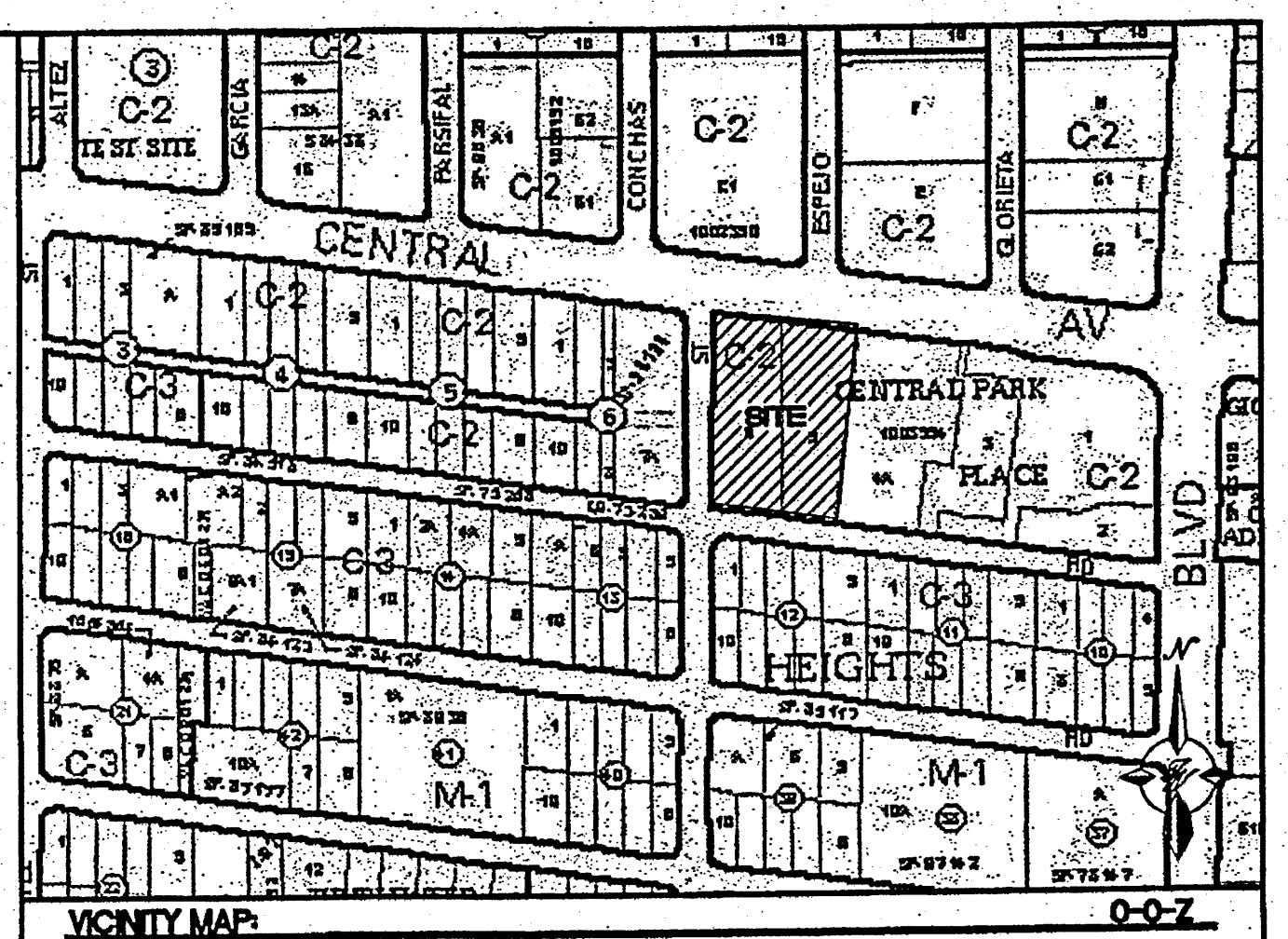




- LEGEND**
- PROPOSED CURB & GUTTER
 - TEMPORARY ASPHALT CURB
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - TEMPORARY ASPHALT PAVEMENT
 - HEAVY DUTY PAVING
 - 4" SLOPE PAVING
 - CENTERLINE
 - RIGHT-OF-WAY
 - LANE
 - STRIPING
 - STREET LIGHTS
 - PROPOSED BUILDING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING

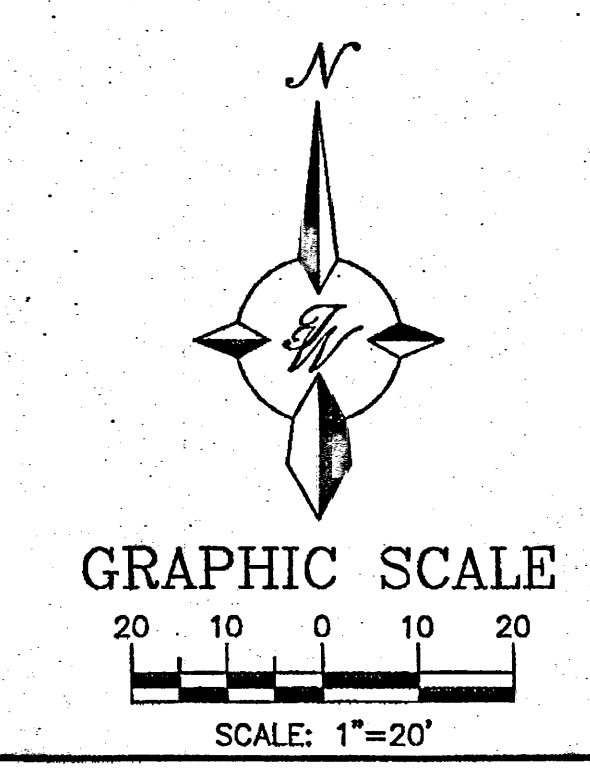


LEGAL DESCRIPTION

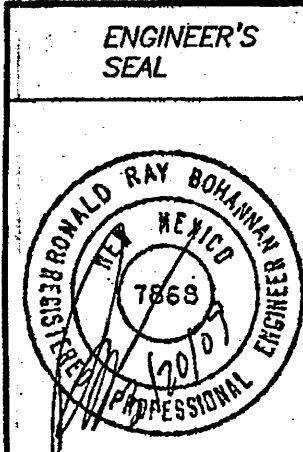
- KEYED NOTES**
- 1. UNIDIRECTIONAL HC RAMP SEE DETAIL SHEET C4.
 - 2. STOP SIGN WITH STOP BAR STRIPING SEE DETAIL SHEET C4.
 - 3. 6" HEADER CURB TYPICAL PER COA STD DWG #2415B.
 - 4. 4" TEMPORARY ASPHALT CURB Not Used.
 - 5. 8" WIDE PATTERNED CONCRETE CROSSWALK SEE SHEET C4.
 - 6. PAINTED DIRECTIONAL ARROWS TYPICAL.
 - 7. 6" CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
 - 8. HANDICAP RAMP WITH TRUNCATED DOMES. SEE DETAIL SHEET C4.
 - 9. CONCRETE WHEEL STOPS. SEE DETAIL SHEET C4.
 - 10. CONCRETE DRIVE THRU SEE GRADING AND DRAINAGE SHEET FOR CONCRETE THICKNESS AND SUBGRADE COMPACTION.
 - 11. MULTI-DIRECTIONAL HC RAMP W/TRUNCATED DOMES PER DETAIL SHEET C4.
 - 12. STANDARD CURB & GUTTER PER COA STD DWG #2415A.
 - 13. REMOVE EXISTING ASPHALT CURB.
 - 14. 8" HEADER CURB PER COA STD DWG #2415B.
 - 15. 4" SLOPE PAVING.
 - 16. DUMPSTER ENCLOSURE SEE ARCH PLANS.
 - 17. ADA SIGNS TO BE HUNG ON THE BUILDING.

- GENERAL NOTES**
- 1. ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 - 2. ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 - 3. ALL HANDICAP STRIPING TO BE PAINTED BLUE.

