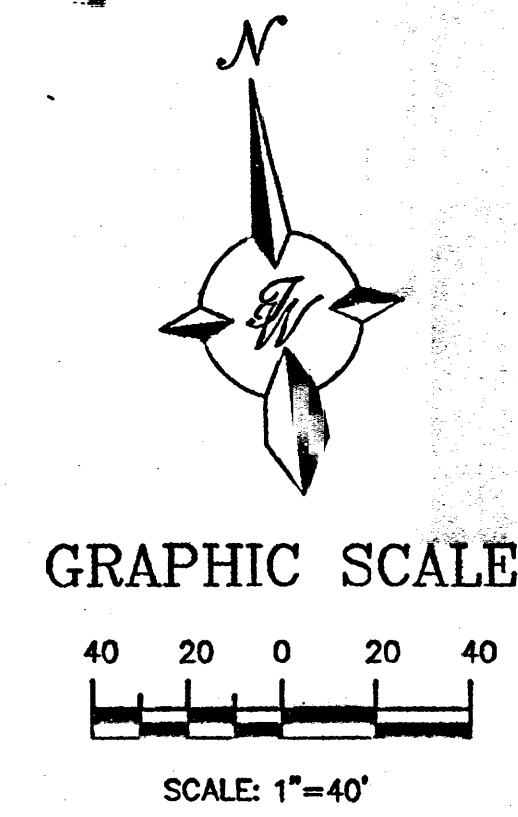
I, Ronald R. Bohannon, NMPE 7298, OF THE FIRM Tierra West LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 08-24-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Michael R. Bohannon, NMPS, 11224 OF THE FIRM Survey Solutions, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/11/07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Final Certificate of Occupancy.

Remaining Items for completion: No items remaining for completion

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNON, NMPE 7298
DATE: 08-24-05
PROFESSIONAL SURVEYOR

ALBUQUERQUE BUILDING & SAFETY
OCT 20 2005
ISC
PLAN CHECK SECTION

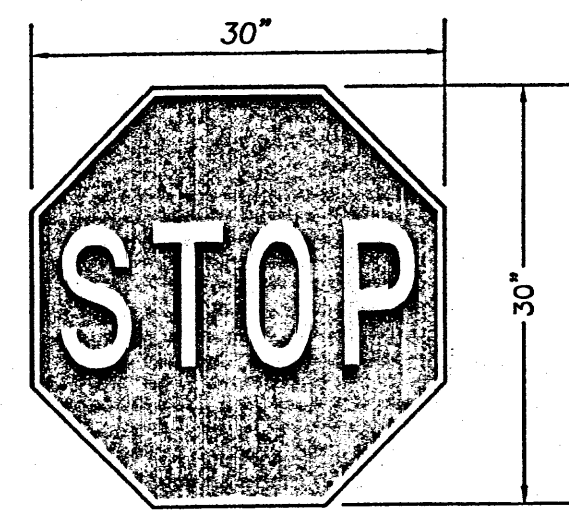


RECEIVED
AUG 02 2007
HYDROLOGY SECTION

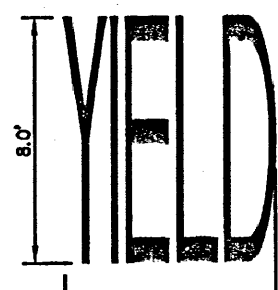
CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

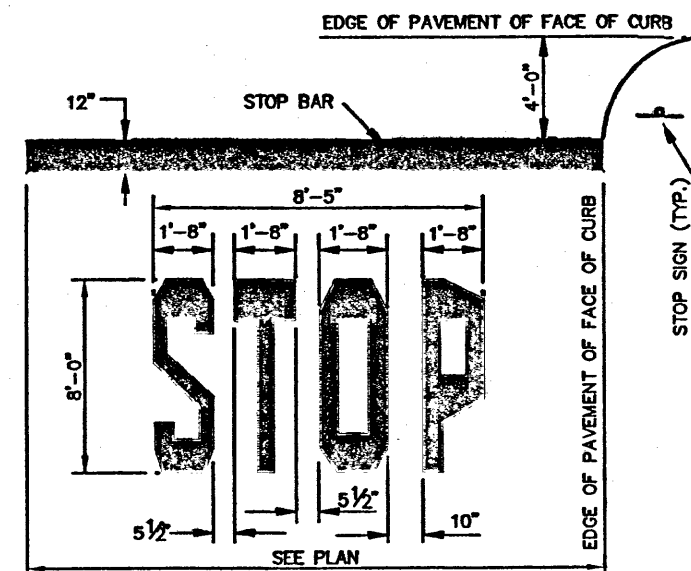
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	GRADING AND DRAINAGE OVERALL PLAN		DATE: <u>06-24-05</u>
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-3100		SHEET # 1
			JOB # <u>240018</u>



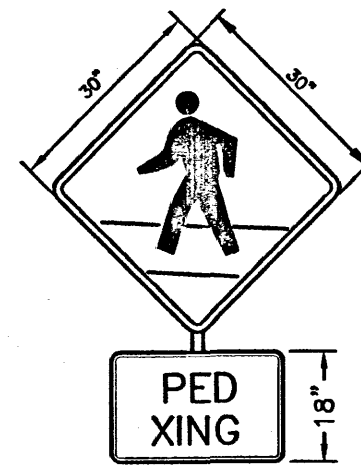
WHITE LEGEND RED BACKGROUND
R1-1
"STOP" SIGN
N.T.S.



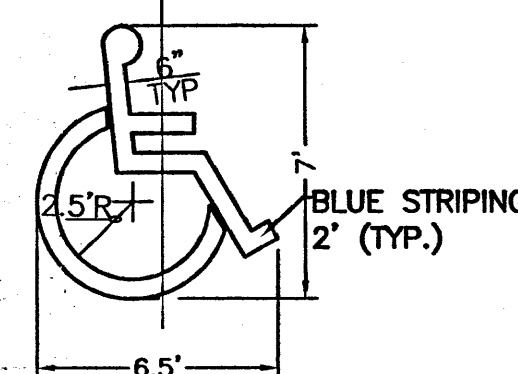
YIELD MARKER
NTS



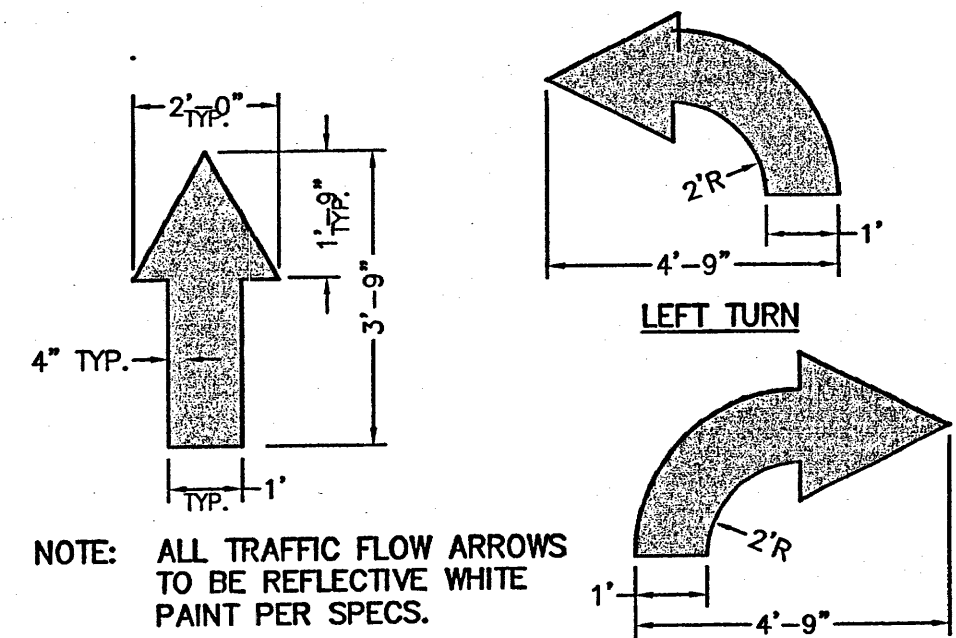
STOP BAR DETAIL
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PEDESTRIAN CROSSING SIGN
SCALE: NTS

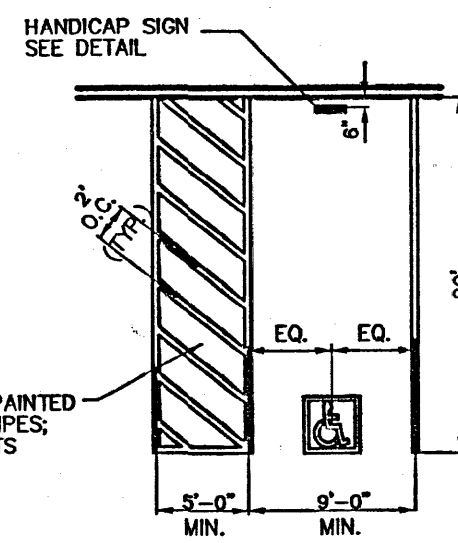


ACCESSIBLE PARKING SYMBOL
SCALE: NTS
LOCATE AT EDGE OF PARKING SPACE UNLESS
ACCOMPANIED BY "VAN" LETTERING

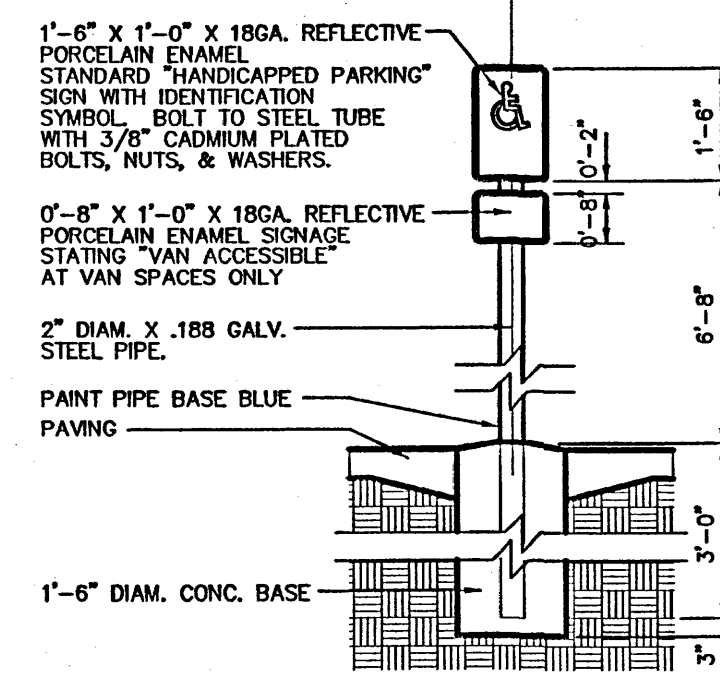


NOTE: ALL TRAFFIC FLOW ARROWS
TO BE REFLECTIVE WHITE
PAINT PER SPECS.

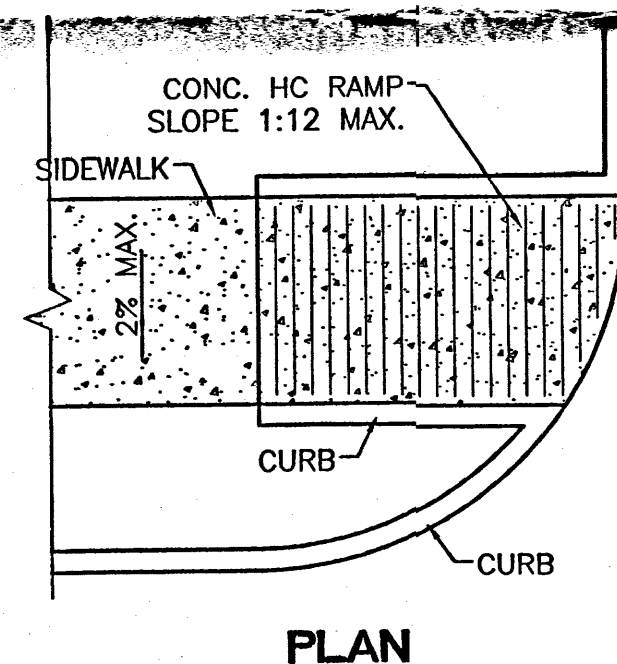
DIRECTIONAL ARROWS
NTS



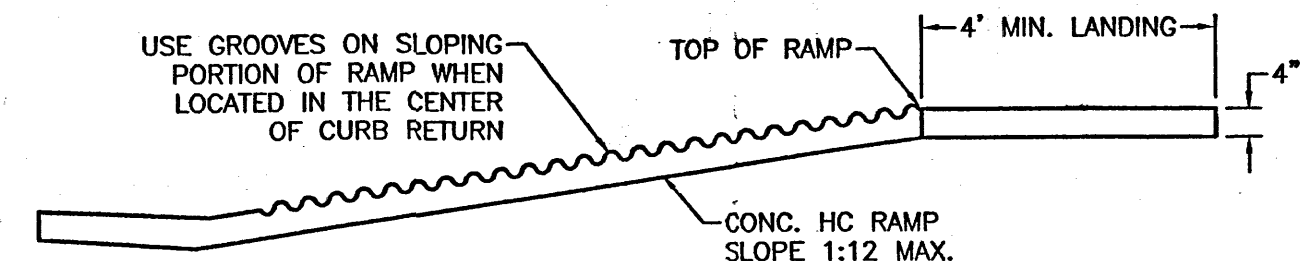
HANDICAP PARKING
NTS



HANDICAP SIGN
1/2" = 1'-0"



PLAN



SECTION A-A

UNIDIRECTIONAL HC RAMP

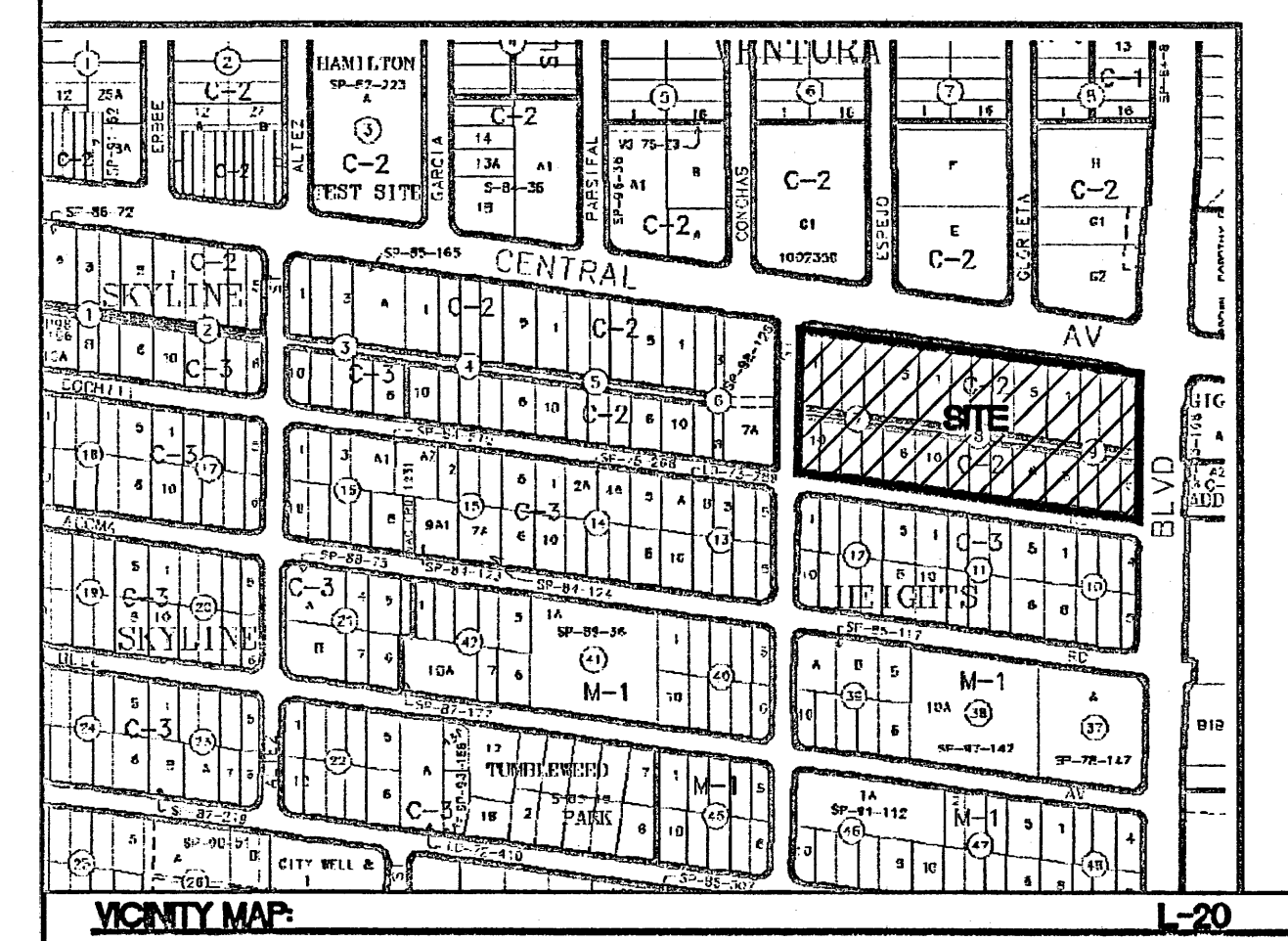
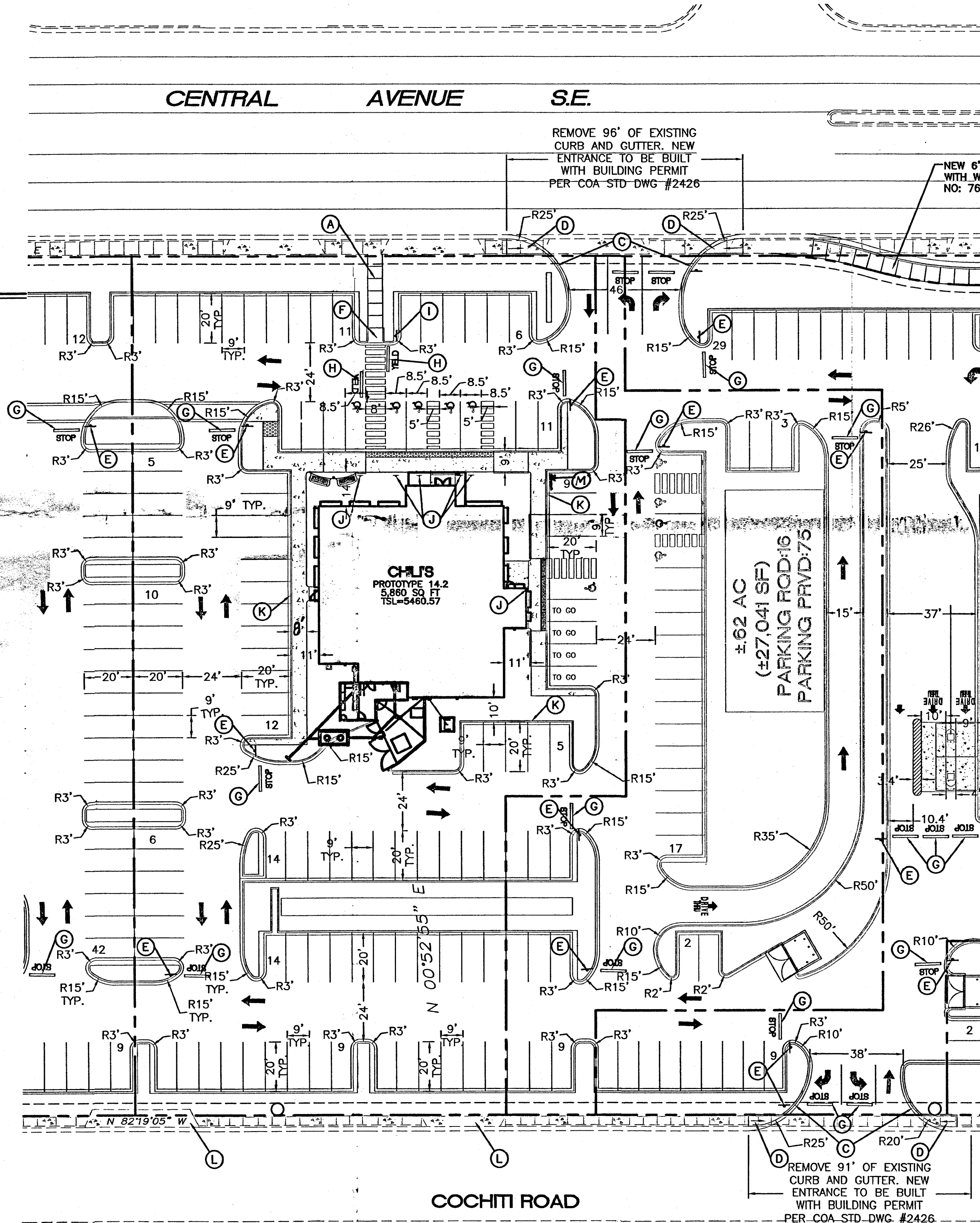
SCALE: NTS

NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed: *[Signature]* Date: 10/20/05



LEGAL DESCRIPTION:

LOTS 1-10 BLK 7; LOTS 1-10 BLK 8; LOTS 1-10 BLK 9; SKYLINE HEIGHTS

LEGEND

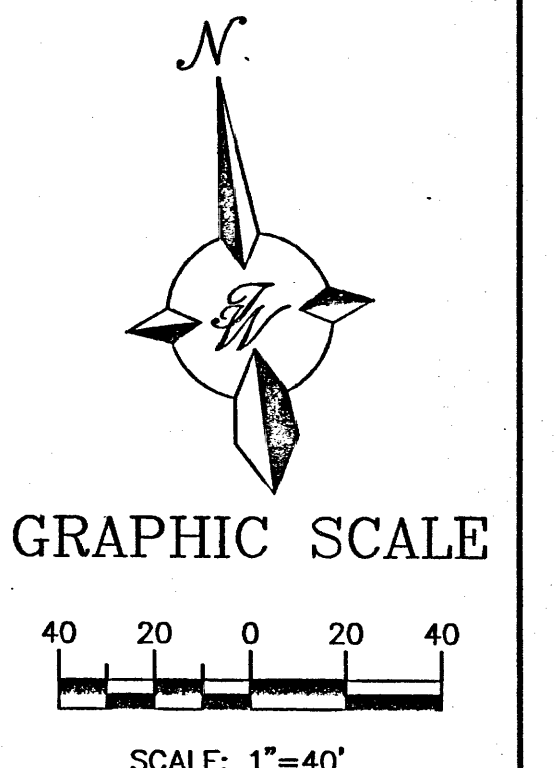
- BOUNDARY LINE
- EASEMENT
- EXISTING CURB AND GUTTER
- PROPOSED CURB
- PROPOSED SCREEN WALL
- PROPOSED SIDEWALK
- EXISTING BOUNDARY
- PROPOSED CROSSWALK
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING

KEYED NOTES:

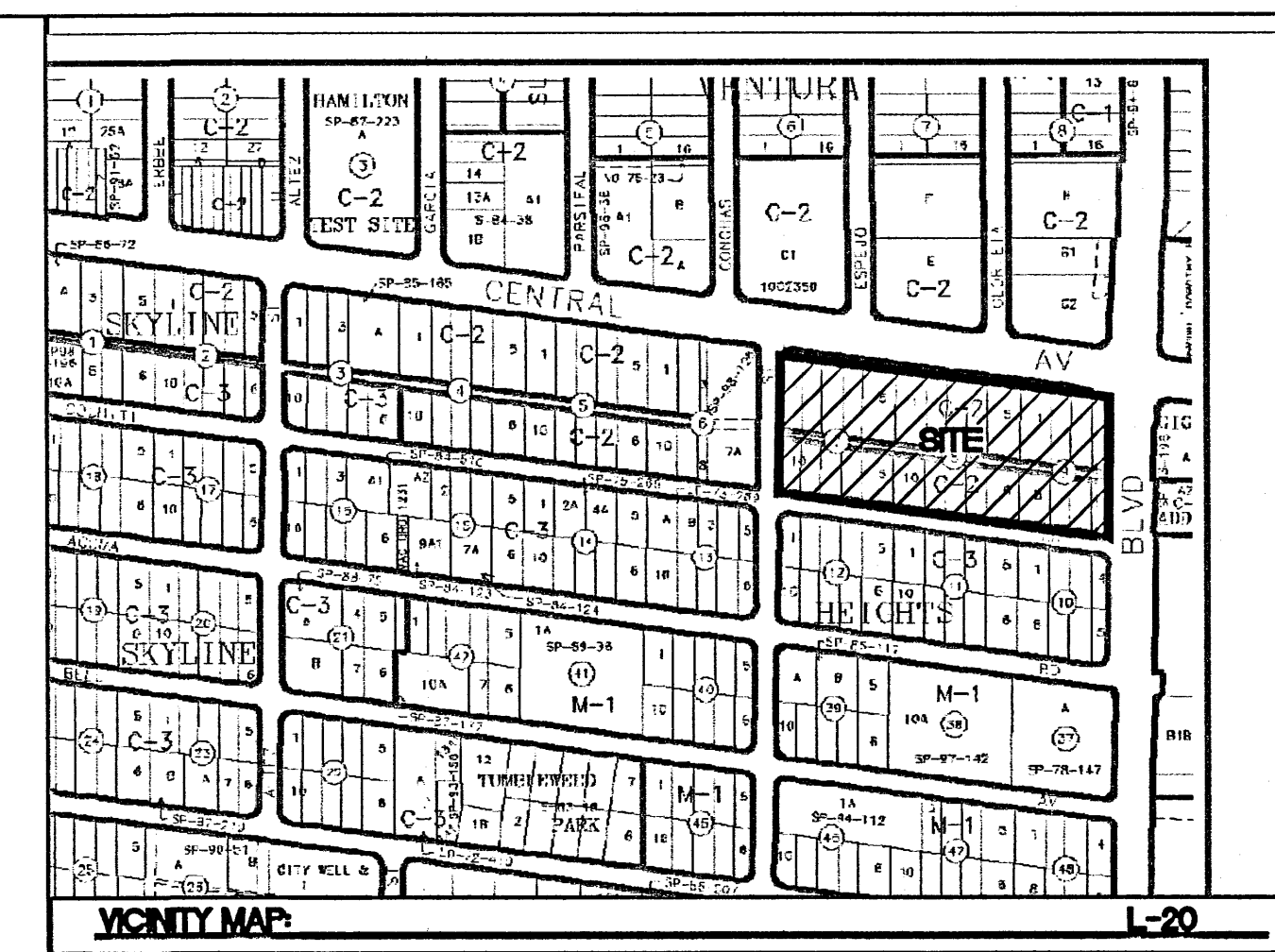
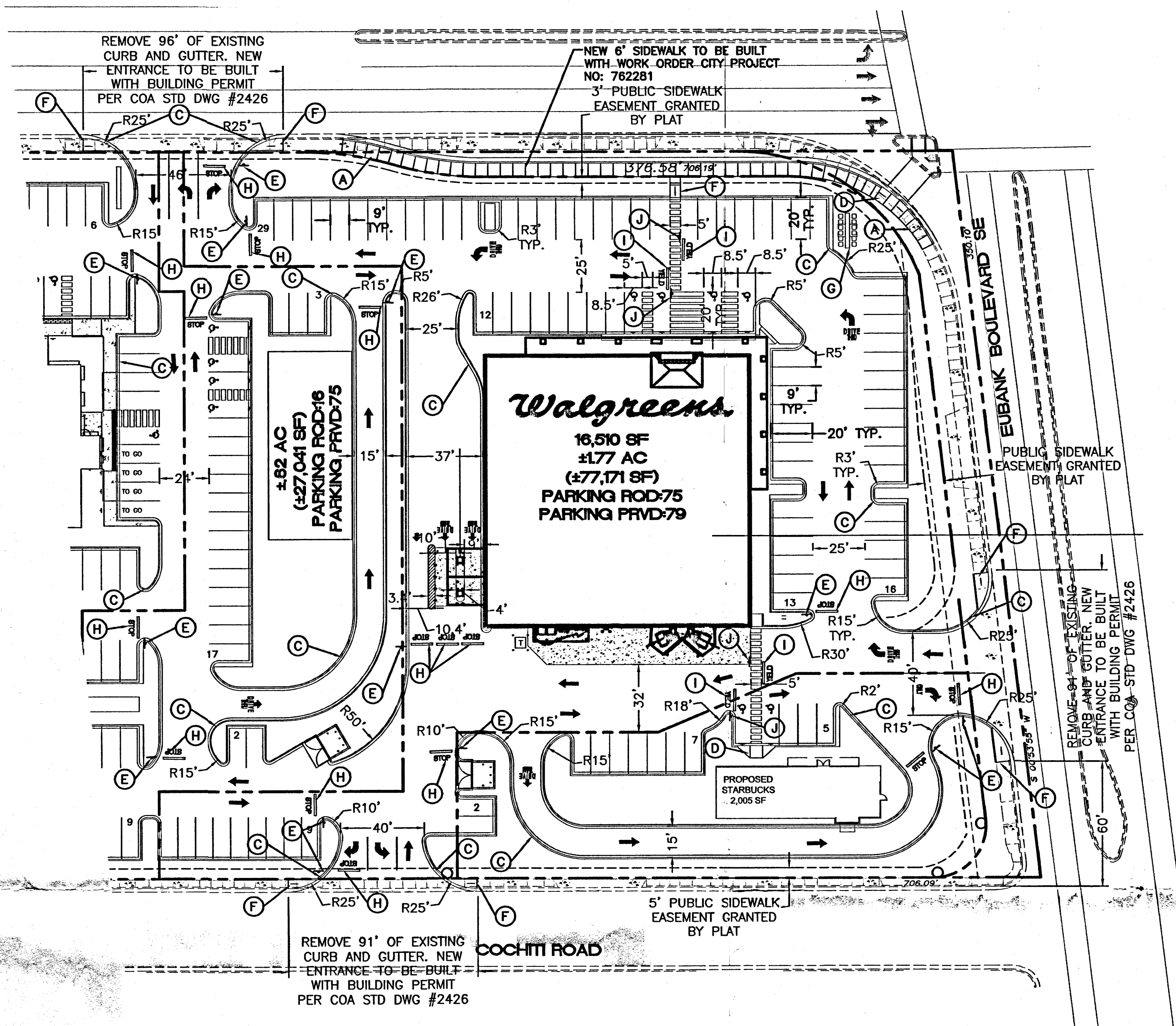
- (A) 6" SW PER C.O.A. STD DWG #2430
 - (B) 6" PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) 8" CURB & GUTTER PER C.O.A. STD DWG #2415A
 - (D) HC RAMP PER C.O.A. STD DWG #2441
 - (E) STOP SIGN (SEE DETAIL)
 - (F) UNI-DIRECTIONAL HC RAMP (SEE DETAIL)
 - (G) STOP BAR STRIPING (SEE DETAIL)
 - (H) YIELD STRIPING (SEE DETAIL)
 - (I) PEDESTRIAN CROSSING SIGN (SEE DETAIL)
 - (J) HANDICAP SIGN (SEE DETAIL)
 - (K) 6" CURB AND GUTTER
 - (L) EXISTING DRIVE PAD TO BE REMOVED AND DISPOSED WITH WORK ORDER #762281
- NOTES: (M) SPACES ON EAST SIDE OF CHILI'S TO HAVE WHEEL STOPS - SEE ARCHITECTURAL PLANS FOR DETAILS
1. ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 2. ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 3. ALL HANDICAP STRIPING TO BE PAINTED BLUE.

SITE DATA

PROPOSED USAGE:	RESTAURANT
LOT AREA:	62,631 SF (1.438 ACRES)
BUILDING AREA:	5,860 SF
PARKING PROVIDED:	111 SPACES
PARKING REQUIRED:	74 SPACES
HC PARKING PROVIDED:	5 SPACES
HC PARKING REQUIRED:	2 SPACES
	1 SPACES VAN ACCESSIBLE



ENGINEER'S SEAL	CENTRAL PARK PLACE CHILI'S	DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT	DATE 10-18-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2418-TCL-05-28-05-CHL15
	RON R. BOHANNAN P.E. #7868	SHEET # -
		JOB # 240018

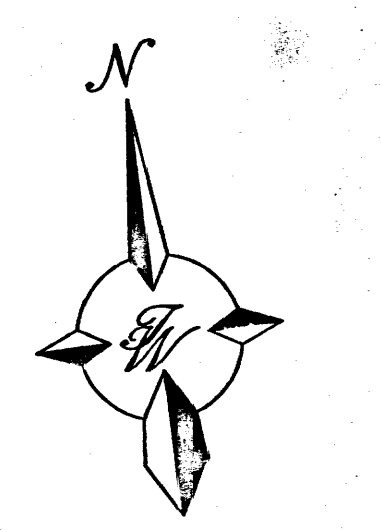
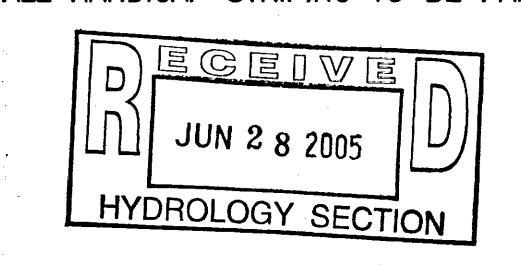
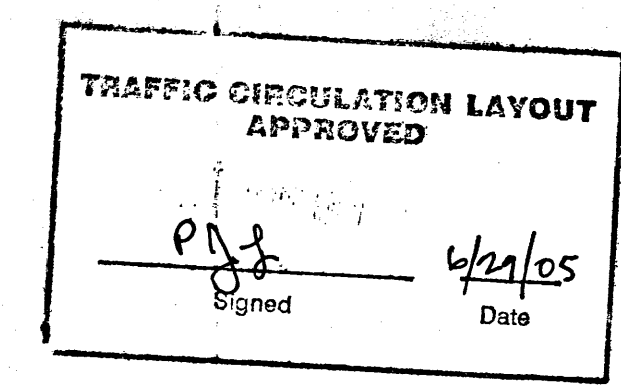


LEGAL DESCRIPTION
LOTS 1-10 BLK 7; LOTS 1-10 BLK 8; LOTS 1-10 BLK 9; SKYLINE HEIGHTS

- LEGEND**
- BOUNDARY LINE
 - - - EASEMENT
 - ===== EXISTING CURB AND GUTTER
 - ===== PROPOSED CURB
 - ===== PROPOSED SCREEN WALL
 - ===== PROPOSED SIDEWALK
 - ===== EXISTING BOUNDARY
 - ===== PROPOSED CROSSWALK
 - ===== PROPOSED BIKE RACK
 - ===== PROPOSED PARKING LOT LIGHTING

- KEYED NOTES:**
- (A) 6' SW PER C.O.A. STD DWG #2430
 - (B) 6' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) 8" CURB & GUTTER PER C.O.A. STD DWG #2415
 - (D) HC RAMP PER C.O.A. STD DWG #2441
 - (E) STOP SIGN (SEE DETAIL)
 - (F) UNI-DIRECTIONAL HC RAMP (SEE DETAIL)
 - (G) WALGREENS LED READER BOARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - (H) STOP BAR STRIPING (SEE DETAIL)
 - (I) YIELD STRIPING (SEE DETAIL)
 - (J) PEDESTRIAN CROSSING SIGN (SEE DETAIL)

- NOTES:**
1. ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 2. ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 3. ALL HANDICAP STRIPING TO BE PAINTED BLUE.