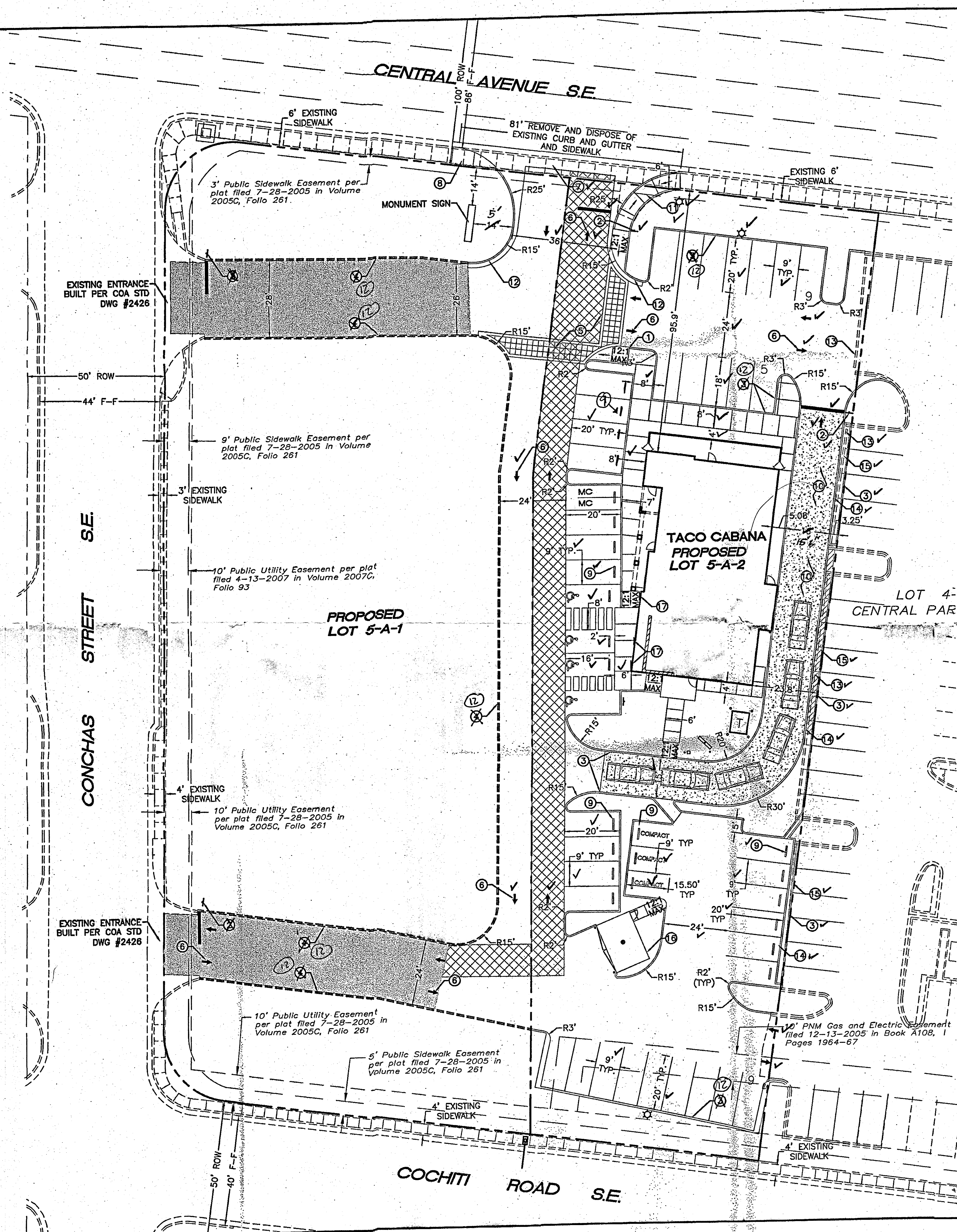
TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 03/24/09



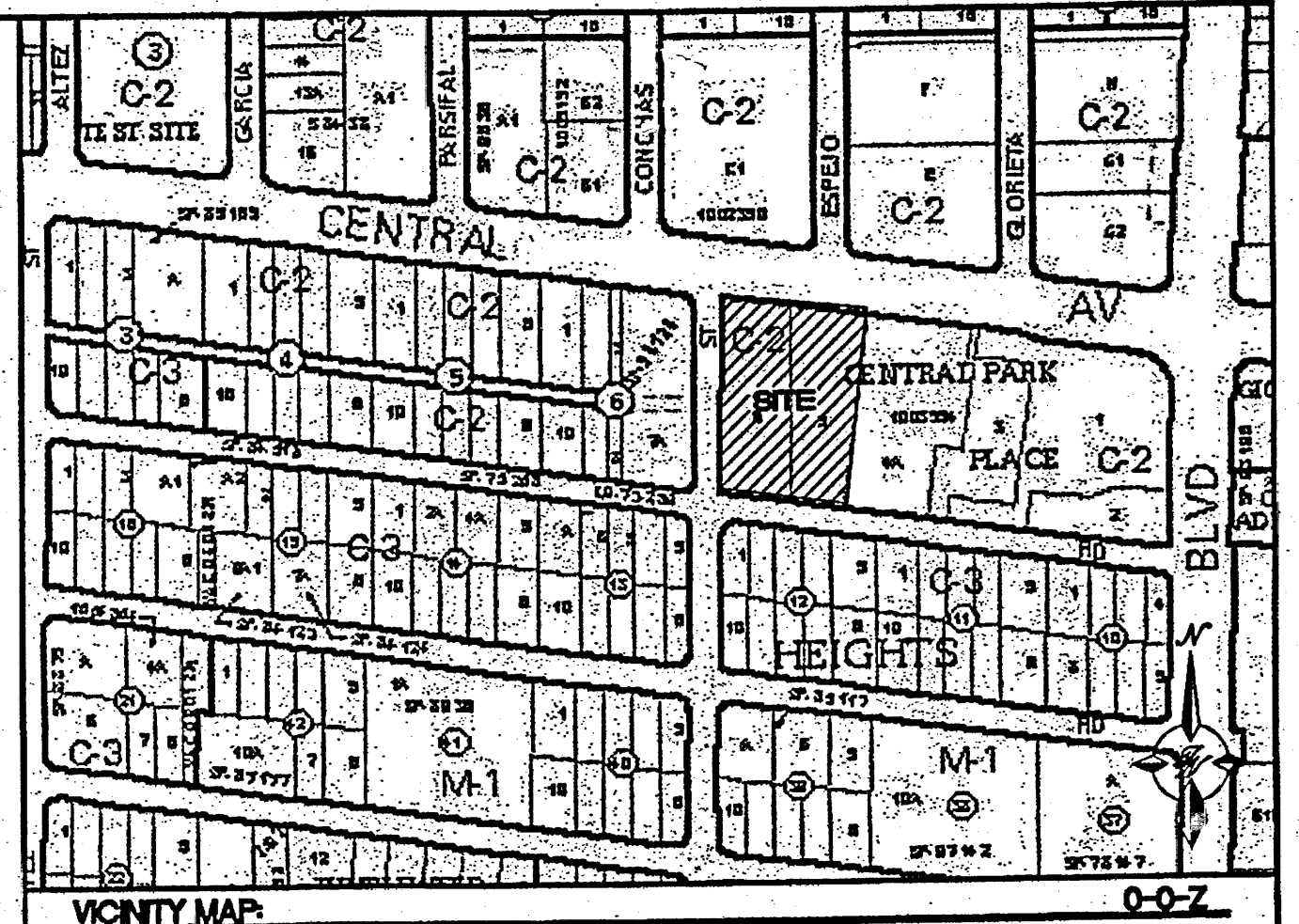
SITE DATA	
PROPOSED USAGE:	RESTAURANT
LOT AREA:	36,179 SF (.8306 ACRE)
BUILDING AREA:	3,745 SF
PARKING PROVIDED:	44 SPACES
PARKING REQUIRED:	37 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	3 SPACES
	1 SPACES VAN ACCESSIBLE
MC PARKING PROVIDED:	2 SPACES
MC PARKING REQUIRED:	2 SPACES

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	TACO CABANA EUBANK AND CENTRAL		DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT		DATE 3-20-09
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		27120-TCL.DWG
			SHEET # C1
			JOB # 27120

ASOTODJAH
EUBANK & JVN



- LEGEND**
- PROPOSED CURB & GUTTER
 - TEMPORARY ASPHALT CURB
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - TEMPORARY ASPHALT PAVEMENT
 - HEAVY DUTY PAVING
 - 4" SLOPE PAVING
 - CENTERLINE
 - RIGHT-OF-WAY
 - LANE
 - STRIPING
 - STREET LIGHTS
 - PROPOSED BUILDING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING



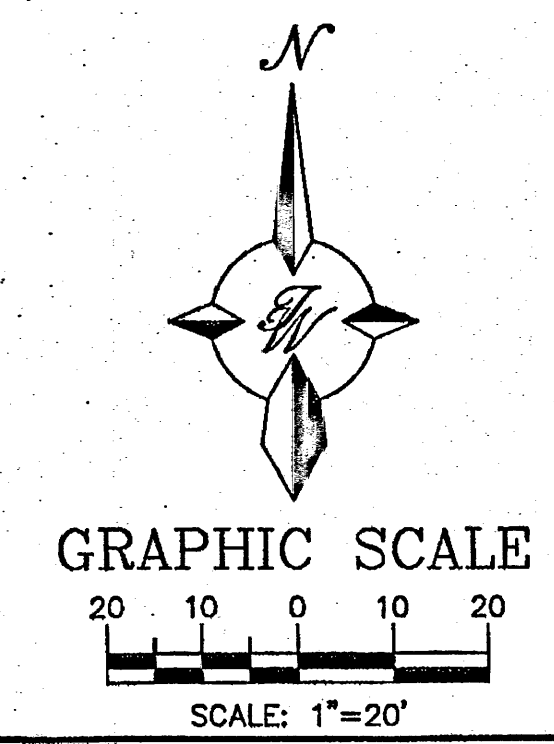
LEGAL DESCRIPTION:

- KEYED NOTES:**
- 1. UNIDIRECTIONAL HC RAMP SEE DETAIL SHEET C4.
 - 2. STOP SIGN WITH STOP BAR STRIPING SEE DETAIL SHEET C4.
 - 3. 6" HEADER CURB TYPICAL PER COA STD DWG #2415B.
 - 4. 6" TEMPORARY ASPHALT CURB *Not Used*.
 - 5. 8" WIDE PATTERNED CONCRETE CROSSWALK SEE SHEET C4.
 - 6. PAINTED DIRECTIONAL ARROWS TYPICAL.
 - 7. 6" CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
 - 8. HANDICAP RAMP WITH TRUNCATED DOMES. SEE DETAIL SHEET C4.
 - 9. CONCRETE WHEEL STOPS. SEE DETAIL SHEET C4.
 - 10. CONCRETE DRIVE THRU SEE GRADING AND DRAINAGE SHEET FOR CONCRETE THICKNESS AND SUBGRADE COMPACTION.
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 - 15. 4" SLOPE PAVING.
 - 16. DUMPSTER ENCLOSURE SEE ARCH PLANS.
 - 17. ADA SIGNS TO BE HUNG ON THE BUILDING.

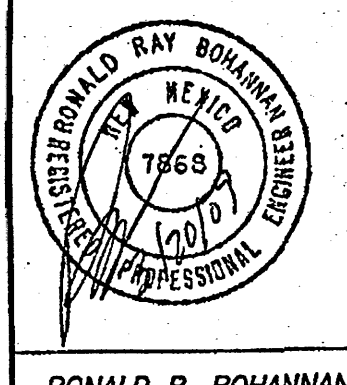
- GENERAL NOTES:**
- 1. ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 - 2. ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 - 3. ALL HANDICAP STRIPING TO BE PAINTED BLUE.

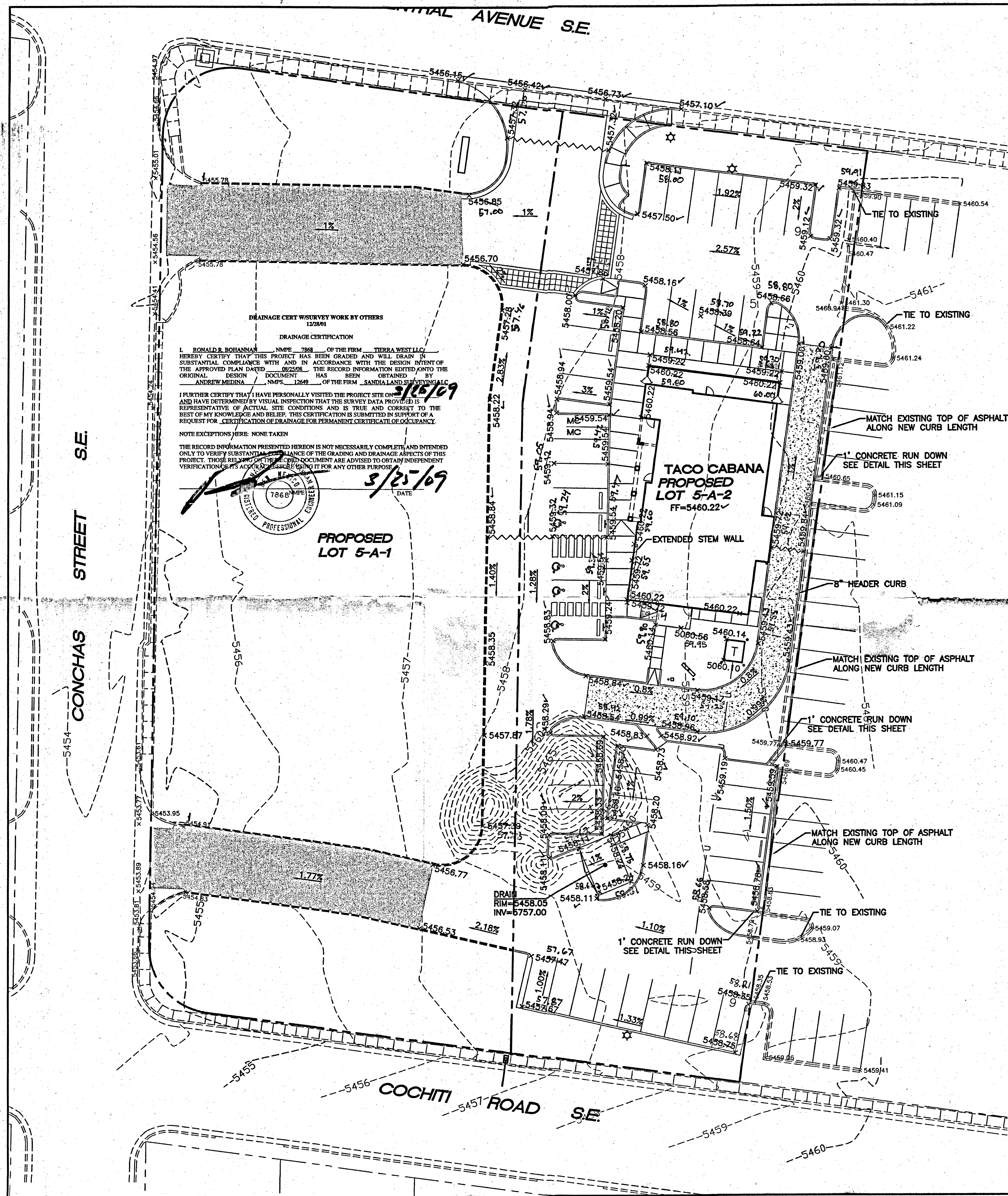
TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 03/20/09



SITE DATA	
PROPOSED USAGE:	RESTAURANT
LOT AREA:	36,179 SF (.8306 ACRE)
BUILDING AREA:	3,745 SF
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	1 SPACES VAN ACCESSIBLE
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MC PARKING REQUIRED:	2 SPACES