SITE DATA

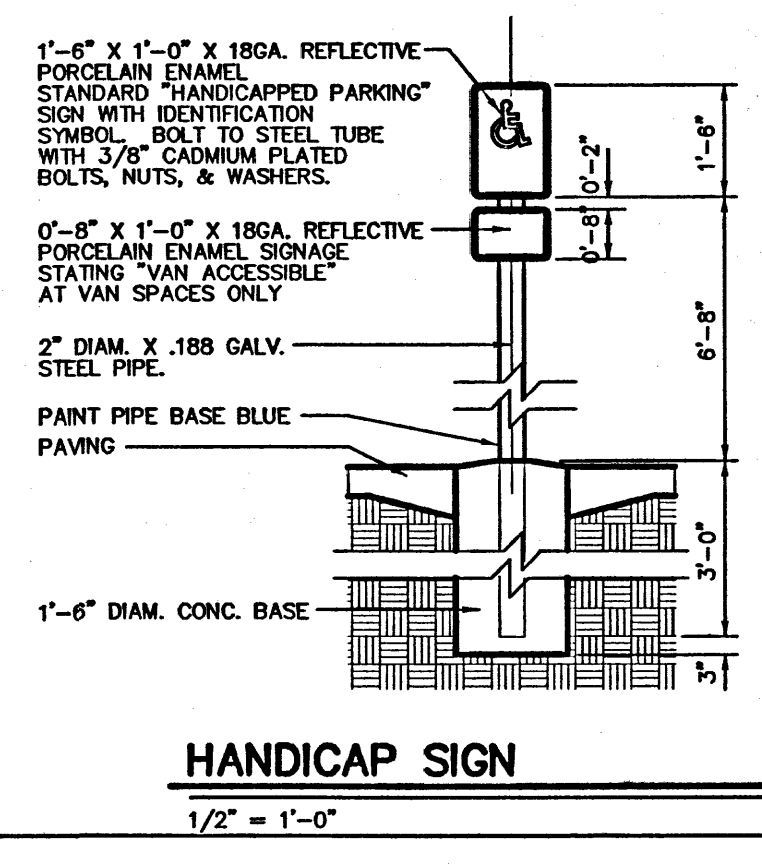
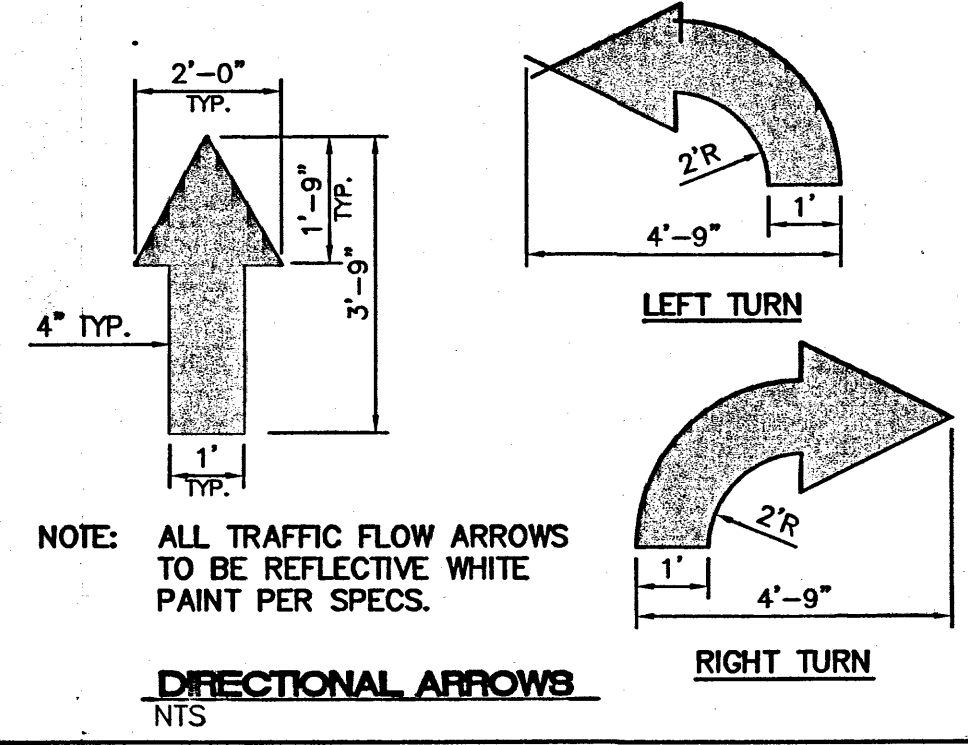
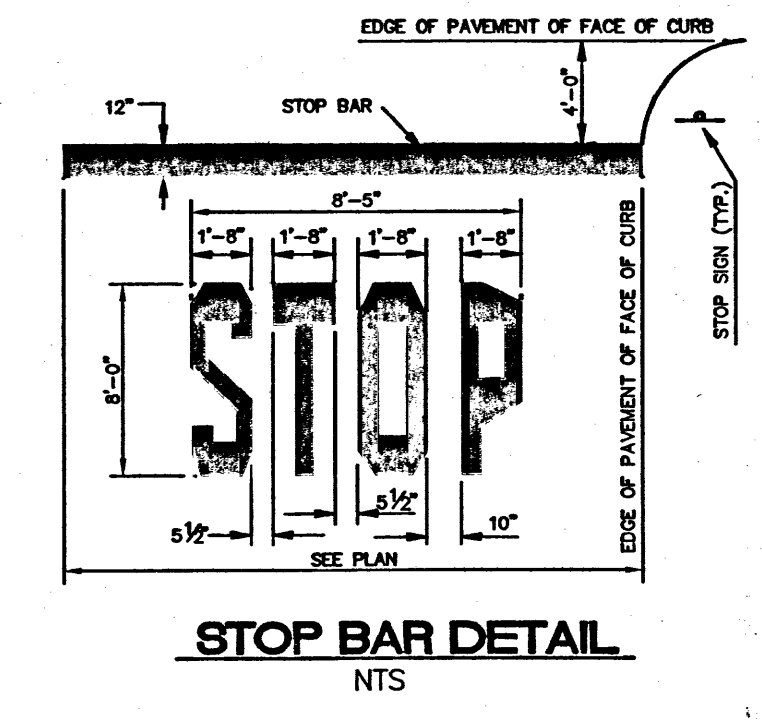
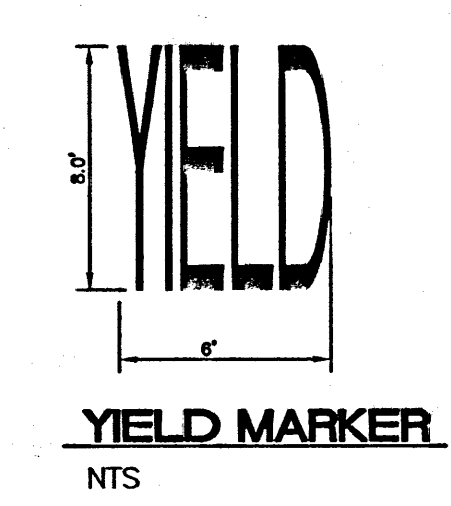
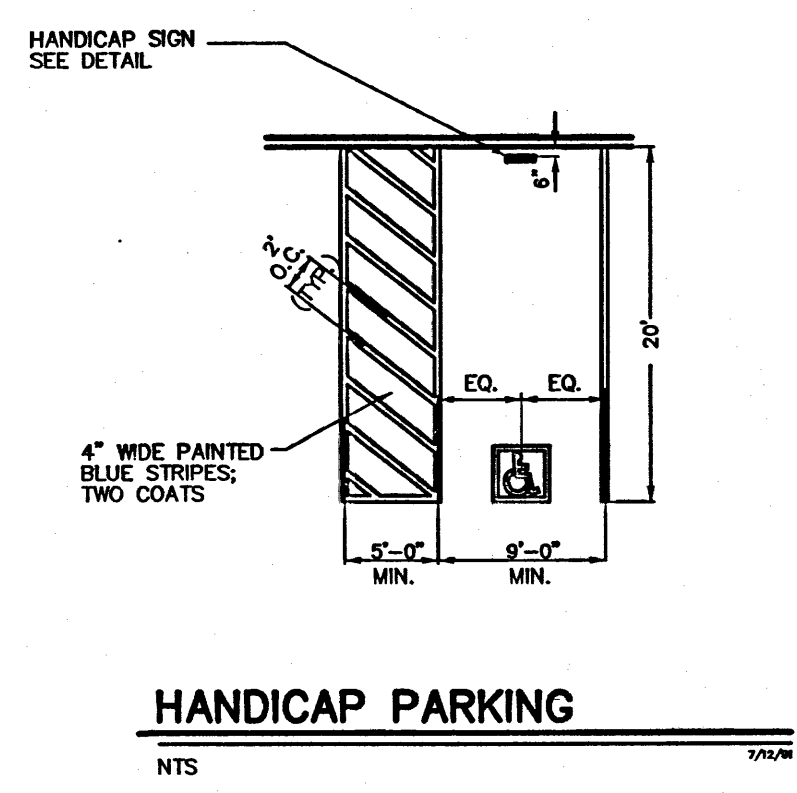
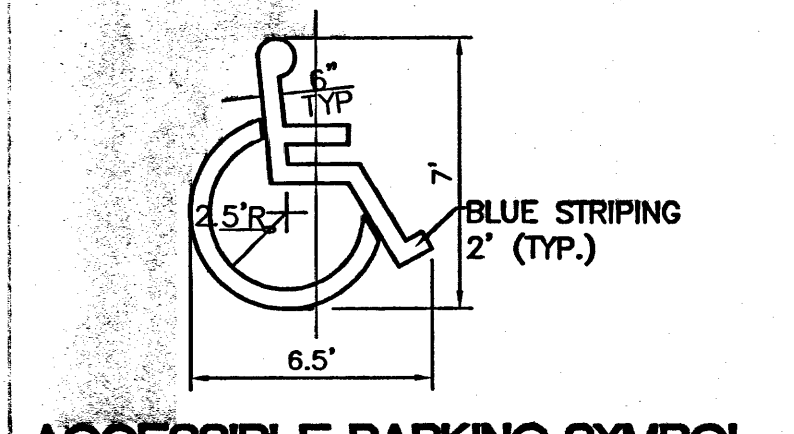
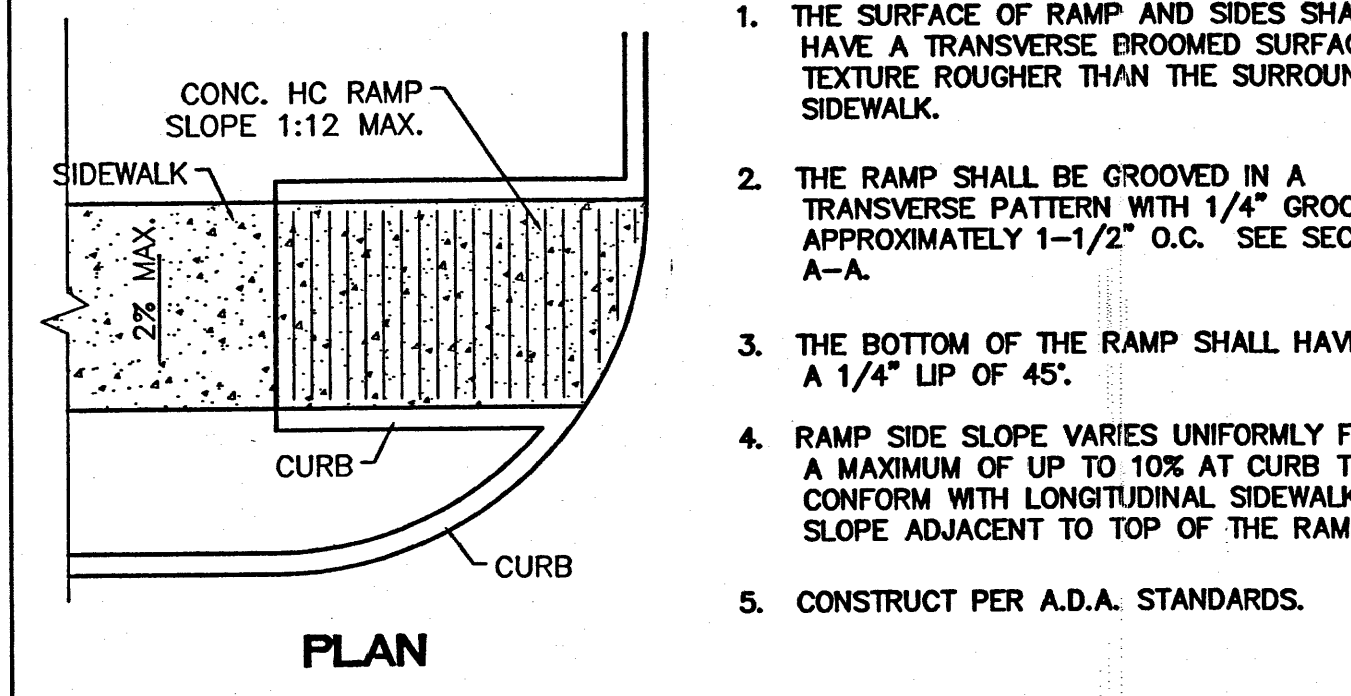
PROPOSED USAGE:	WALGREEN'S CONVENIENCE STORE
LOT AREA:	77,171 SF (1.77 ACRES)
BUILDING AREA:	16,510 SF
PARKING PROVIDED:	79 SPACES
PARKING REQUIRED:	75 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
	1 SPACES VAN ACCESSIBLE

GRAPHIC SCALE

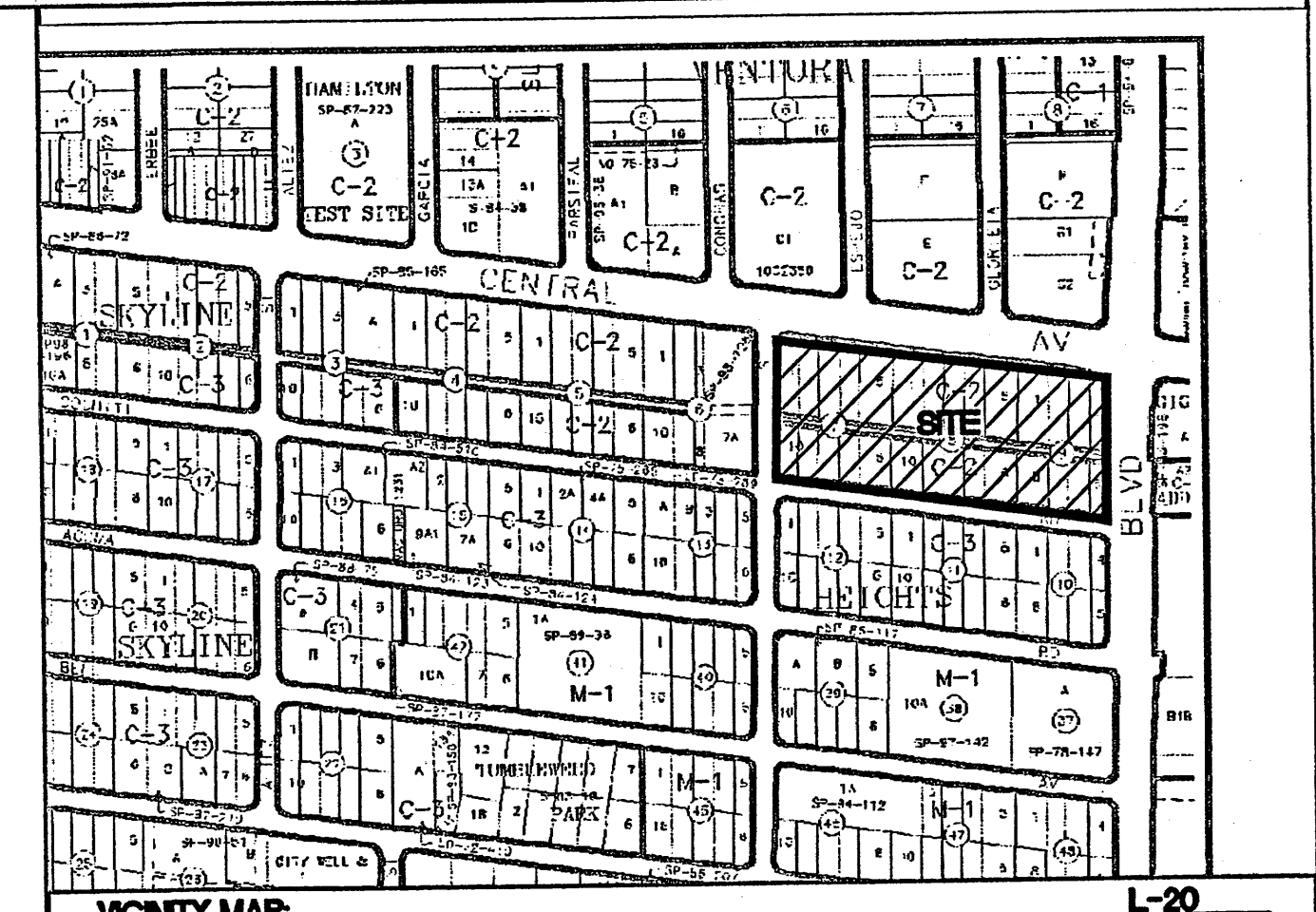
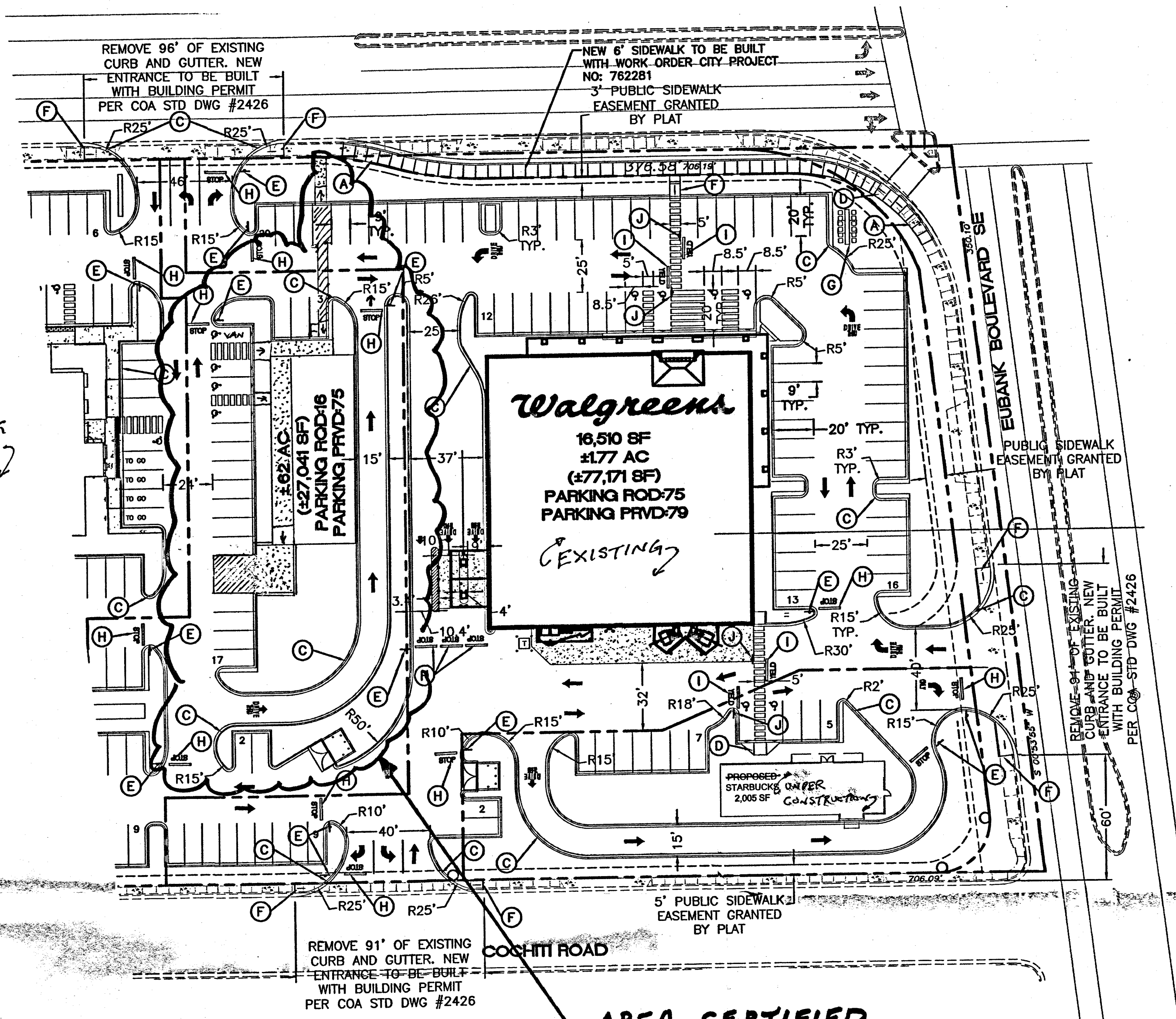
40 20 0 20 40

SCALE: 1"=40'

- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
 3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
 4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
 5. CONSTRUCT PER A.D.A. STANDARDS.



ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	CENTRAL PARK PLACE WALGREEN'S	DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT	DATE 06-29-05
	2418-TCL-05-04-05	SHEET # -
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 240018



LEGAL DESCRIPTION:
LOTS 1-10 BLK 7; LOTS 1-10 BLK 8; LOTS 1-10 BLK 9; SKYLINE HEIGHTS

- LEGEND**
- BOUNDARY LINE
 - EASEMENT
 - ===== EXISTING CURB AND GUTTER
 - ===== PROPOSED CURB
 - ===== PROPOSED SCREEN WALL
 - ===== PROPOSED SIDEWALK
 - EXISTING BOUNDARY
 - ===== PROPOSED CROSSWALK
 - ===== PROPOSED BIKE RACK
 - ===== PROPOSED PARKING LOT LIGHTING

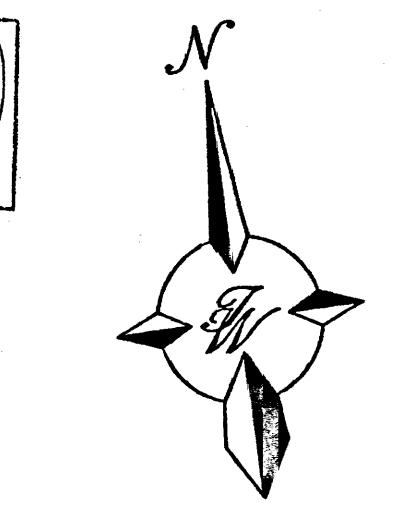
- KEYED NOTES:**
- (A) 6' SW PER C.O.A. STD DWG #2430
 - (B) 6' PEDESTRIAN ACCESS (MATERIAL TO BE CONCRETE)
 - (C) 8" CURB & GUTTER PER C.O.A. STD DWG #2415
 - (D) HC RAMP PER C.O.A. STD DWG #2441
 - (E) STOP SIGN (SEE DETAIL)
 - (F) UNI-DIRECTIONAL HC RAMP (SEE DETAIL)
 - (G) WALGREENS LED READER BOARD (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - (H) STOP BAR STRIPING (SEE DETAIL)
 - (I) YIELD STRIPING (SEE DETAIL)
 - (J) PEDESTRIAN CROSSING SIGN (SEE DETAIL)

- NOTES:**
1. ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 2. ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 3. ALL HANDICAP STRIPING TO BE PAINTED BLUE.