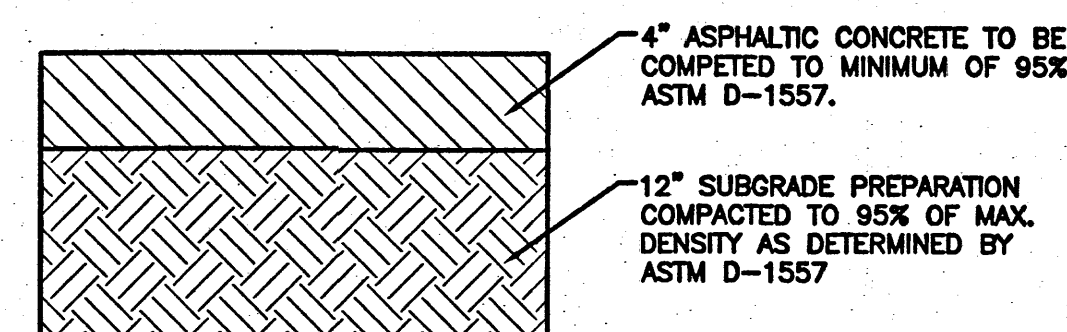
ENGINEER'S SEAL 	TACO CABANA EUBANK AND CENTRAL	DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT	DATE 3-20-09
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		27120-TCL.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 27120



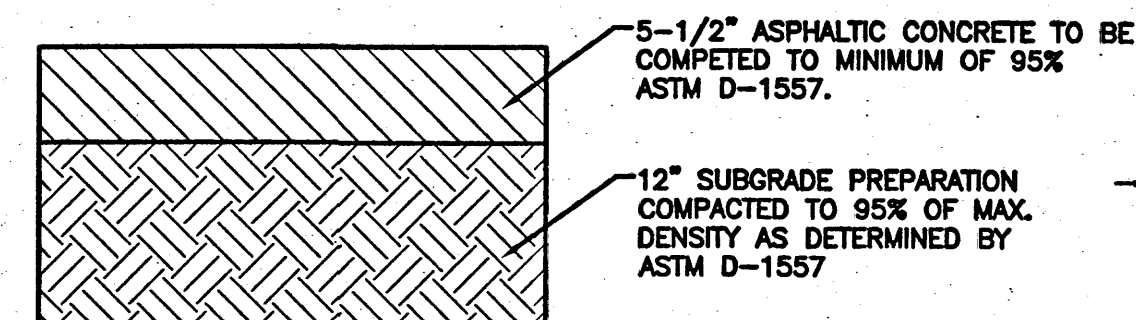
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 OR DIAL 811 LOCALLY, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

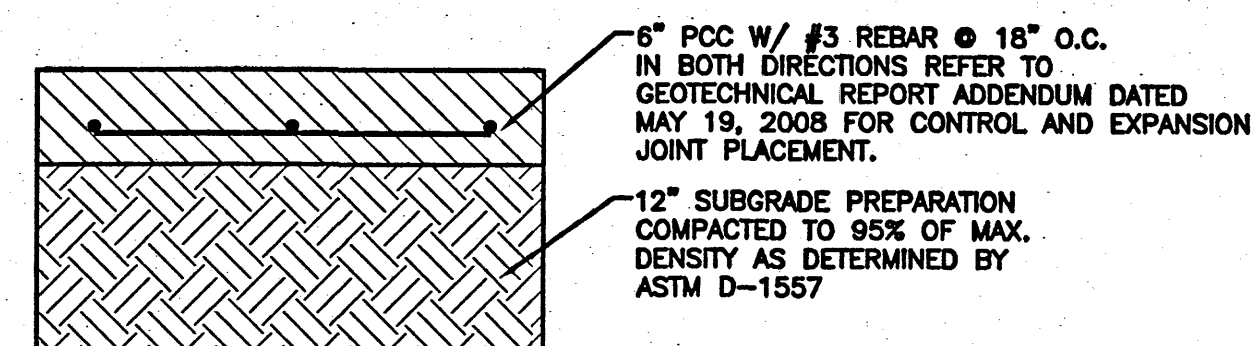
- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



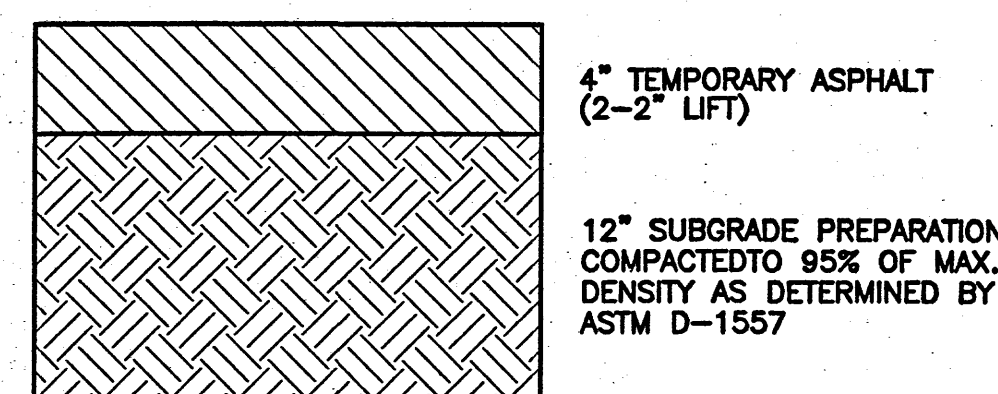
**AUTOMOBILE PARKING
TYPICAL PAVING SECTION**
NOT TO SCALE



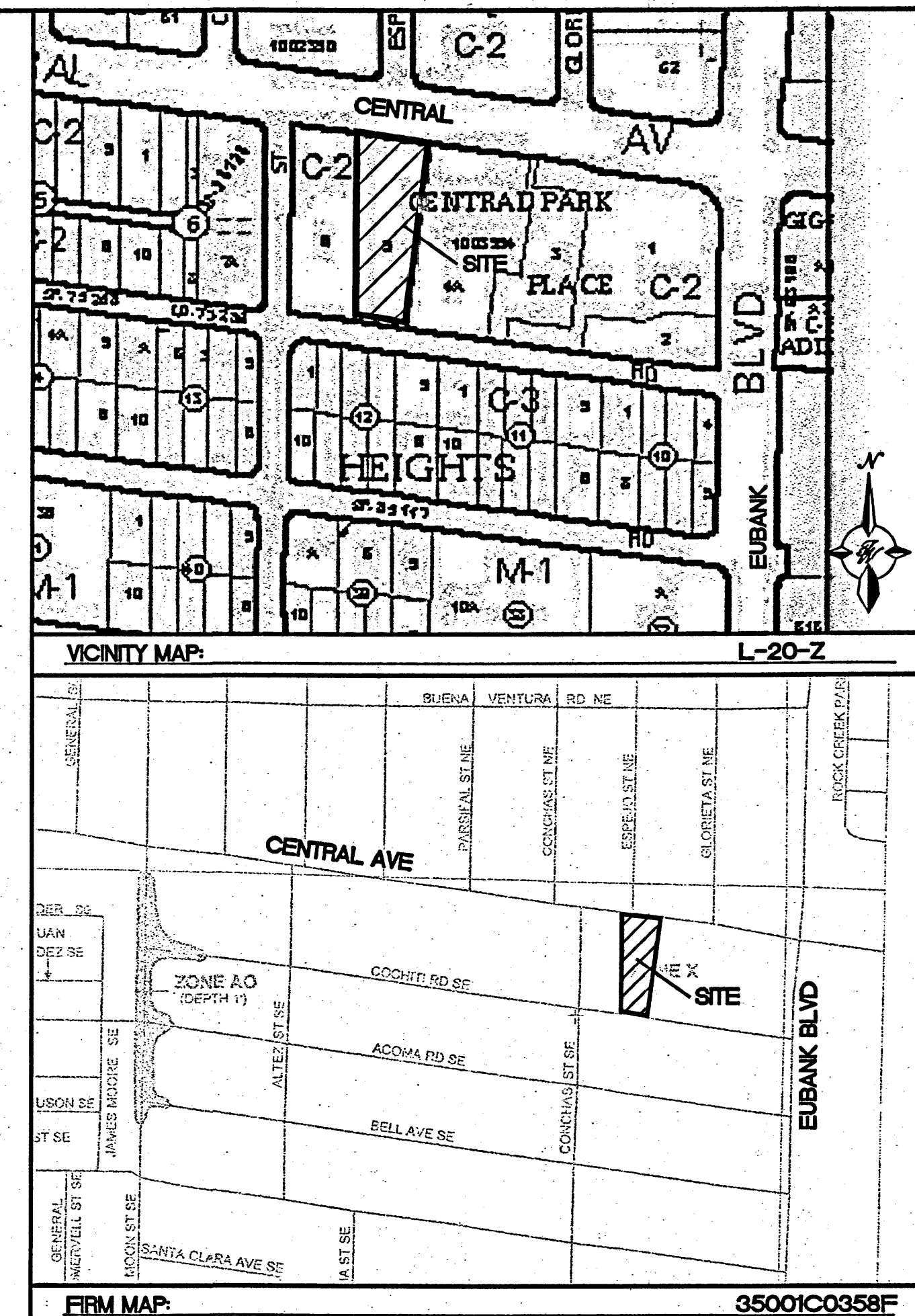
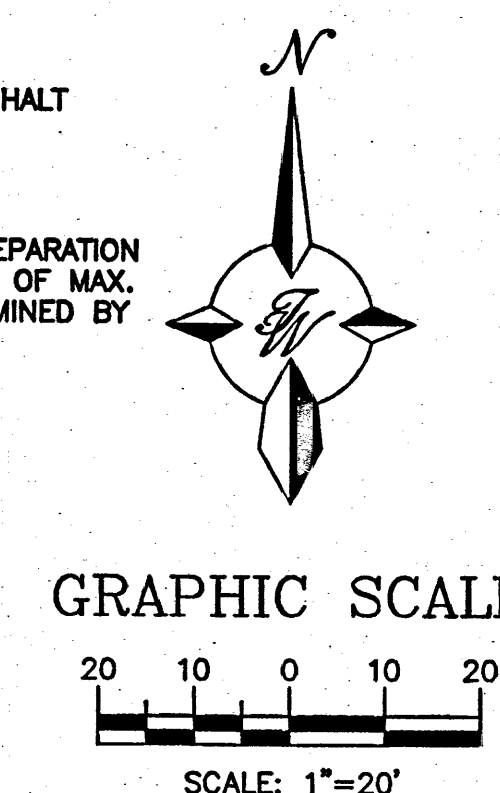
**AUTOMOBILE DRIVEWAYS
TYPICAL PAVING SECTION**
NOT TO SCALE



**DRIVE THRU
TYPICAL PAVING SECTION**
NOT TO SCALE

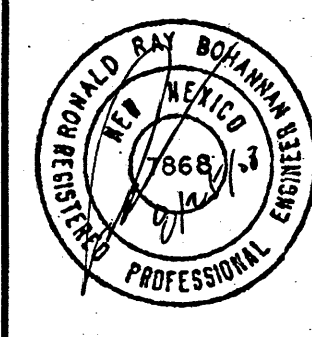


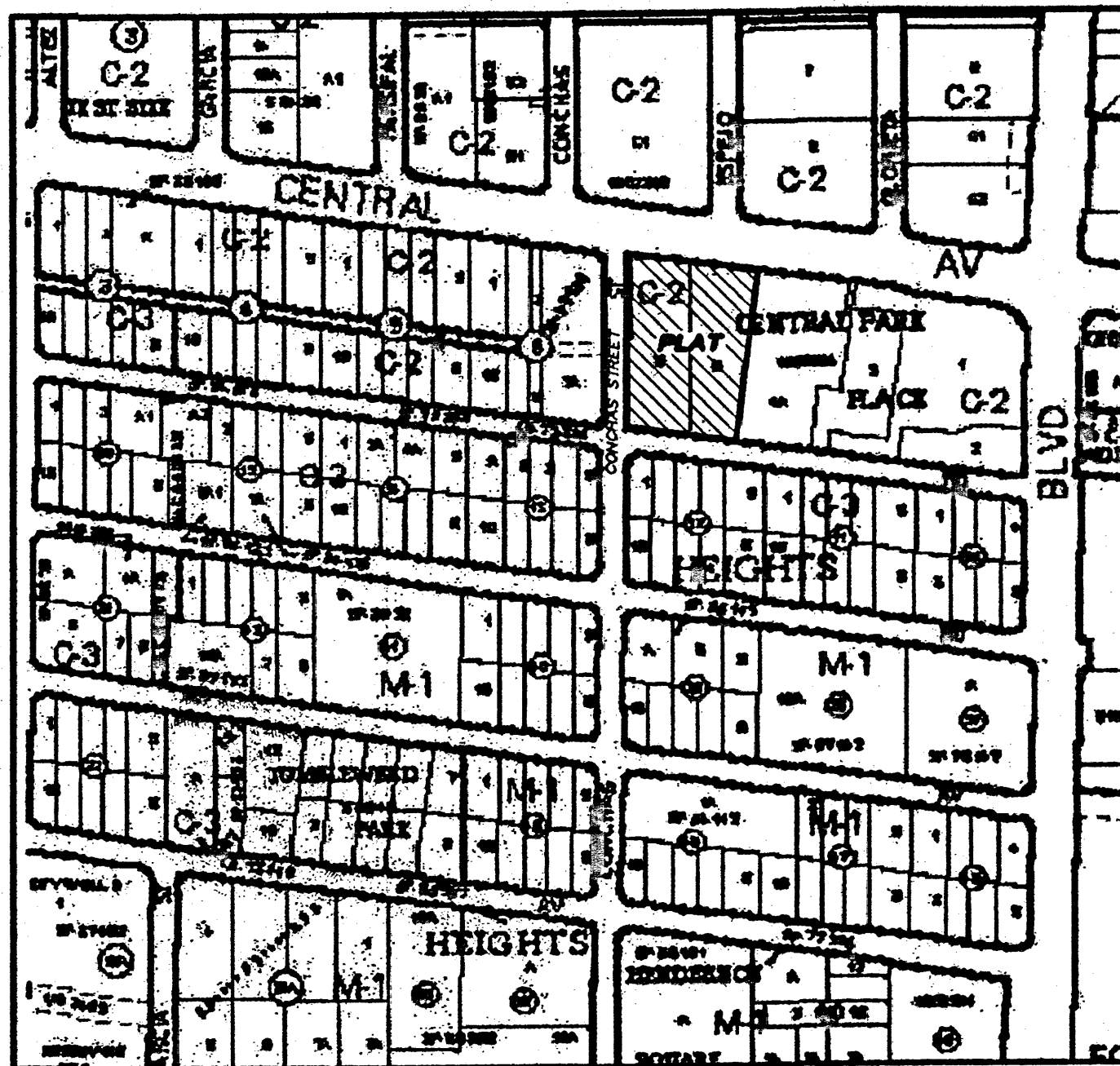
TEMPORARY PAVING SECTION
NTS



- LEGEND**
- ===== EXISTING CURB & GUTTER
 - TEMPORARY ASPHALT CURB
 - BOUNDARY LINE
 - EXISTING BOUNDARY LINE
 - EASEMENT
 - PROPOSED EASEMENT
 - PROPOSED SCREEN WALL
 - PROPOSED RETAINING WALL
 - PROPOSED SIDEWALK
 - TEMPORARY ASPHALT PAVEMENT
 - GRADE BREAK
 - 5011 ----- EXISTING CONTOUR
 - 5010 ----- EXISTING INDEX CONTOUR
 - x 5048.25 EXISTING SPOT ELEVATION
 - 5011 ----- PROPOSED CONTOUR
 - 5010 ----- PROPOSED INDEX CONTOUR
 - x 5048.25 PROPOSED SPOT ELEVATION
 - FLOW ARROW

ROUGH GRADING APPROVAL

ENGINEER'S SEAL	TACO CABANA CENTRAL AND EUBANK	DRAWN BY EMT
	GRADING AND DRAINAGE PLAN	DATE 08-25-08
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	27120-GRB
		SHEET # C2
RONALD R. BOHANNAN P.E. #7868		JOB # 27120



VICINITY MAP
N.T.S.

GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings, Central Zone (NAD 83) originated at the Albuquerque Control Survey Monument "SUSAN".
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page: L-20-Z
- U.C.L.S. Log Number 2007143365.
- Total number of Existing Lots : 1
- Total number of new Lots created: 2
- Gross Subdivision acreage: 1.9260 acres.