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: *[Signature]* Date: 6/29/05

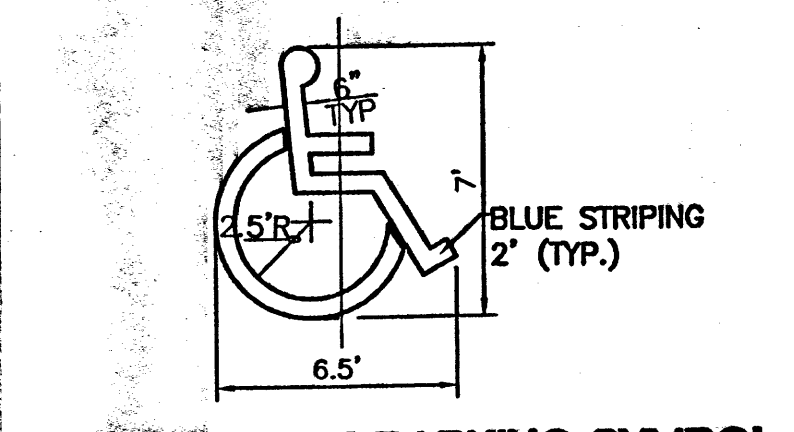
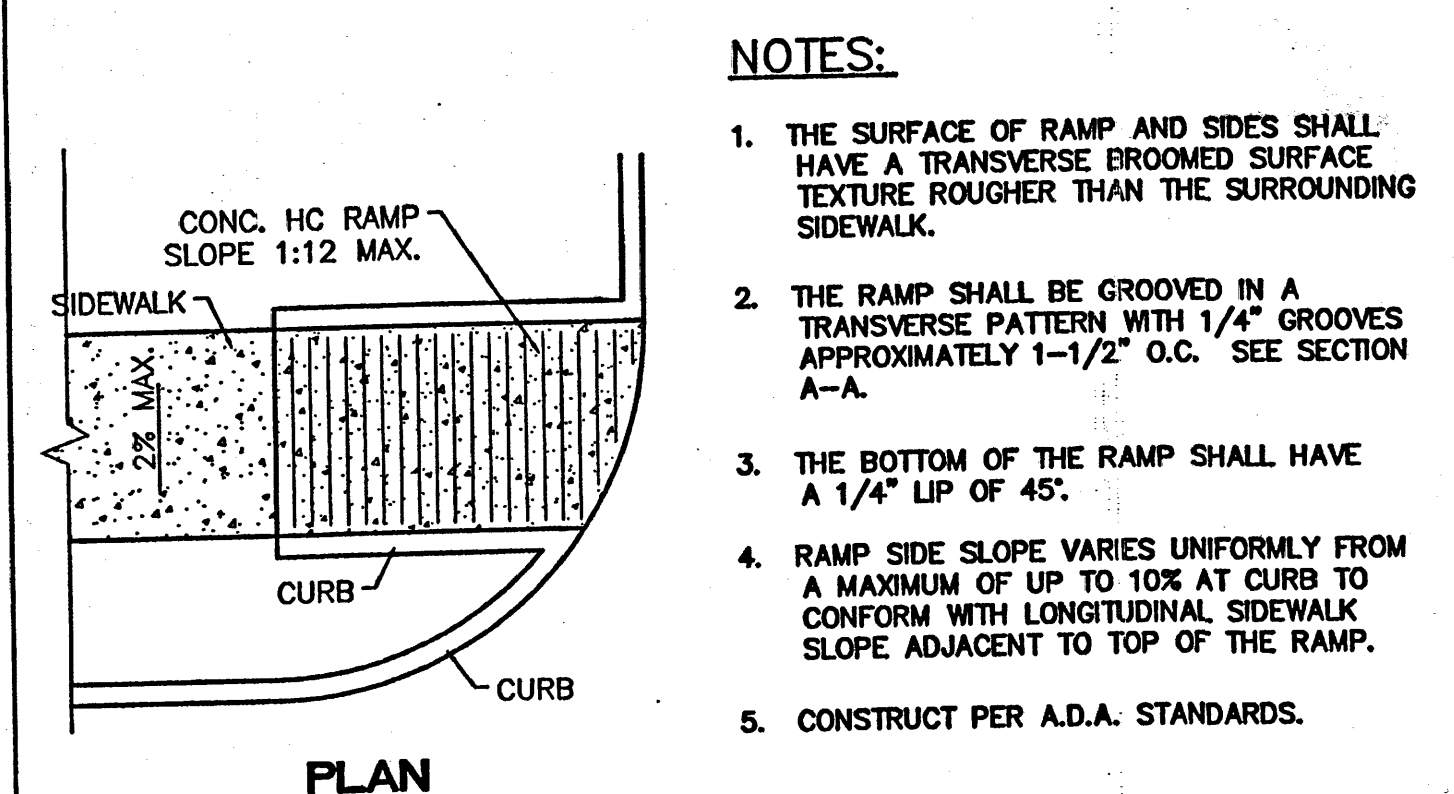
SITE DATA	
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HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	4 SPACES
	1 SPACES VAN ACCESSIBLE

RECEIVED
JUN 28 2005
HYDROLOGY SECTION

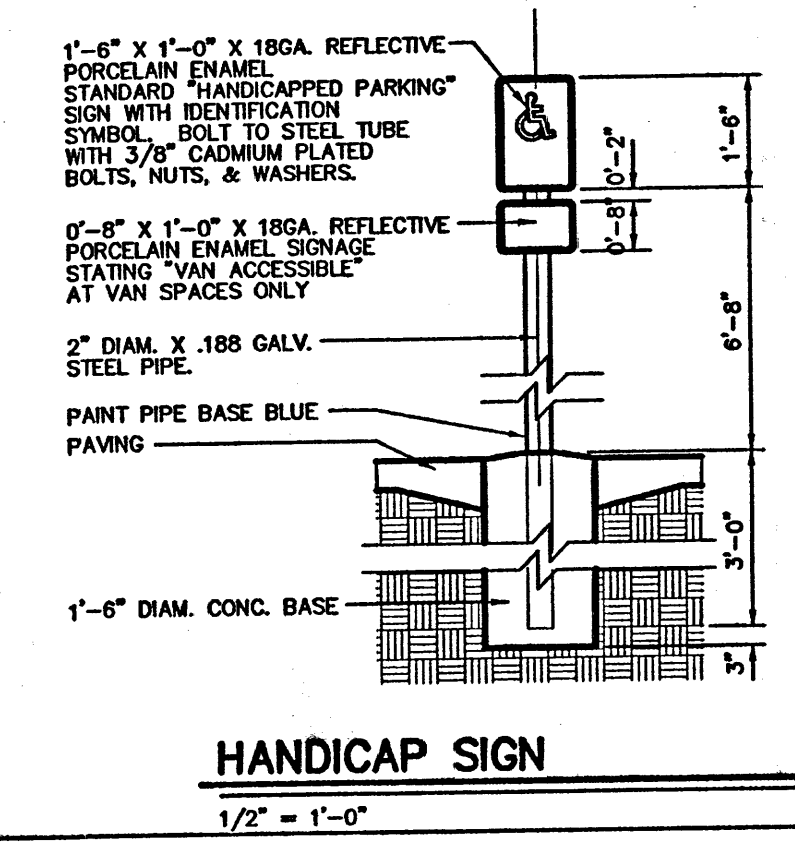
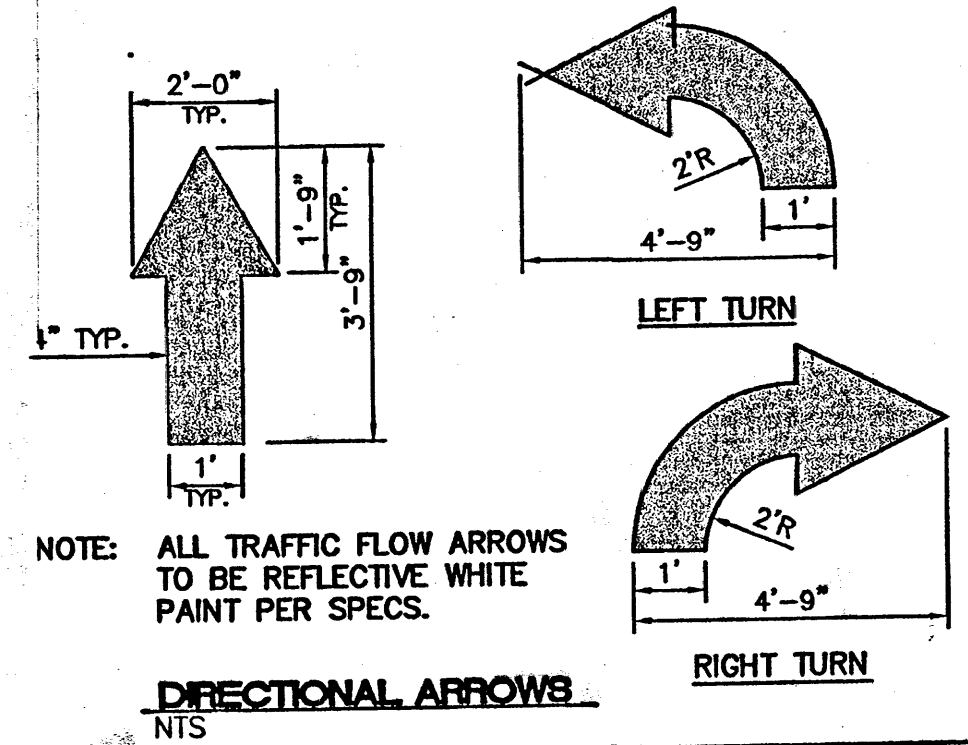
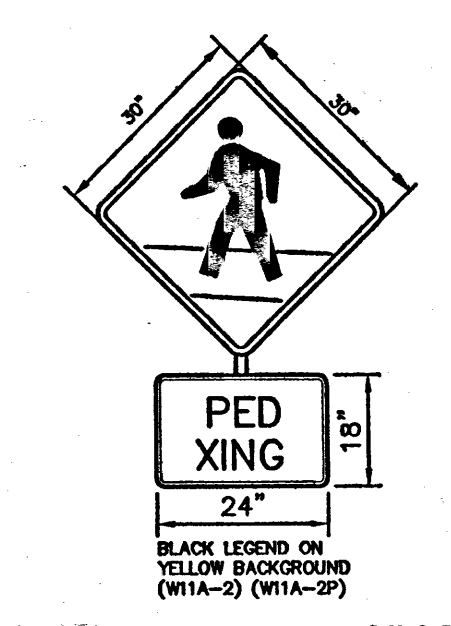
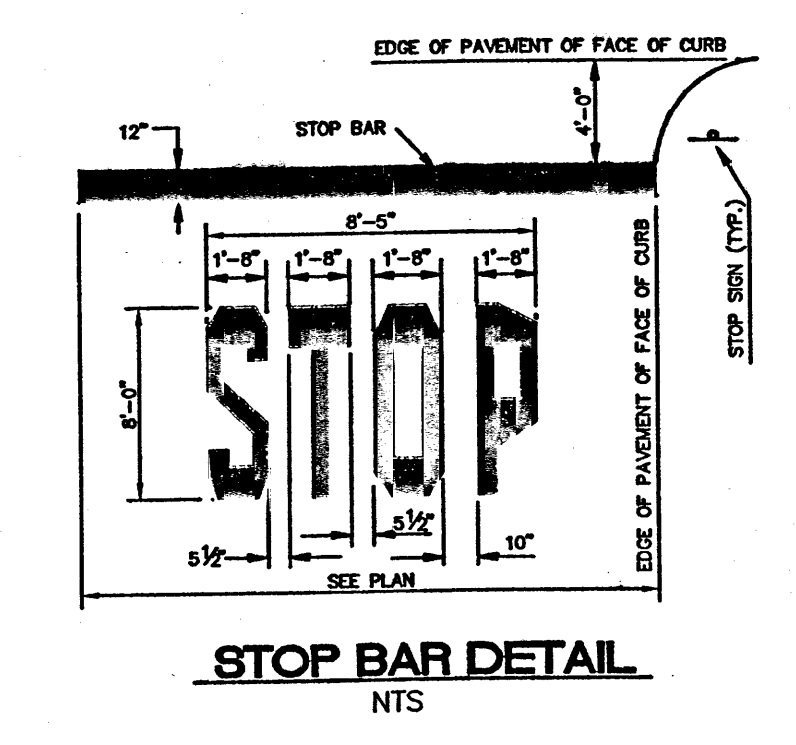
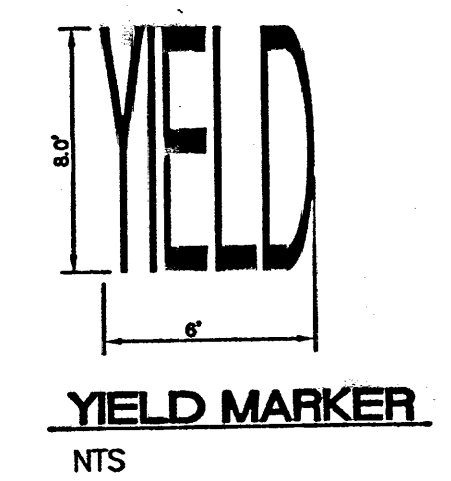
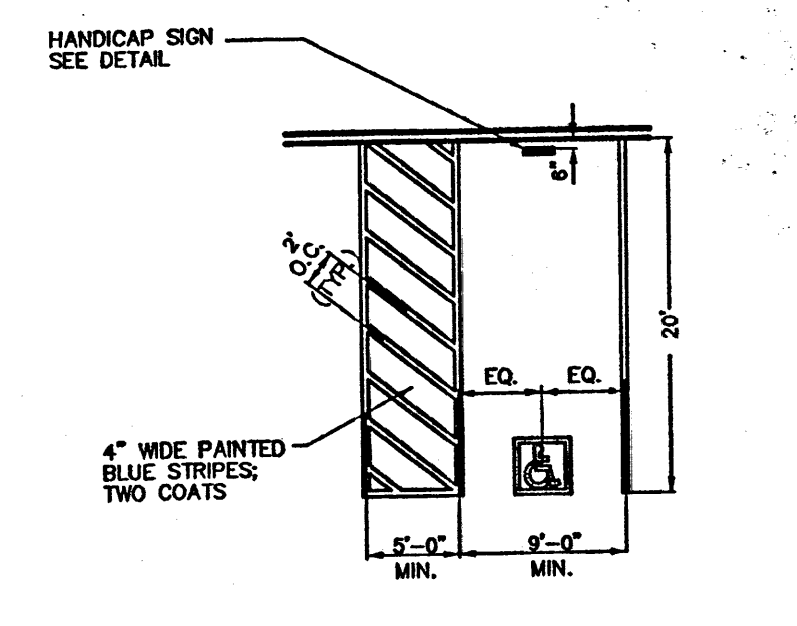


GRAPHIC SCALE
40 20 0 20 40
SCALE: 1"=40'

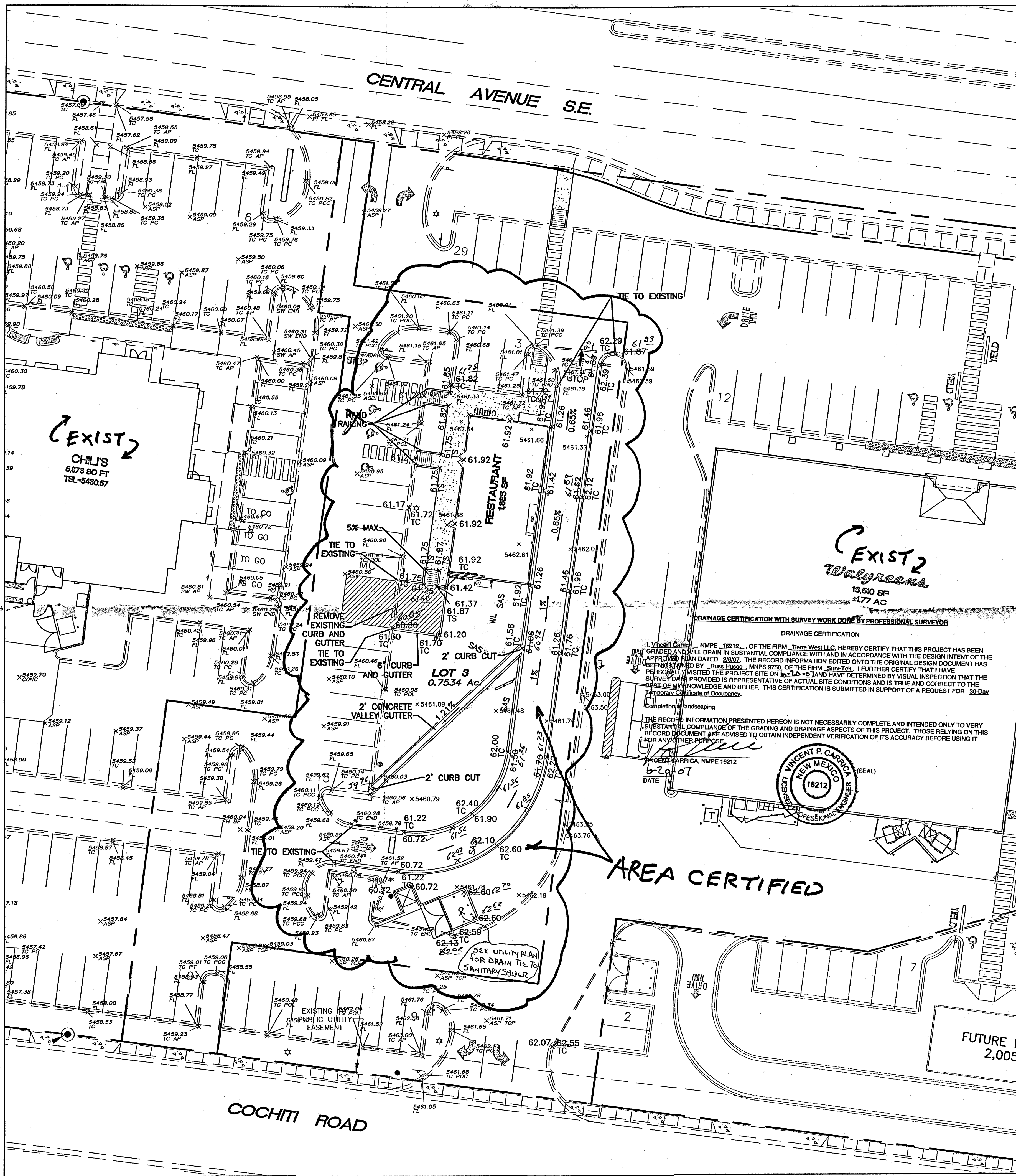
AS-BUILT 6/20/07



LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	CENTRAL PARK PLACE WALGREEN'S CHURCH'S CHICKEN		DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT		DATE 06-29-05
	TIERRA WEST, LLC 8509 JEFFERSON, NE ALBUQUERQUE, NEW MEXICO 87113 (505) 858-1300		2418-TCL-05-04-05
	JUN 28 2007 HYDROLOGY SECTION		SHEET # - JOB # 240018



- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED RETAINING WALL
 - PROPOSED SIDEWALK
 - 5011 EXISTING CONTOUR
 - 5010 EXISTING INDEX CONTOUR
 - x 5048.25 EXISTING SPOT ELEVATION
 - 5011 PROPOSED CONTOUR
 - 5010 PROPOSED INDEX CONTOUR
 - x 5048.25 PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - AS-BUILT ELEVATION

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

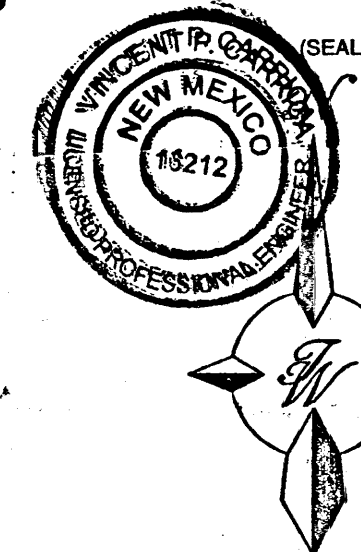
DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR

I, Vincent P. Carrica, NMPE 16212, OF THE FIRM, Tierra West LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 02-06-07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Russ Hugg, NMPS 8726, OF THE FIRM, Sun-Tek, I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6-20-07 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Permanent Certificate of Occupancy.

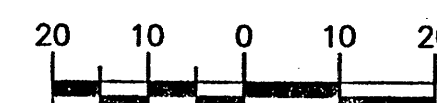
No Exceptions

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

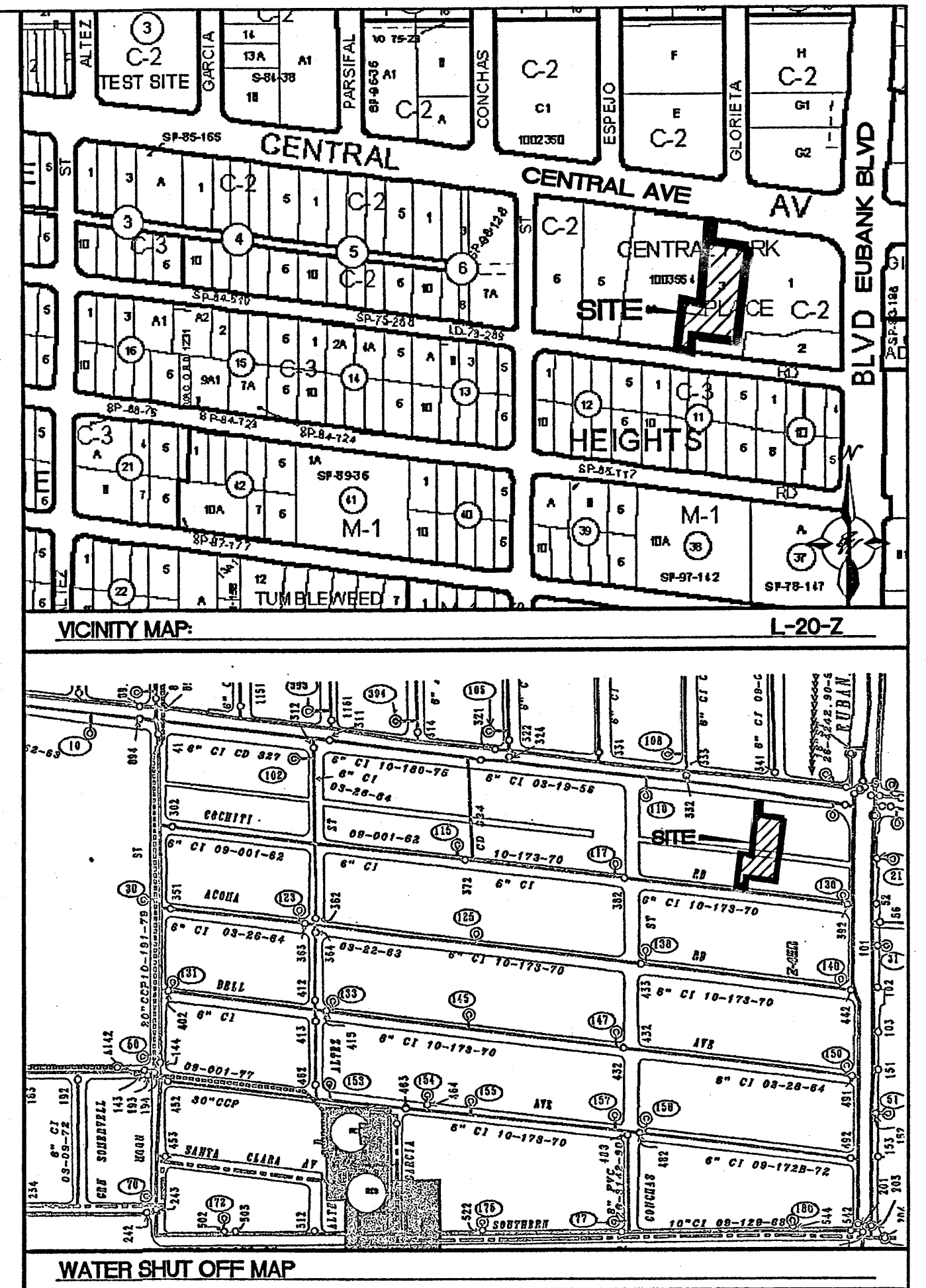
VINCENT P. CARRICA, NMPE 16212
DATE 6-20-07



GRAPHIC SCALE



SCALE: 1"=20'



NOTICE TO CONTRACTORS:

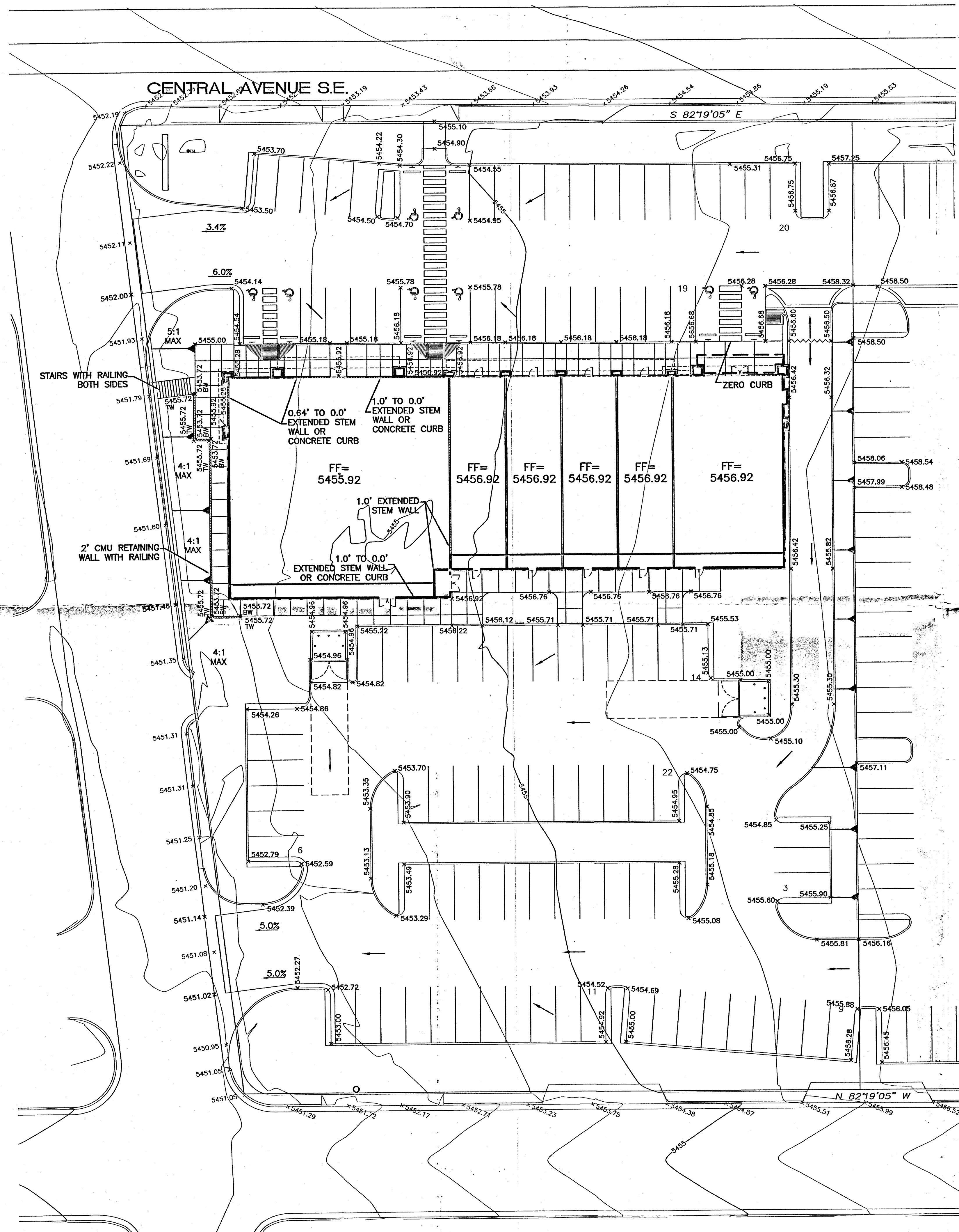
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL DATE

	ENGINEER'S SEAL	CHURCH'S CHICKEN CENTRAL AND EUBANK	DRAWN BY AM
		GRADING AND DRAINAGE PLAN	DATE 02/05/07
		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	SHEET # C2
			JOB # 26065

RECEIVED
JUN 28 2007
HYDROLOGY SECTION

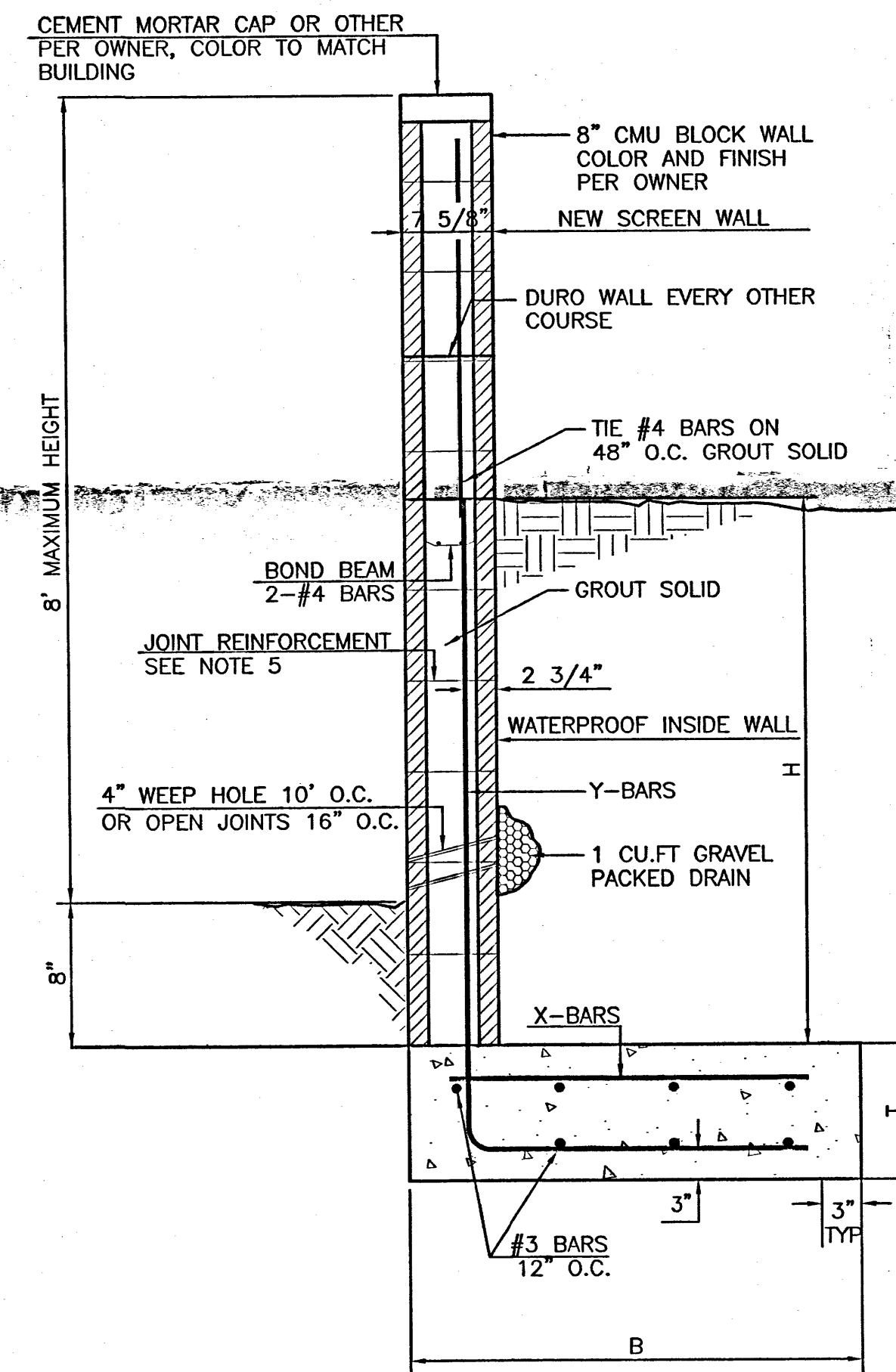


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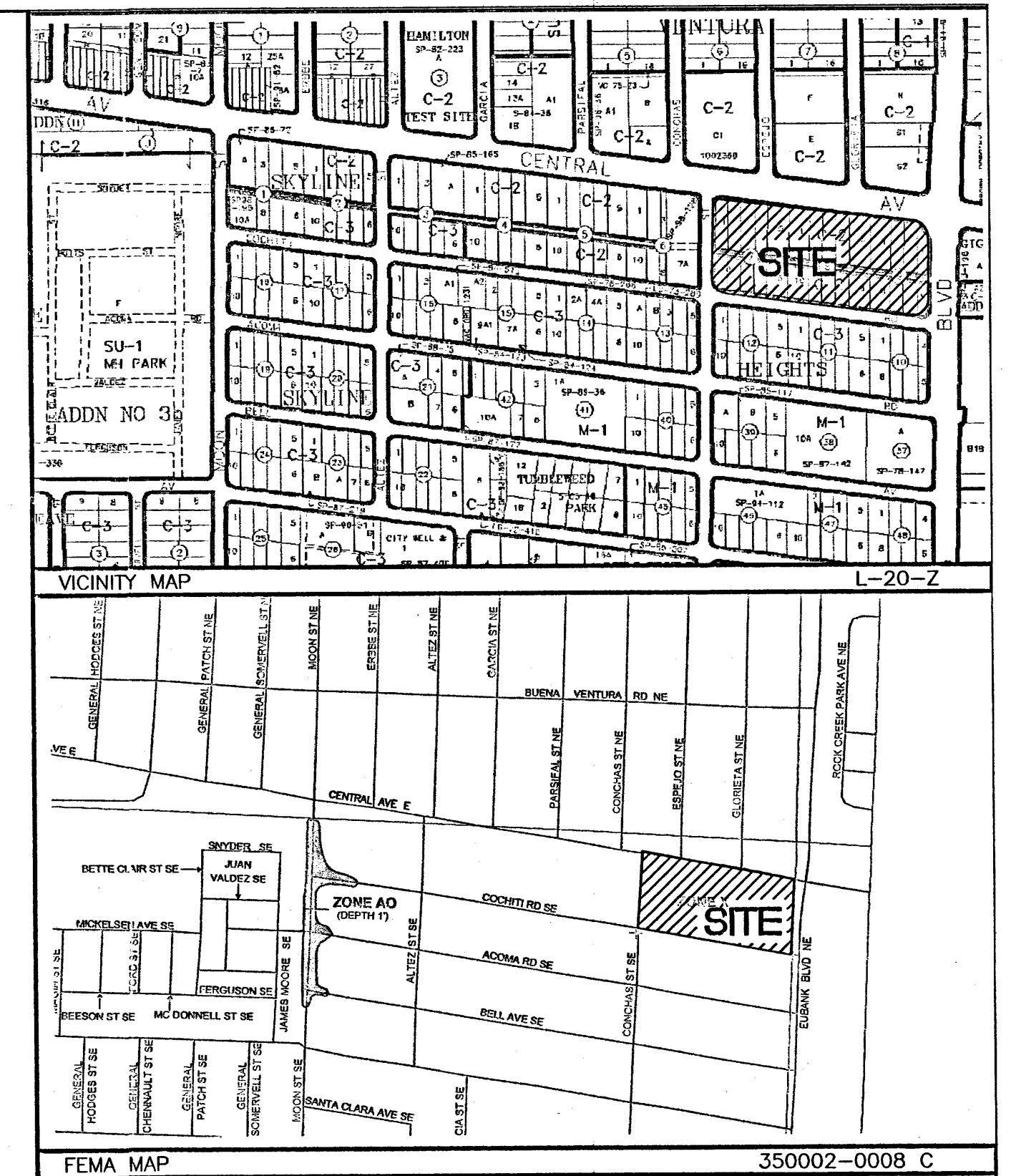
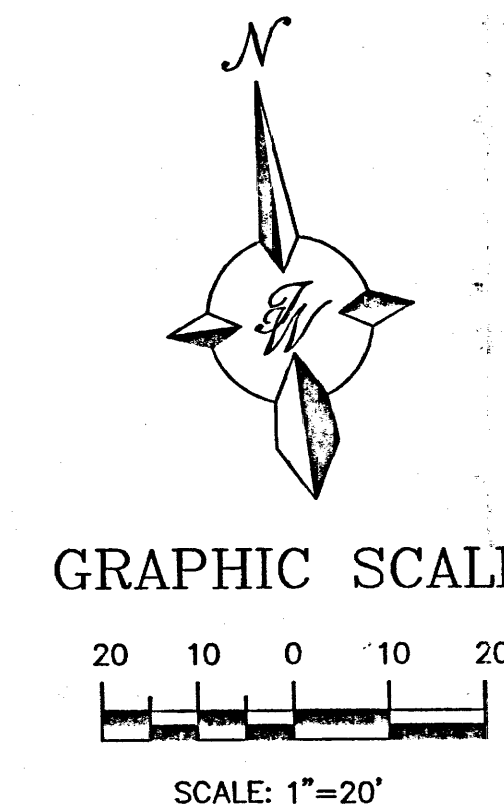
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RIGHT-OF-WAY
- LOT LINES
- LANE
- STRIPING

GENERAL NOTES

1. MATCH EXISTING PAVING AROUND CURB & GUTTER AND MEDIAN @ FLOWLINE.
2. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.



"L" FOOTING RETAINING WALL DETAIL
NTS



GENERAL NOTES

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

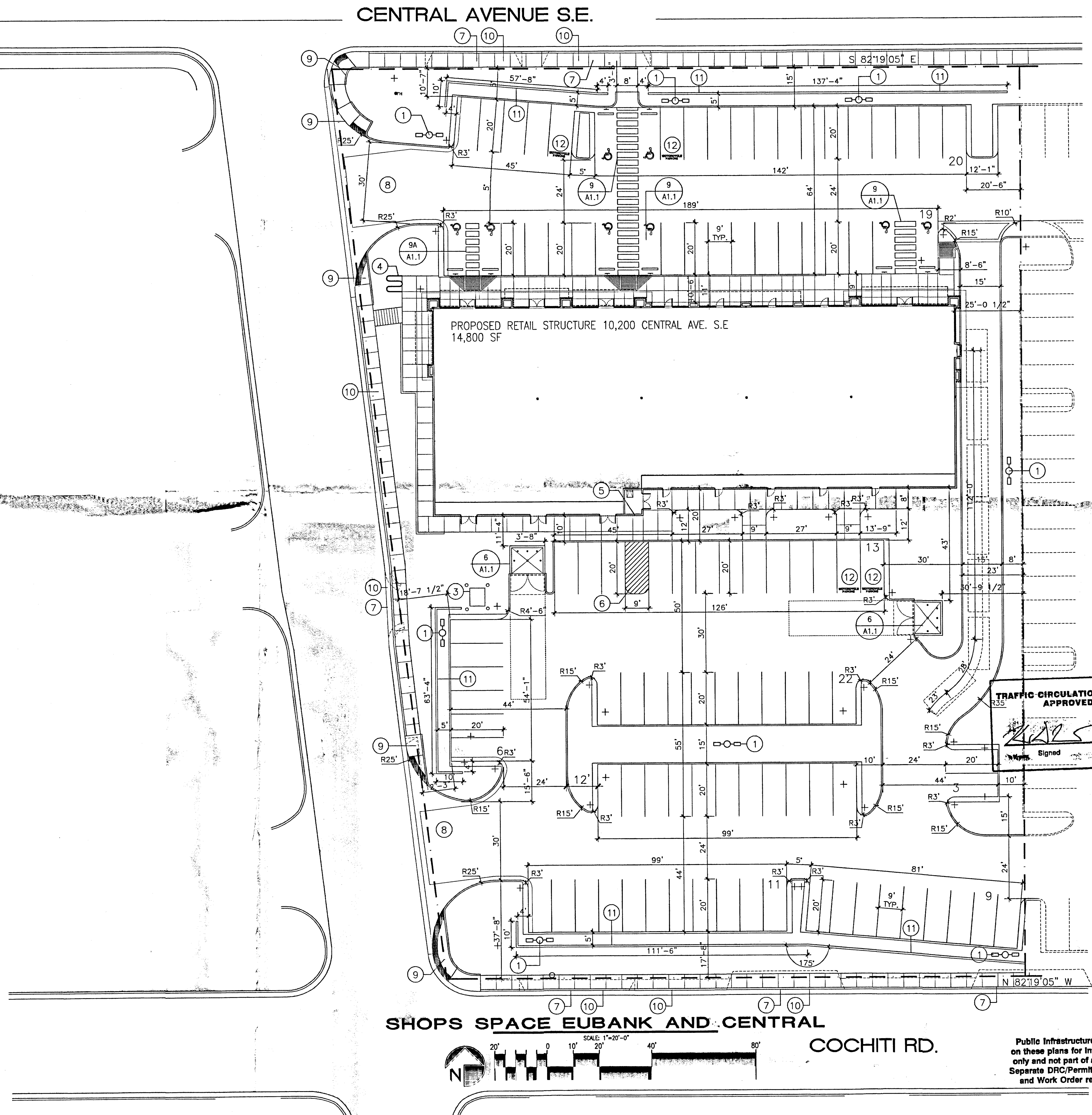
8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-6"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-8"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.