PURPOSE OF PLAT:

The Purpose of this plat is to:
Divide existing Lot 5-A into two(2) Lots

PURPOSE OF CORRECTION PLAT

The sole purpose of this Correction Plat is to correct the ownership entity name on Sheet 2 from Central Park Partners, LLC to Central Park Place Limited Company.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

102005147249511002 - 102005145449711001

VISTA ORIENTE LTD CO

2/18/08

Date

South America 3/18/08

Bernalillo County Treasurer

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of underground electrical lines, transformers and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
NMPS No. 9750
February 13, 2008



CORRECTION PLAT OF LOT 5-A-1 AND 5-A-2 CENTRAL PARK PLACE

(BEING A REPLAT OF LOT 5-A, CENTRAL PARK PLACE)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

FEBRUARY, 2008

DOCH 2008030403

03/19/2008 10:14 AM Page: 1 of 3
PLAT R:\$17.00 B: 2008C P: 0049 M: Toulouse, Bernalillo County

PROJECT NUMBER: 1003554

Application Number: 08-70081

PLAT APPROVAL

Utility Approvals:

<i>Fernando Vigil</i> PNM Electric Services	2/19/08 Date
<i>Fernando Vigil</i> PNM Gas Services	2/19/08 Date
<i>David A. Diller</i> QWest Corporation	2/19/08 Date
<i>Donna Burton</i> Comcast	2/19/08 Date

City Approvals:

<i>[Signature]</i> City Surveyor Department of Municipal Development	2-15-08 Date
N/A Real Property Division	Date
N/A Environmental Health Department	Date
<i>[Signature]</i> Traffic Engineering / Transportation Division	2-28-08 Date
<i>[Signature]</i> Utilities Development	2/27/08 Date
<i>Christine Sandoval</i> Parks and Recreation Department	2/27/08 Date
<i>Brendley L. Bingham</i> AMAFCA	2/27/08 Date
<i>Arturo A. Chana</i> City Engineer	2-27-08 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	2-28-08 Date

DOCH 2008030403
02/28/2008 11:30 AM Page: 1 of 3
PLAT R:\$17.00 B: 2008C P: 0035 M: Toulouse, Bernalillo County

SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors
3384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3388
Fax: 505-897-3377

070873

070873

CORRECTION PLAT OF
LOT 5-A-1 AND 5-A-2
CENTRAL PARK PLACE
(BEING A REPLAT OF LOT 5-A, CENTRAL PARK PLACE)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2008

DOCH 2008030403
03/19/2008 10:14 AM Page: 2 of 3
PLAT R-517.00 B-2008C P-0049 N. Toulouse, Bernalillo County

LEGAL DESCRIPTION

That certain parcel of land situate within the Northeast Quarter of Section 29, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising all of Lot numbered Five-A (5-A), Central Park Place as the same is shown and designated on the plat entitled "CORRECTION PLAT, LOT 5-A, CENTRAL PARK PLACE (BEING A REPLAT OF LOTS 5 AND 6, CENTRAL PARK PLACE) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico on July 31, 2007 in Plat Book 2007C, page 208.

Said parcel contains 1.9260 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, LOT 5-A-1 AND 5-A-2, CENTRAL PARK PLACE (BEING A REPLAT OF LOT 5-A, CENTRAL PARK PLACE) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon (if any). Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER(S)

Lot 5-A

Central Park Place Limited Company.
a New Mexico limited liability company

By:

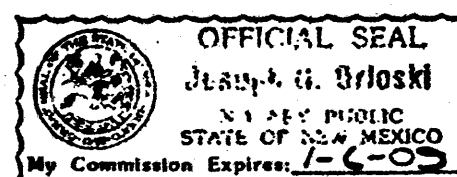
Jeffery Jesionowski, Managing member

ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 14th
day of FEBRUARY, 2008, by Jeffery Jesionowski.

Notary Public

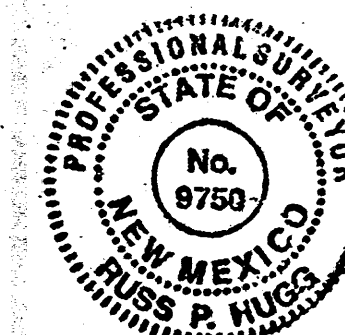


SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

070873. DWG

DOCH 2008022500
02/29/2008 11:38 AM Page: 2 of 3
PLAT R-517.00 B-2008C P-0049 N. Toulouse, Bernalillo County



SHEET 2 OF 3

SURVOTEK, INC.

Consulting Surveyors
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

CORRECTION PLAT OF
LOTS 5-A-1 AND 5-A-2
CENTRAL PARK PLACE
(BEING A REPLAT OF LOT 5-A, CENTRAL PARK PLACE)

CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2008

CURVE TABLE					
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
C1	36.30'	25.00'	22.20'	33.20'	N40°43'05"W
C2	42.24'	25.00'	28.16'	37.39'	N49°16'55"E
C3	30.20'	27.36'	16.85'	28.69'	N41°18'07"E
C4	25.85'	20.00'	15.09'	24.09'	N33°35'05"W

LINE TABLE		
LINE	LENGTH	BEARING
L1	21.58'	N07°55'55"E
L2	74.14'	S83°15'52"E

Albuquerque Control Survey Monument "S-K20"
New Mexico State Plane Coordinates
Central Zone (NAD 83) as published:
N = 1,482,001.249 feet
E = 1,553,259.684 feet
Elevation = 5429.995 feet (NAVD 88)
Ground to grid factor = 0.999652632
Delta Alpha = -00°10'02.59"

DOCH 2008032560
82/28/2008 11:38 AM Page: 3 of 3
PLAT R: \$17.00 B: 2008C P: 0049 M: Toulouse, Bernalillo County

DOCH 2008030403
83/18/2008 10:14 AM Page: 3 of 3
PLAT R: \$17.00 B: 2008C P: 0049 M: Toulouse, Bernalillo County

LOT 7A, BLOCK 6
SKYLINE HEIGHTS
Filed July 9, 1988 in Volume 28C, Folio 193

CONCHAS STREET
S.E.
Existing 50' R/W

LOT 5-A-1
1.0955 Ac.

LOT 5-A-2
0.8306 Ac.

LOT 4-A
CENTRAL PARK PLACE
Filed July 28, 2005 in Plat Book 2005C, Page 261

LOT 3

LOT 1
CENTRAL PARK PLACE
Filed June 29, 2005 in Plat Book 2005C, Page 230

LOT 2

COCHITI ROAD
(Existing 50' R/W)

S.E.

EUBANK BOULEVARD
S.E.
106' R/W

GIGAS ADDITION
Filed December 9, 1983 in Volume 93C, Folio 342

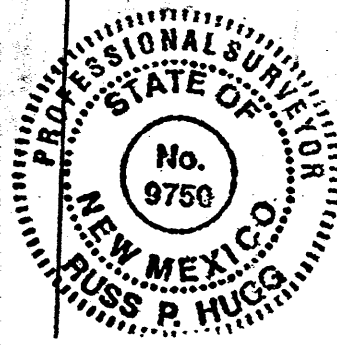
1 2 3 4 5
SKYLINE HEIGHTS
BLOCK 12
Filed July 19, 1945 in Volume C1, Folio 198

SOUTH ESPEJO STREET
East 28.175' Located R/W by City Ordinance
No. 1231 dated June 4, 1953

1 2 3 4 5
BLOCK 11

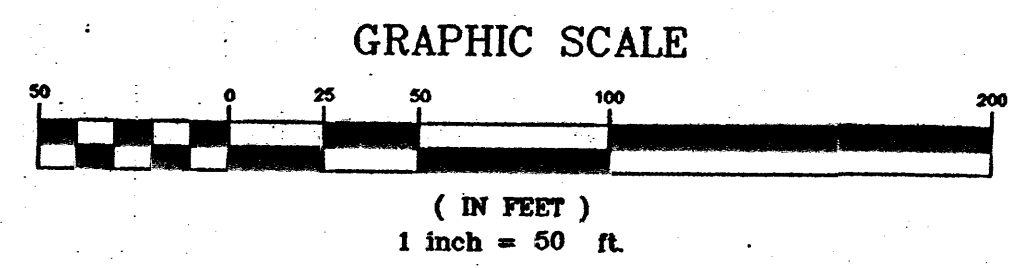
SOUTH GLORIETA STREET
East 28.175' Located R/W by City Ordinance
No. 1231 dated June 4, 1953

1 2 3 4
SKYLINE HEIGHTS
BLOCK 10
Filed July 19, 1945 in Volume C1, Folio 198



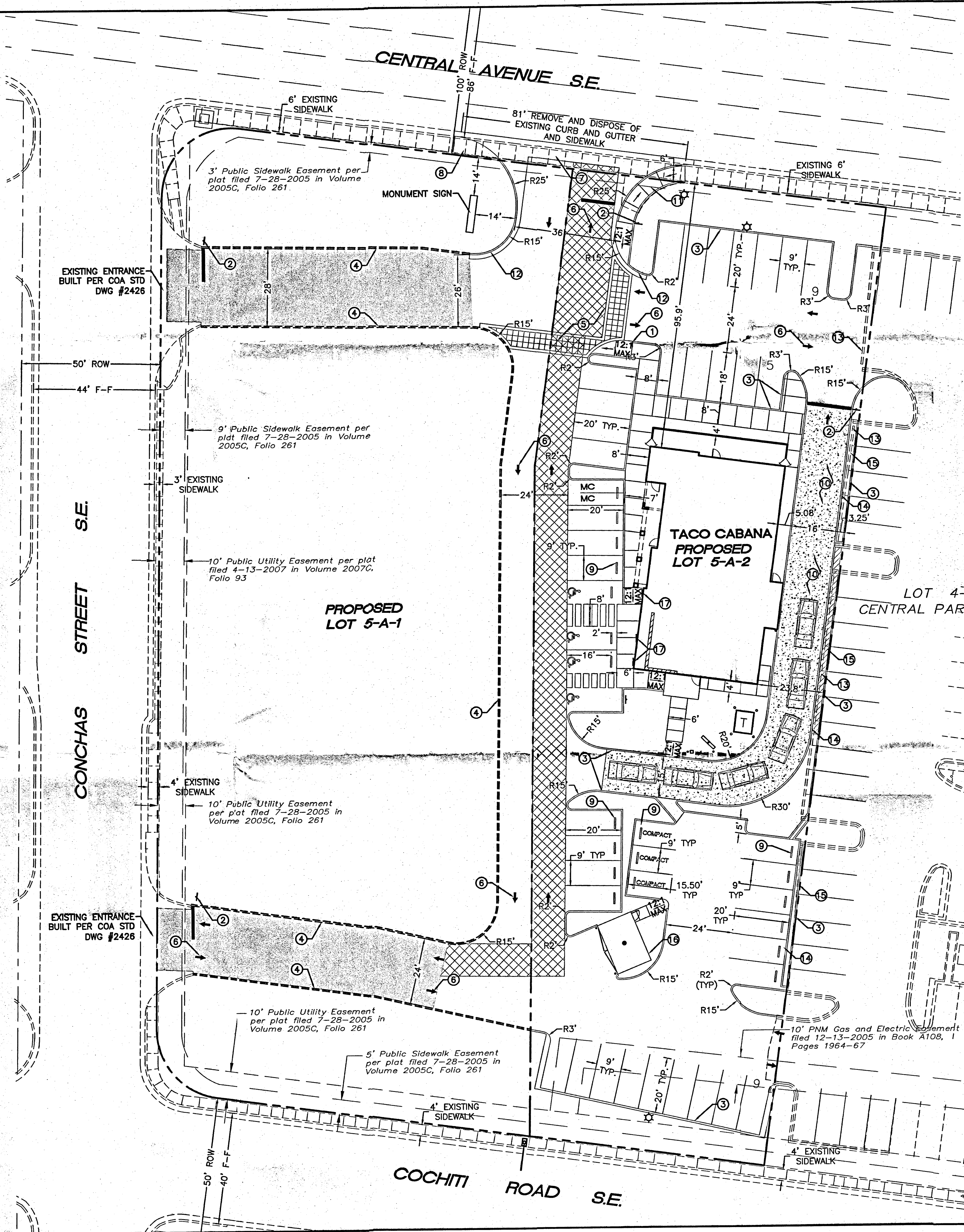
SHEET 3 OF 3

NOTE
Said Lots 5-A-1 and 5-A-2, Central Park Place, as shown hereon are subject to Reciprocal Access, Parking, Utility and Drainage Easements as set forth in that certain "Declaration and Grant of Reciprocal Easements" filed July 28, 2005 in Book A100, Page 8192, records of Bernalillo County, New Mexico.



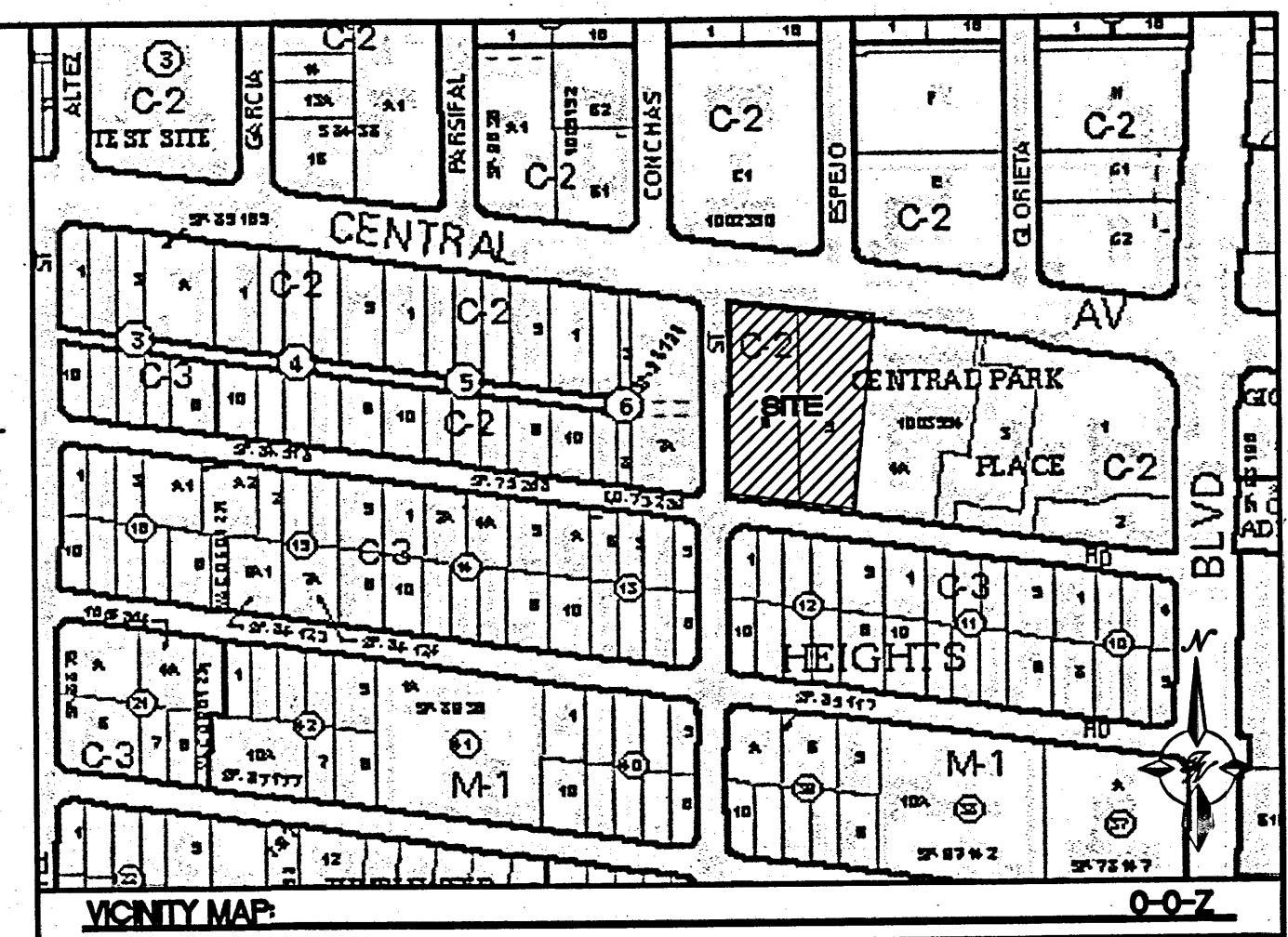
070873. DWG

SURVOTEK, INC.
Consulting Surveyors
6384 Valley View Drive, N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377