CAUTION

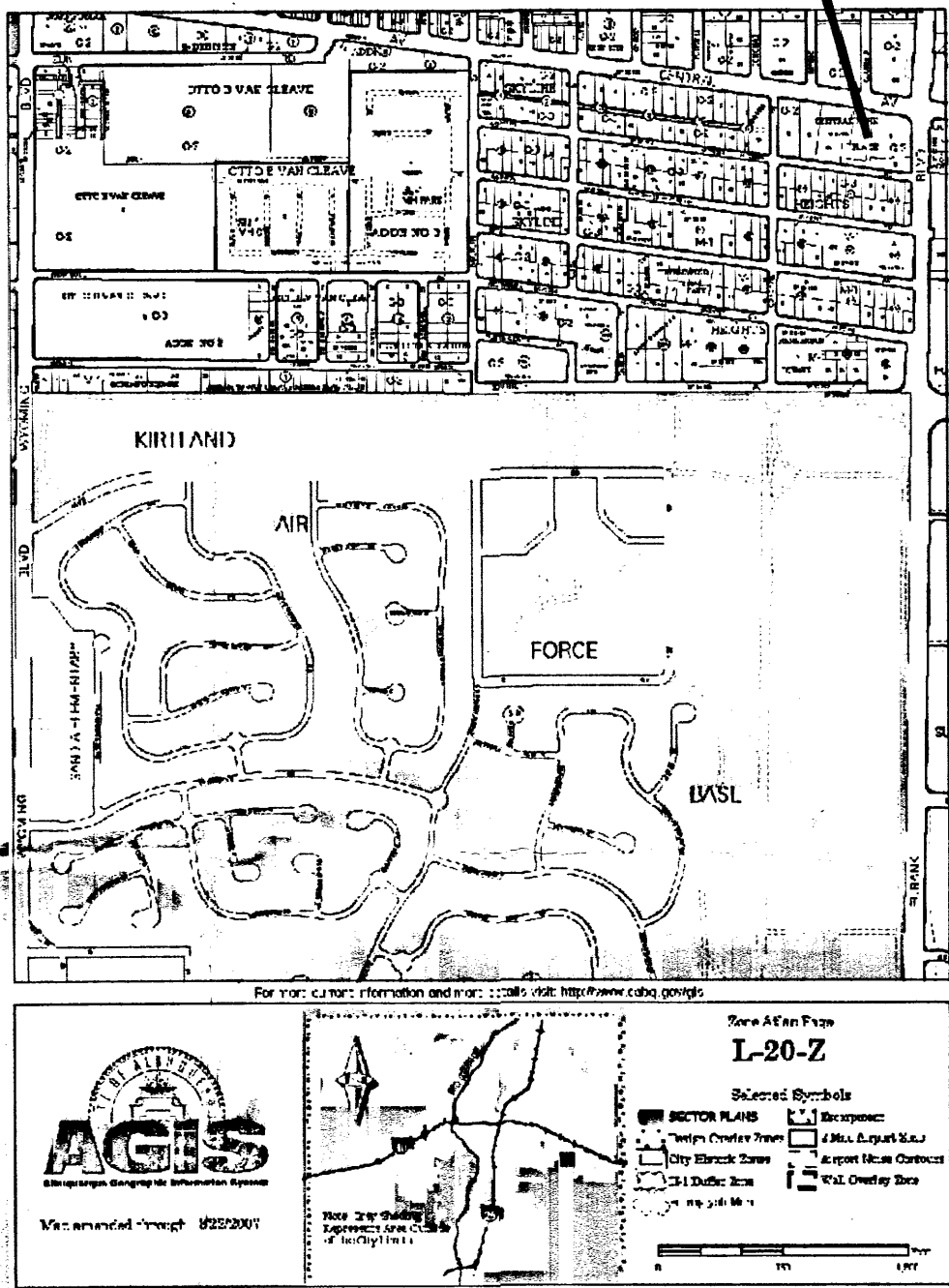
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	EUBANK AND CENTRAL	DRAWN BY DY
	GRADING AND DRAINAGE OVERALL PLAN	DATE 4-11-07
	TERRA WEST, LLC 5571 MIDWAY PARK (PLACE) NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 APR 12 2007	2732-GR.dwg
	HYDROLOGY SECTION	SHEET # 1 JOB # 27032



LEGAL DESCRIPTION	
PROPOSED TRACT NUMBER:	LOT 5A
TOTAL ACREAGE:	AREA= 84,174 SF/ 1.9323 AC
EXISTING ZONING:	
PROPOSED ZONING:	
BUILDING SIZE:	14,800 SF
FAR:	.1758
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL SHOPS STRUCTURE
TOTAL PARKING PROVIDED:	104 SPACES
TOTAL PARKING REQ (INC. EMPLOYEE):	74 SPACES
HC PROVIDED:	8 H.C (INC. 6 VAN ACCESSIBLE)
HC REQUIRED:	8 H.C SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	5 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	4 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	4 MOTORCYCLE SPACE

PROJECT LOCATION



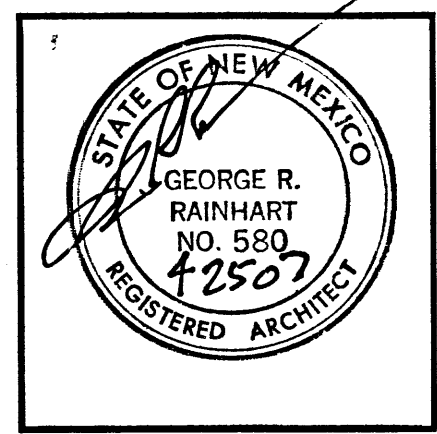
VICINITY MAP

KEYED NOTE:

- INDICATES LIGHT POLE LOCATION RE: DET 1/A1.1 FOR INFO
- DASHED LINE INDICATES EDGE OF EXISTING PAVEMENT
- EXISTING TRANSFORMER LOCATION FOR PROPOSED SHOPS USE
- BIKE RACK LOCATION. RE: DET 4/A1.1 FOR INFO
- FIREDEPARTMENT CONNECTION LOCATION (FDC)
- AREA STRIPED AND DESIGNATED ON PAVED AREA AS: "FIRE LANE NO PARKING AREA"
- EXISTING DRIVE CUT TO BE REMOVED AND REPLACED W/ STANDARD CURB AND GUTTER AS SPECIFIED WITHIN C.O.A STD. DETAIL 2415A
- PROVIDE NEW DRIVE CUT AND H.C ACCESSIBLE WHEEL CHAIR RAMP W/ TRUNCATED DOMES AS SPECIFIED WITHIN C.O.A STD. DETAIL 2426
- PROVIDE NEW WHEEL CHAIR ACCESS RAMP W/ TRUNCATED DOMES AS SPECIFIED WITHIN C.O.A STD. DETAIL 2441
- PROVIDE NEW SIDEWALK AS SPECIFIED WITHIN C.O.A STD. DETAIL 2430
- INDICATES A 30" HIGH 8" SPLIT FACED CMU SCREEN WALL COLOR OF SPLIT FACE BLOCK SHALL BE
- INDICATES MOTORCYCLE SPACE LOCATION PROVIDED MOTOR CYCLE SPACE SIGNAGE AND STRIPING WITHIN SPACE DESIGNATING AREA AS " MOTORCYCLE PARKING"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

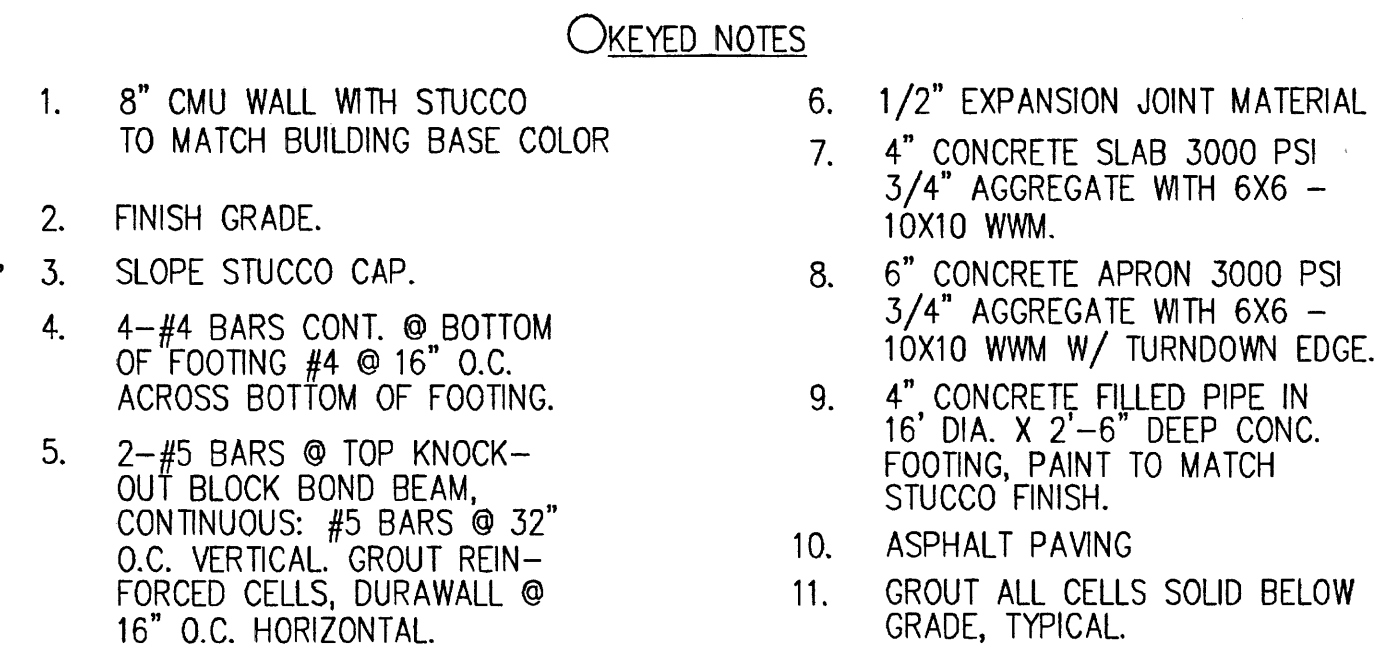
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



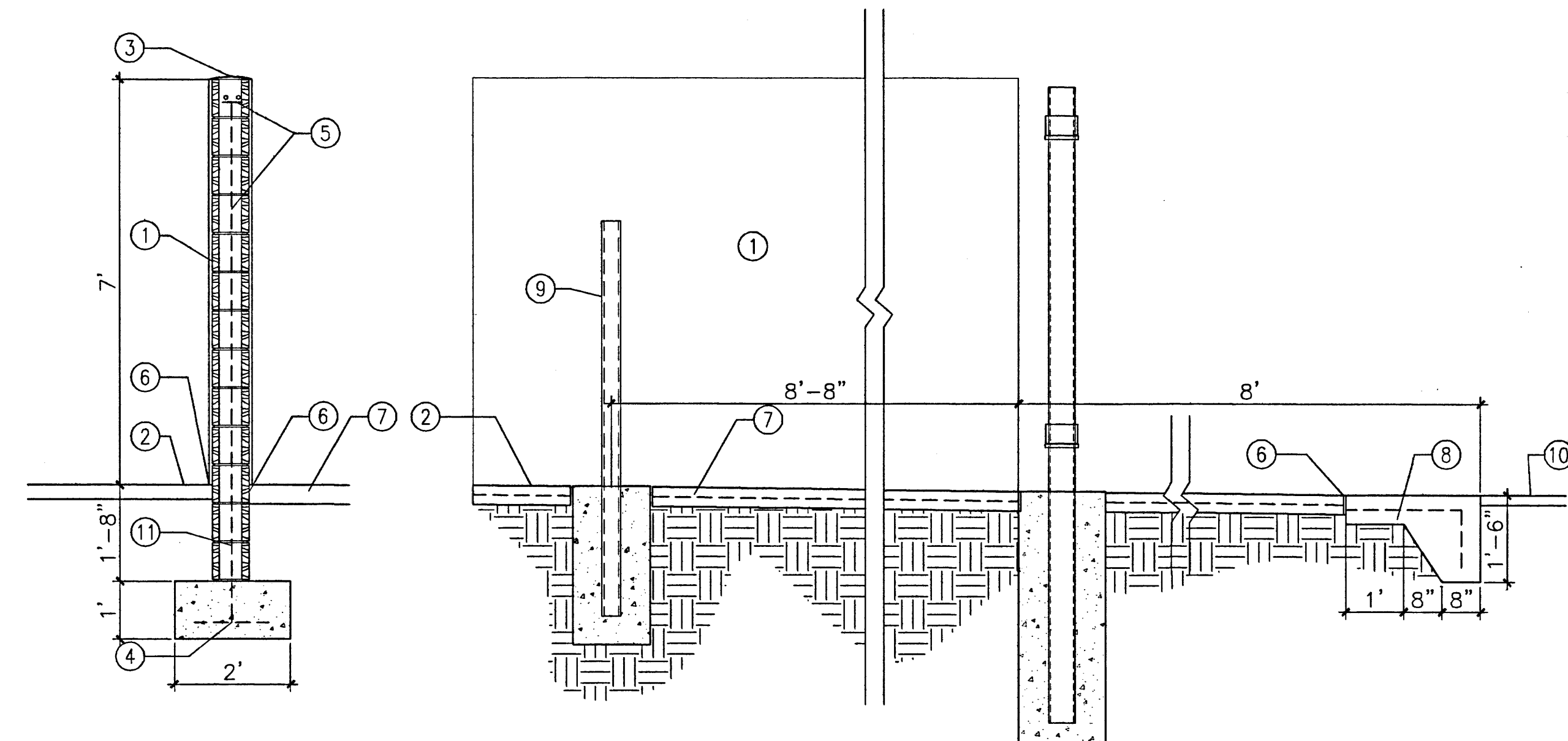
PROJECT TITLE: SHOPS
10200 CENTRAL AVE. S.E.
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR AIA
JOB NO.:
DRAWN BY: SD
SHEET TITLE: ENLARGED SITE PLAN

DATE: APR 25 2007
SCALE: 1"=20'-0"
sheet: A1.0 of

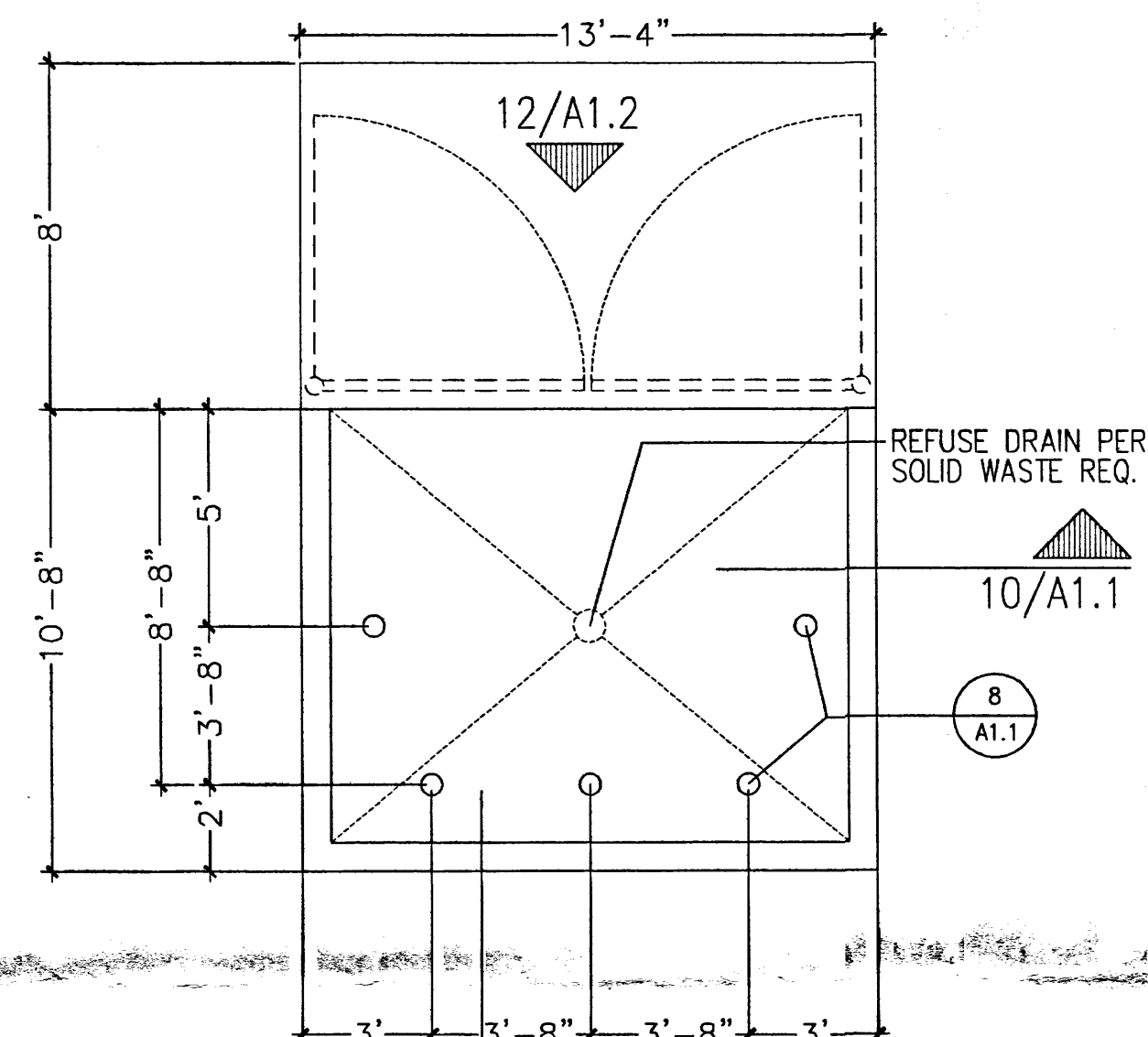


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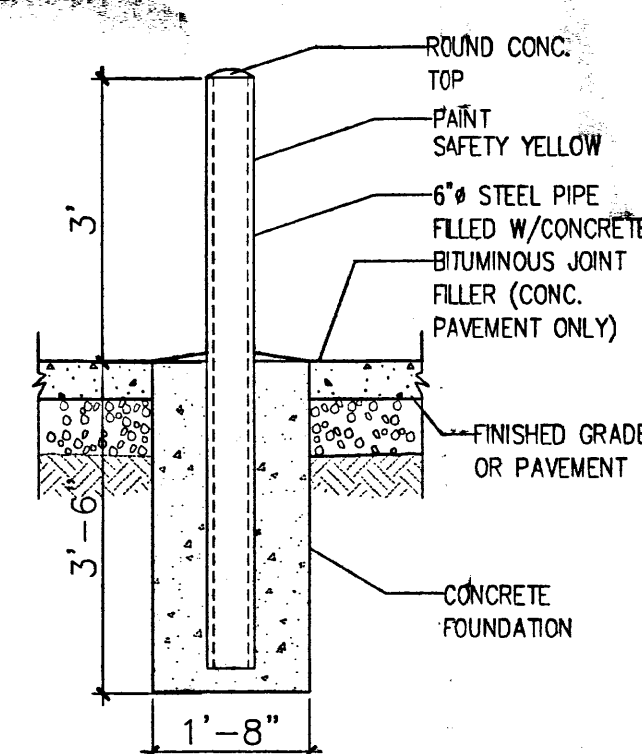


Scale: $1/2"=1'-0"$

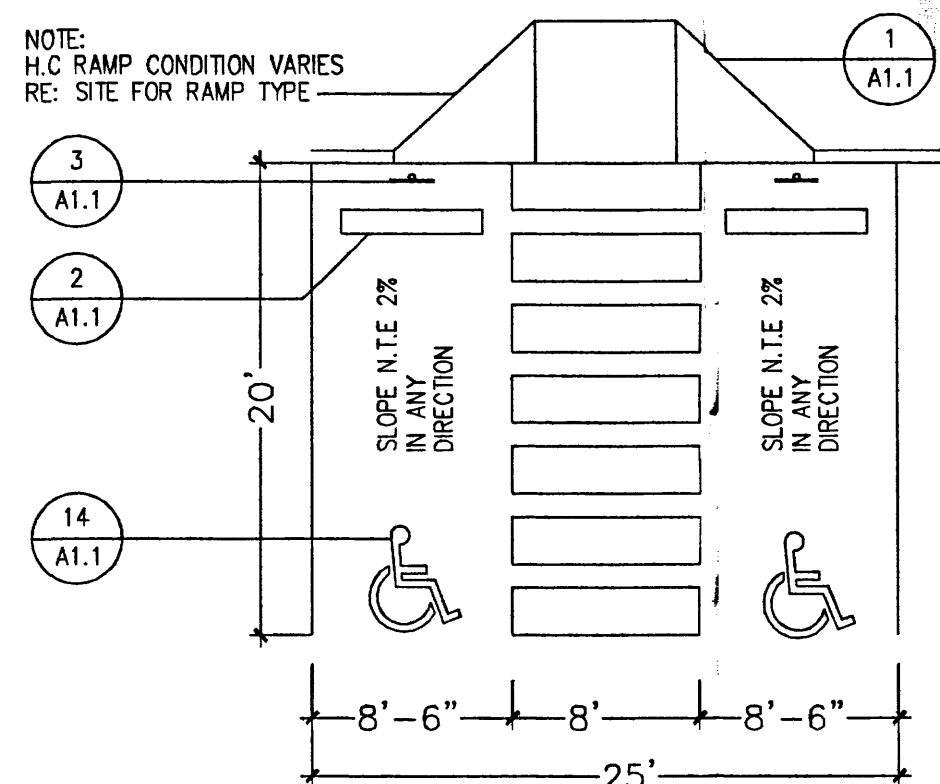
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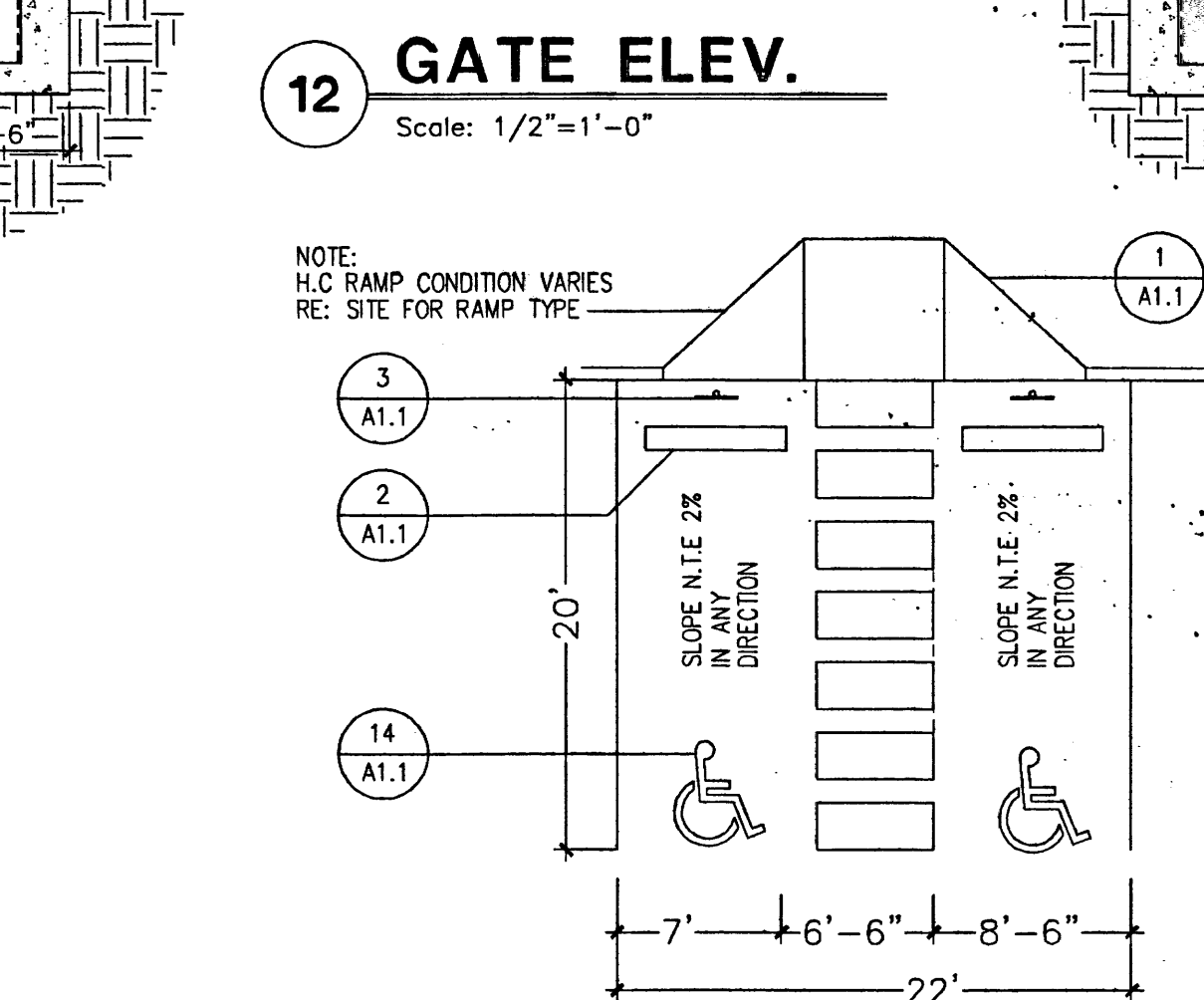
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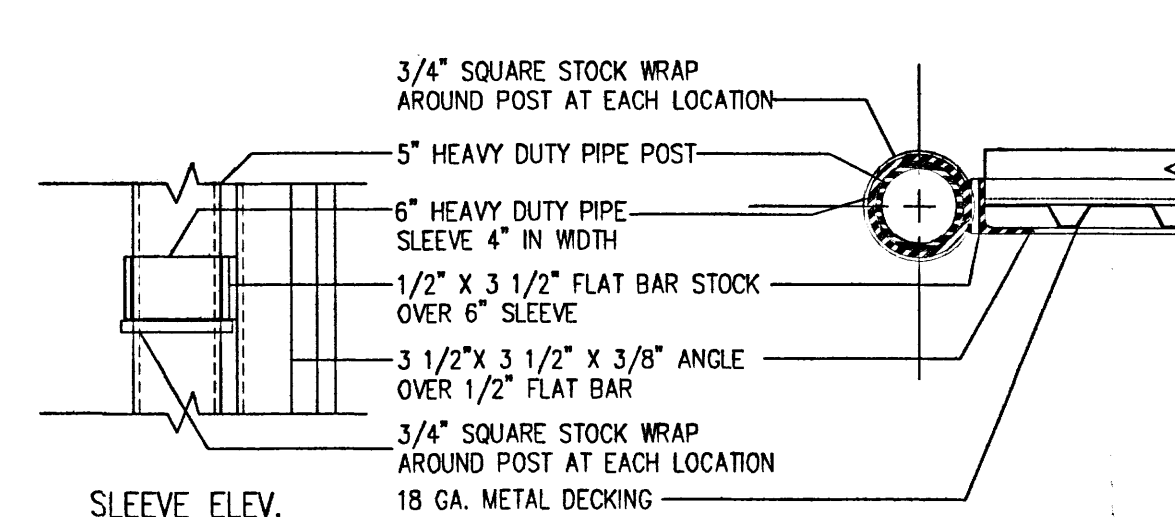
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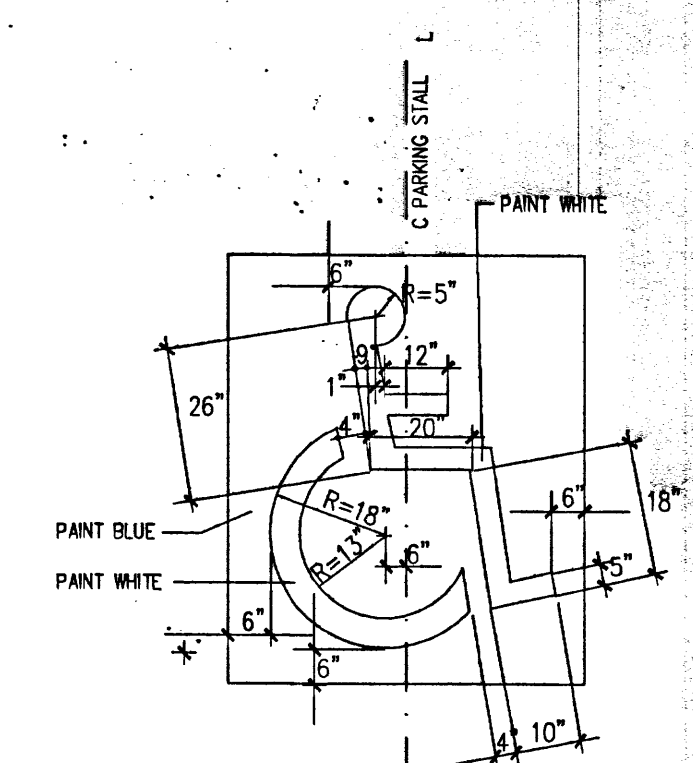
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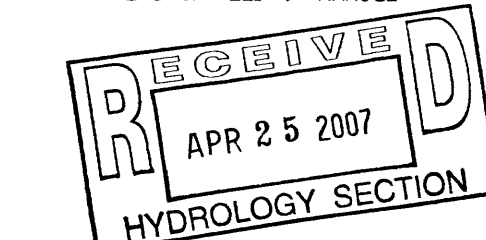
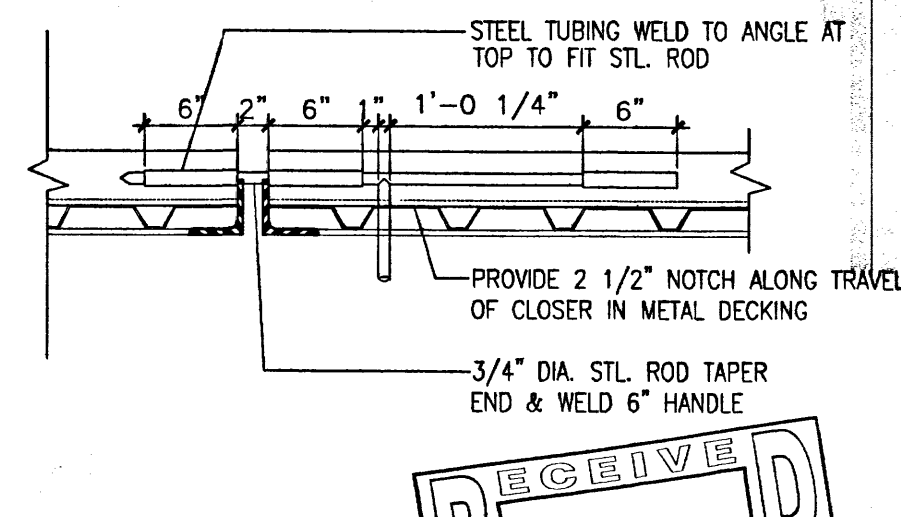
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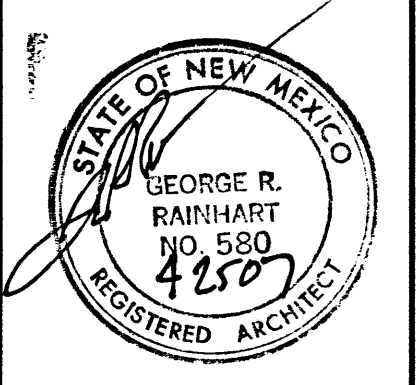
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Scale: N.T.S.

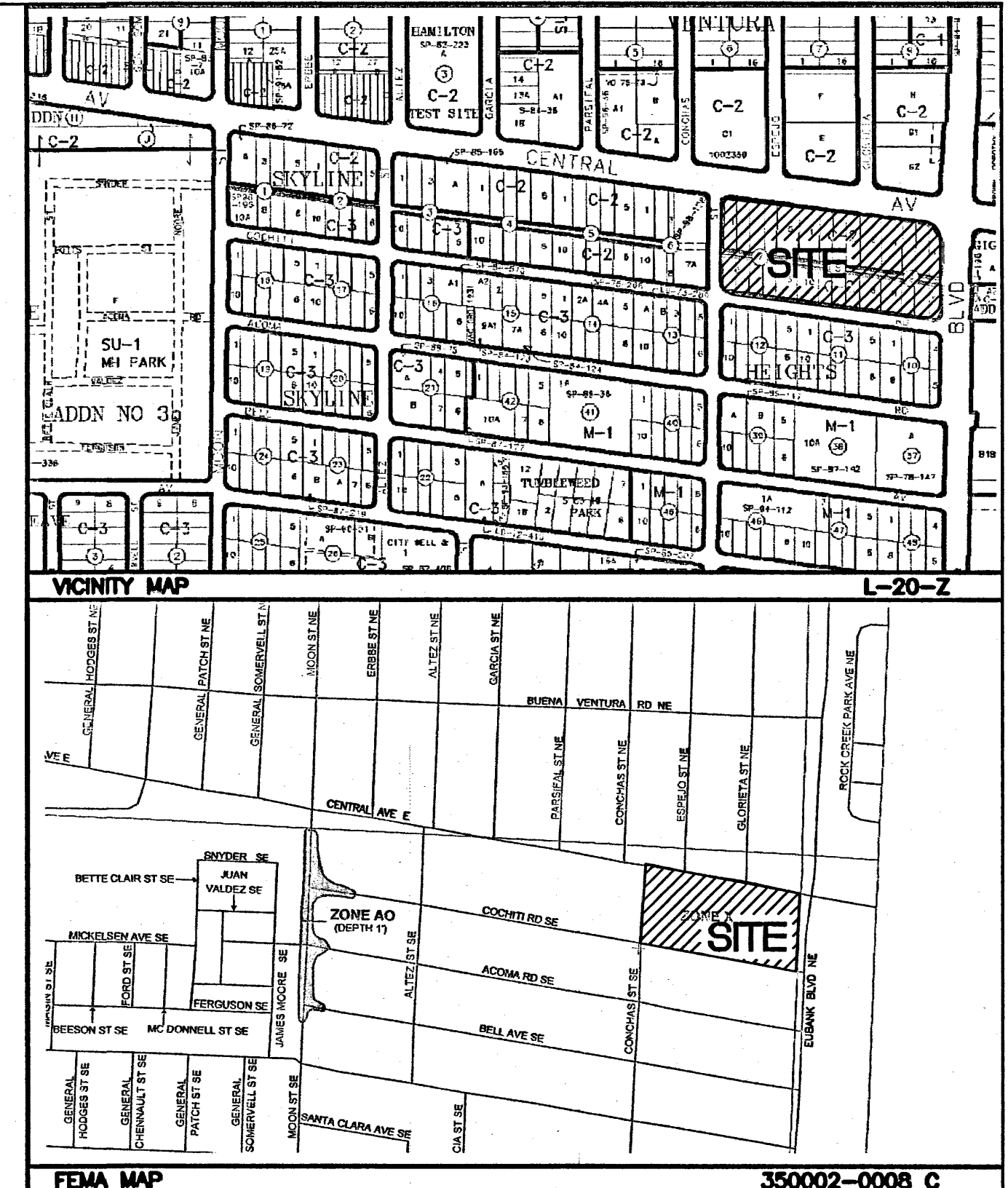
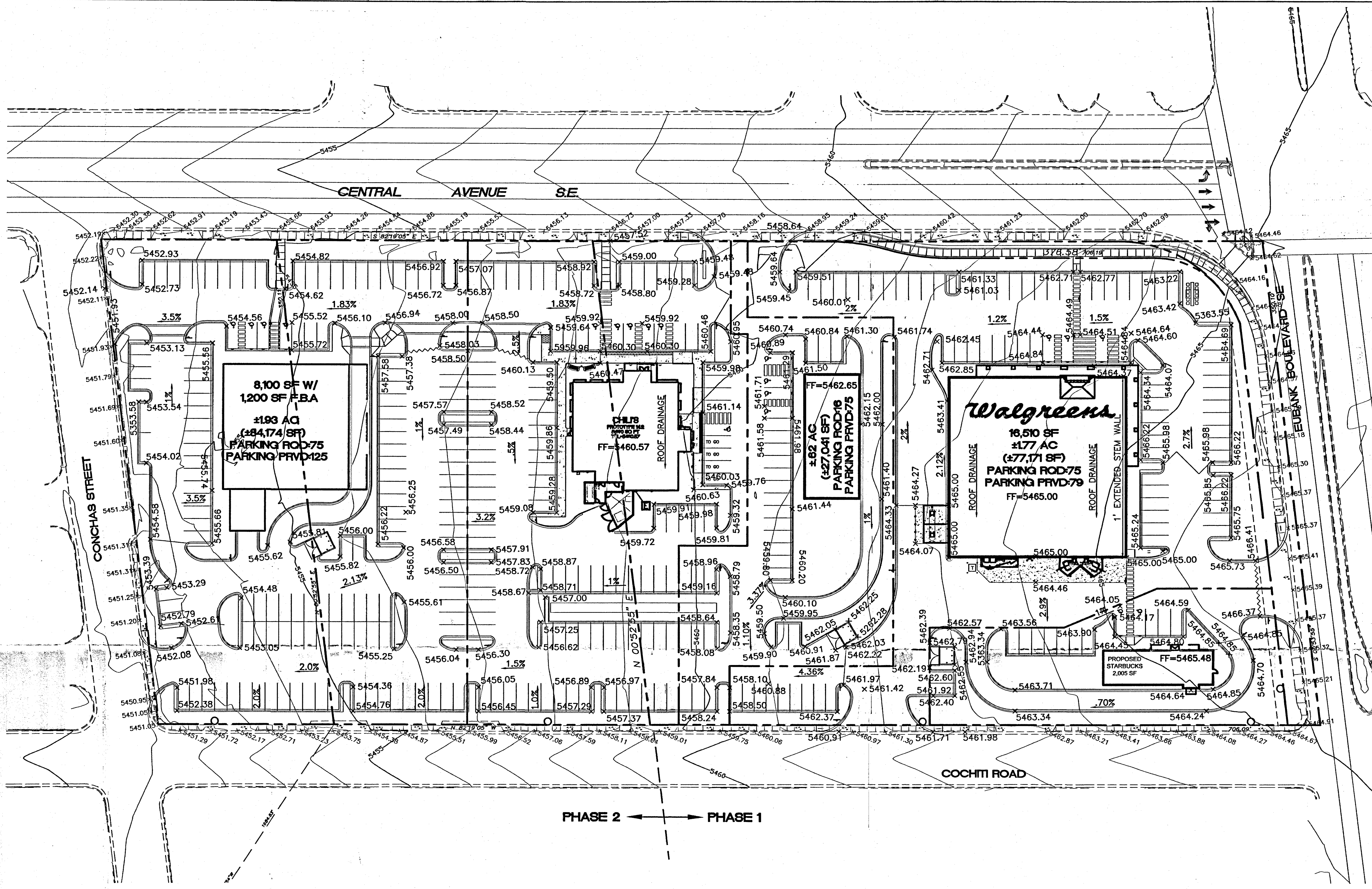
[illegible]

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



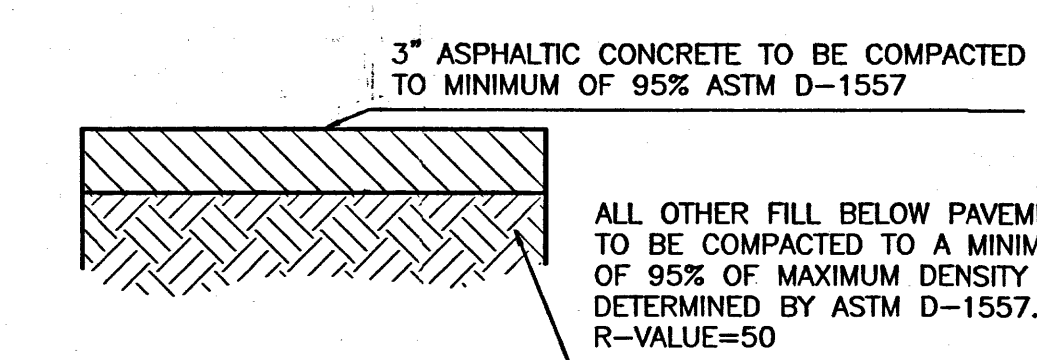
PROJECT TITLE		DRAWN BY:	
SHOPS		S	
10200 CENTRAL S.E.		JOB NO.	
ALBUQUERQUE, NEW MEXICO		PROJECT MANAGER	
		STEPHEN DUNBAR A.I.A.	
SHEET TITLE			
SITE DETAILS			

DATE:	sheet-
SCALE: 1/8"=1'-0"	A1.1 of-

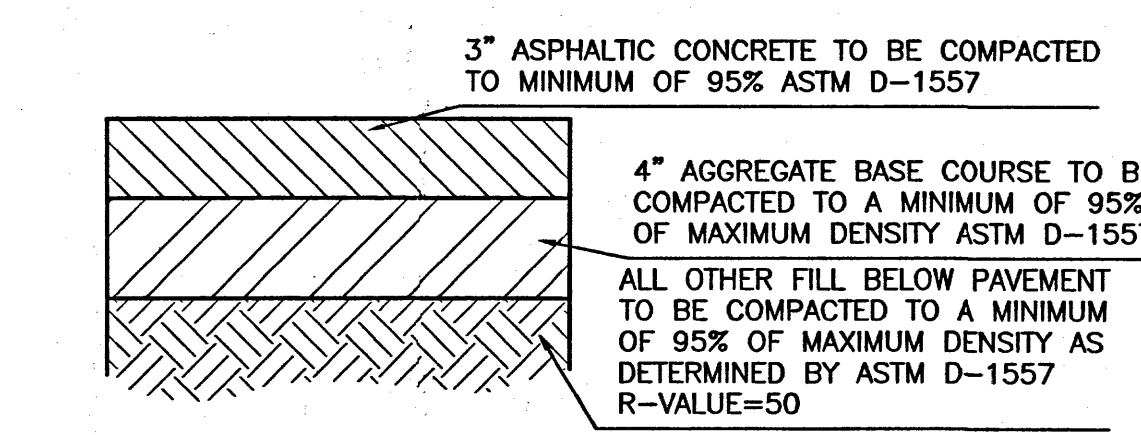
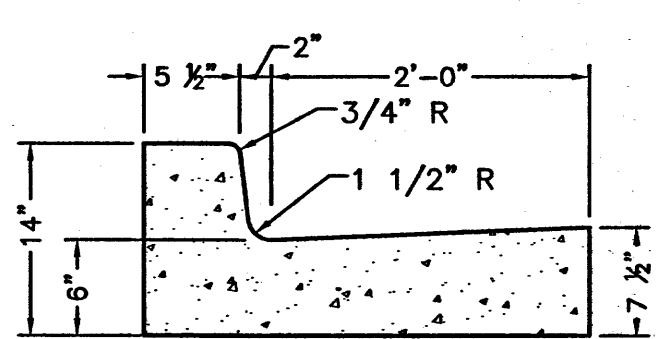


- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED CURB & GUTTER
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - EXISTING SIDEWALK
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - FLOW ARROW
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - RIGHT-OF-WAY
 - LOT LINES
 - LANE
 - STRIPING

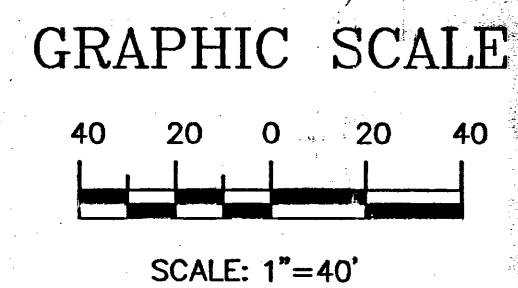
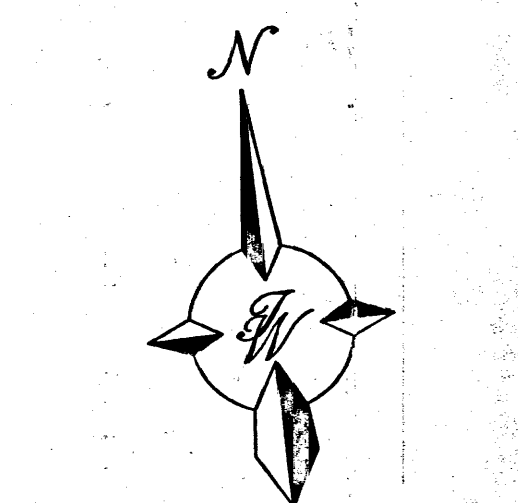
GENERAL NOTES:
1. MATCH EXISTING PAVING AROUND CURB & GUTTER AND MEDIAN @ FLOWLINE.
2. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED.



AUTOMOBILE PARKING TYPICAL PAVING SECTION
1" = 1"

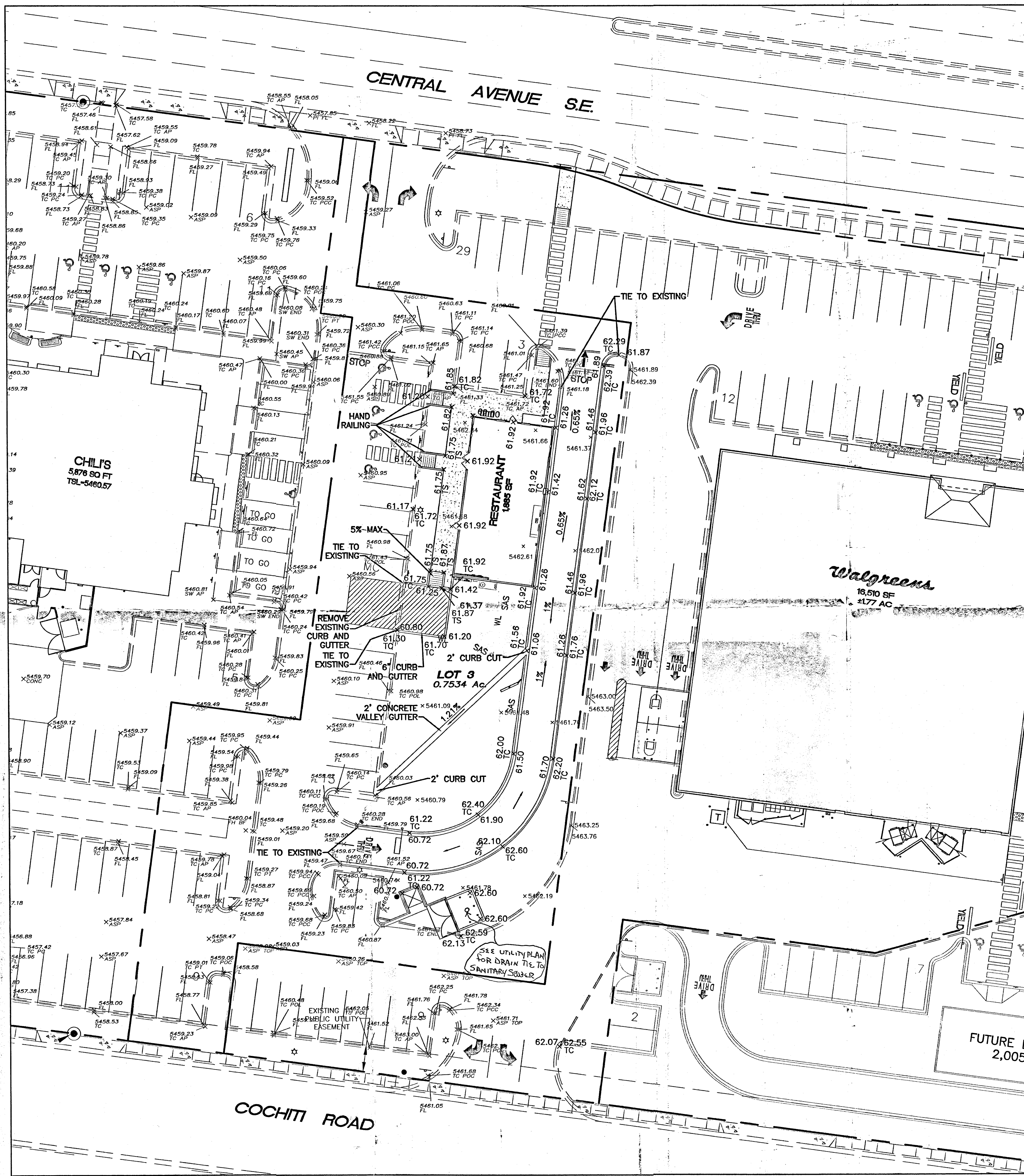


AUTOMOBILE DRIVEWAYS TYPICAL PAVING SECTION
1" = 1"



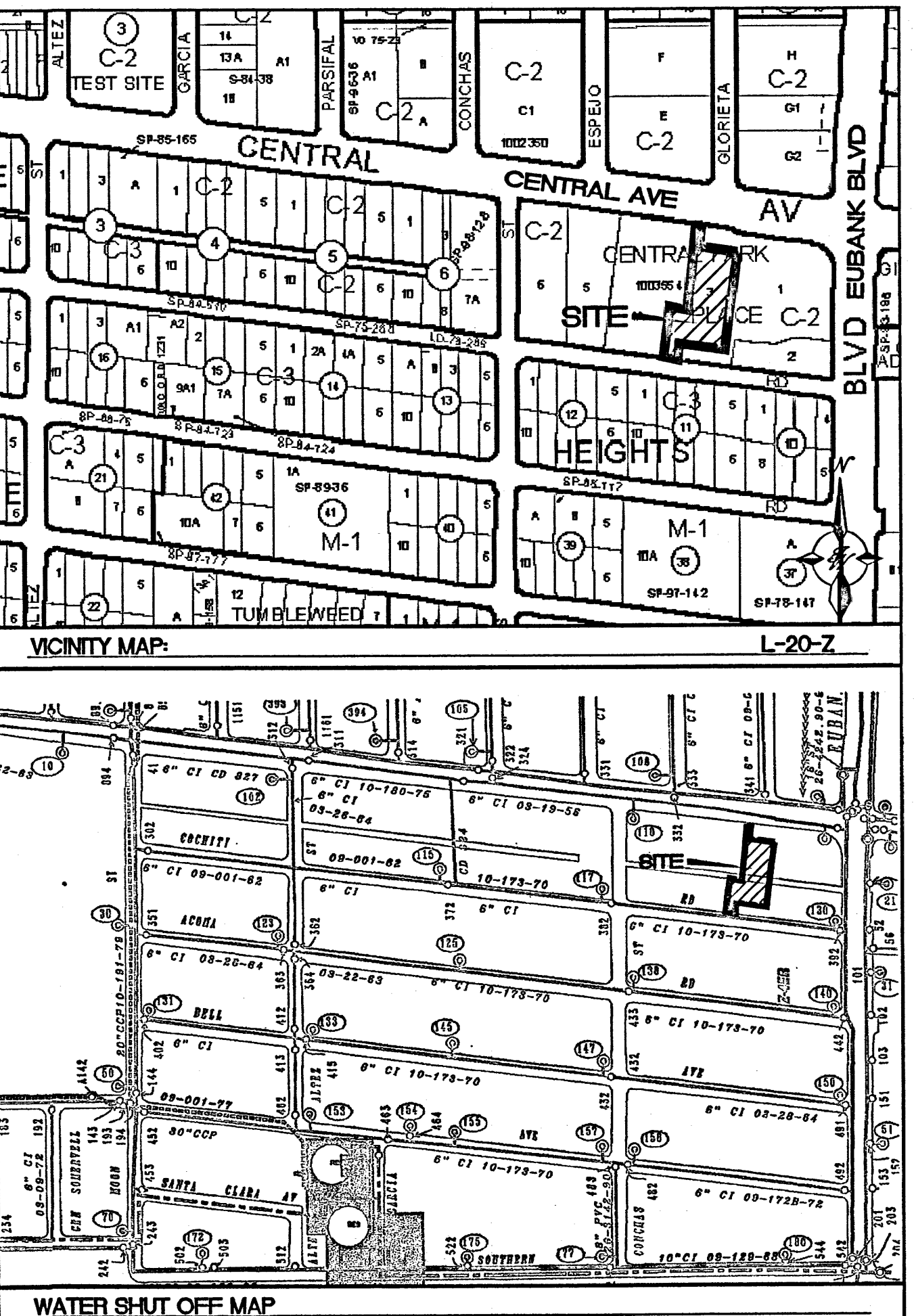
CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	EUBANK AND CENTRAL		DRAWN BY: EMT
	GRADING AND DRAINAGE OVERALL PLAN		DATE: 06-24-05
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		241808B-03-21-05X.dwg
	VINCENT P. CARRICA P.E. #16212		SHEET # 1 JOB # 240018



- LEGEND**
- EXISTING CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED RETAINING WALL
 - PROPOSED SIDEWALK
 - 5011
 - EXISTING CONTOUR
 - 5010
 - EXISTING INDEX CONTOUR
 - 5011
 - PROPOSED CONTOUR
 - 5010
 - PROPOSED INDEX CONTOUR
 - x 5048.25
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW

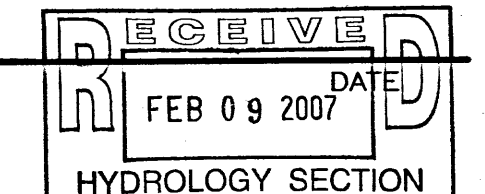
- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT SETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



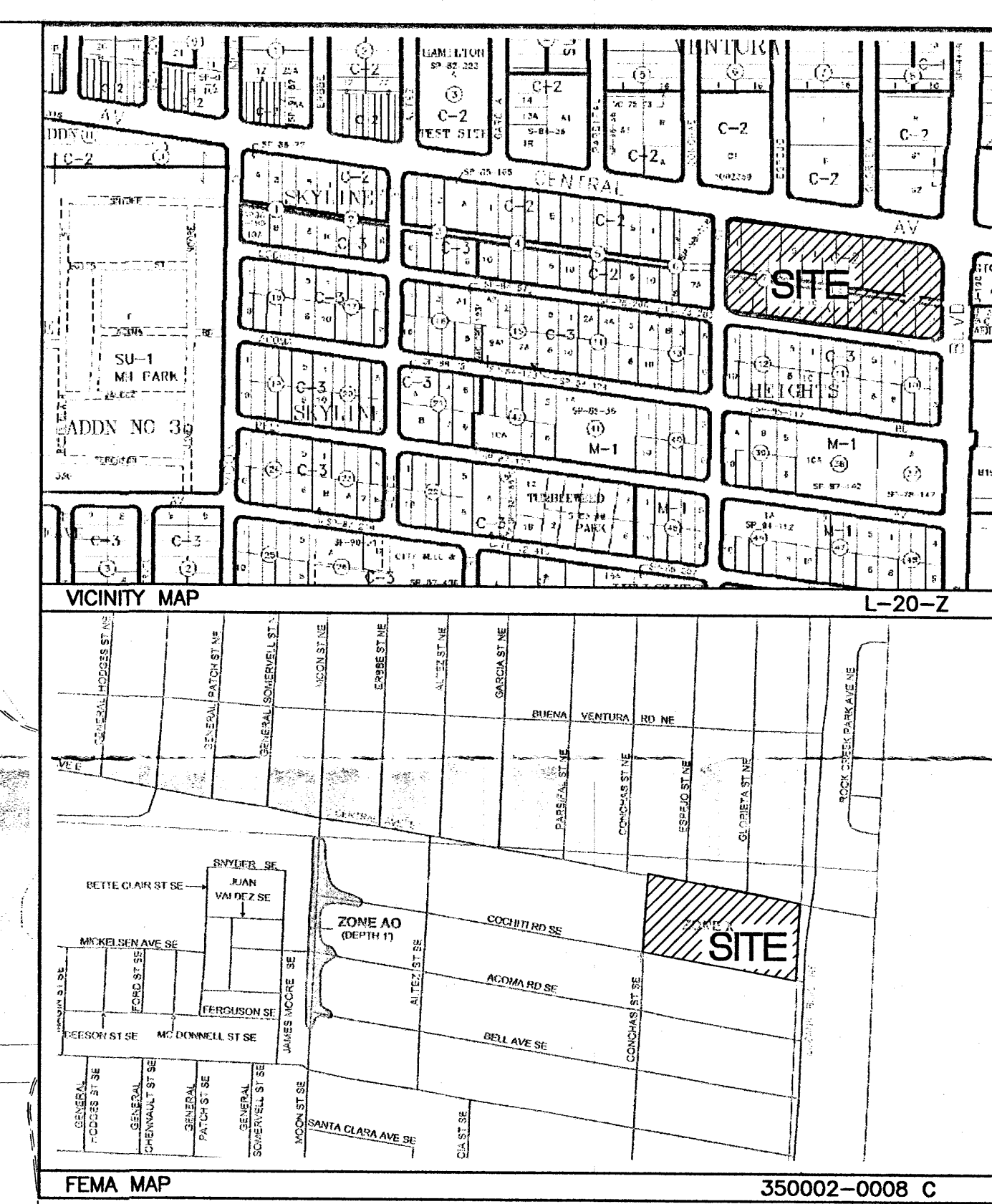
- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

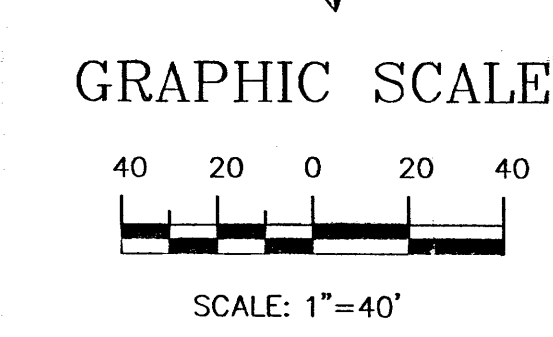
ROUGH GRADING APPROVAL



ENGINEER'S SEAL	CHURCH'S CHICKEN CENTRAL AND EUBANK	DRAWN BY AM
	GRADING AND DRAINAGE PLAN	DATE 02/05/07
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	26065-GRE
		SHEET # C2
		JOB # 26065



-



ENGINEER'S SEAL	EUBANK AND CENTRAL	APPROVED BY  EMT
	GRADING AND DRAINAGE OVERALL PLAN	DATE 03-29-05
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # —
		JOB # 24001B