LEGEND

	PROPOSED CURB & GUTTER
	TEMPORARY ASPHALT CURB
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	TEMPORARY ASPHALT PAVING
	HEAVY DUTY PAVING
	4" SLOPE PAVING
	CENTERLINE
	RIGHT-OF-WAY
	LANE
	STRIPING
	STREET LIGHTS
	PROPOSED BUILDING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING



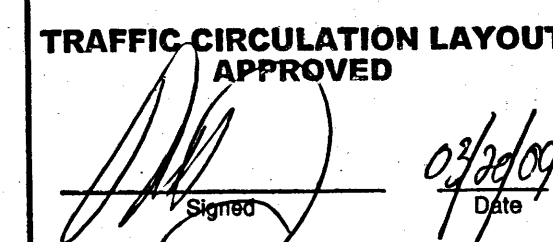
LEGAL DESCRIPTION:

KEYED NOTES:

- UNIDIRECTIONAL HC RAMP SEE DETAIL SHEET C4.
- STOP SIGN WITH STOP BAR STRIPING SEE DETAIL SHEET C4.
- 6" HEADER CURB TYPICAL PER COA STD DWG #2415B.
- 6" TEMPORARY ASPHALT CURB
- 8" WIDE PATTERNED CONCRETE CROSSWALK SEE SHEET C4.
- PAINTED DIRECTIONAL ARROWS TYPICAL
- 6" CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
- HANDICAP RAMP WITH TRUNCATED DOMES. SEE DETAIL SHEET C4.
- CONCRETE WHEEL STOPS. SEE DETAIL SHEET C4.
- CONCRETE DRIVE THRU SEE GRADING AND DRAINAGE SHEET FOR CONCRETE THICKNESS AND SUBGRADE COMPACTION.
- MULTI-DIRECTIONAL HC RAMP W/TRUNCATED DOMES PER DETAIL SHEET C4.
- STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- REMOVE EXISTING ASPHALT CURB.
- 6" HEADER CURB PER COA STD DWG #2415B.
- 4" SLOPE PAVING.
- DUMPSTER ENCLOSURE SEE ARCH PLANS.
- ADA SIGNS TO BE HUNG ON THE BUILDING.

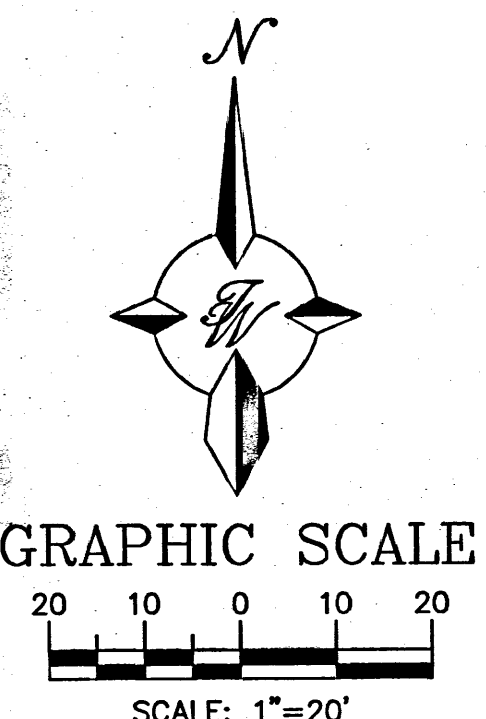
GENERAL NOTES:

- ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
- ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
- ALL HANDICAP STRIPING TO BE PAINTED BLUE.

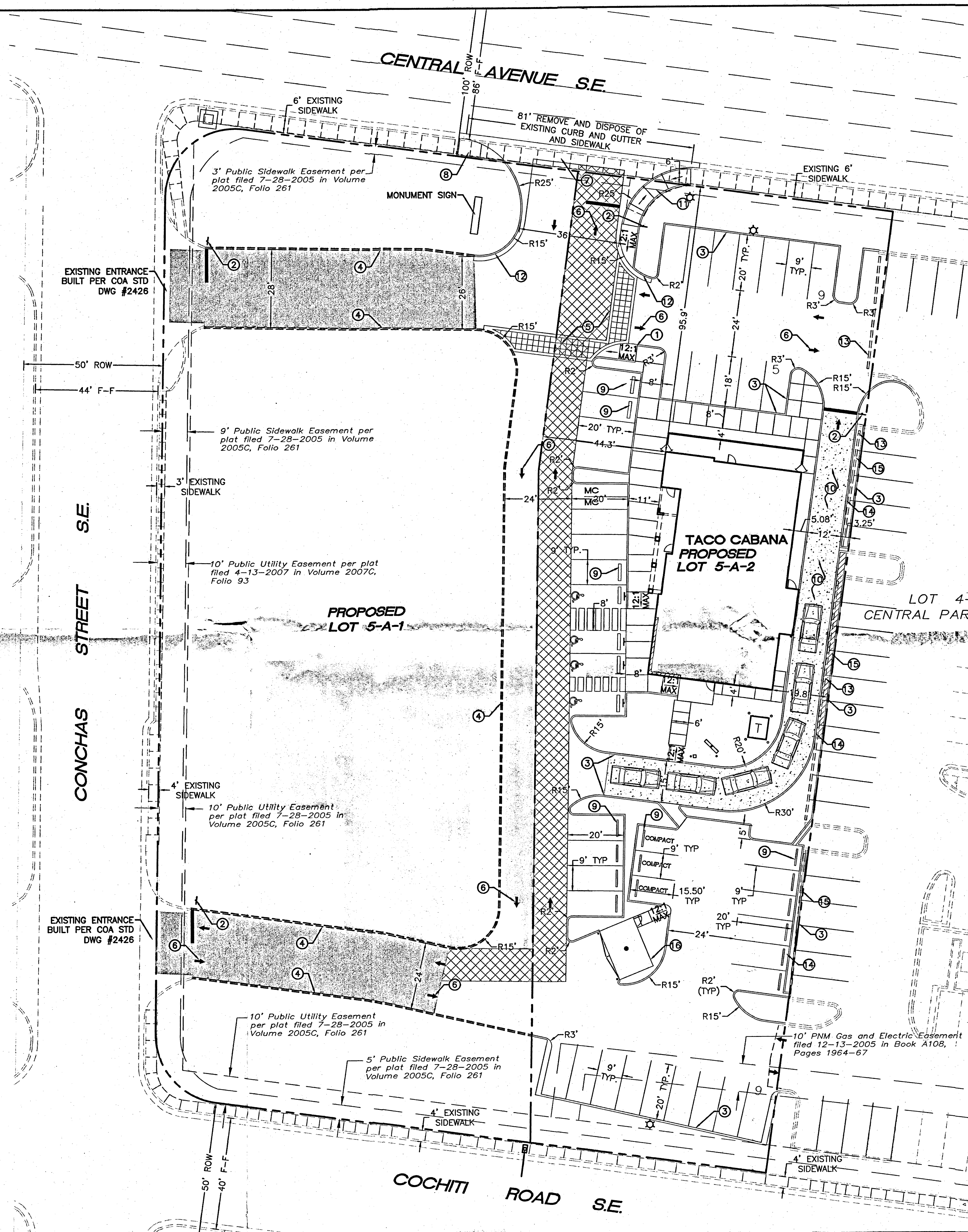


SITE DATA

PROPOSED USAGE:	RESTAURANT
LOT AREA:	36,179 SF (.8306 ACRE)
BUILDING AREA:	3,745 SF
PARKING PROVIDED:	44 SPACES
PARKING REQUIRED:	37 SPACES
HC PARKING PROVIDED:	4 SPACES
HC PARKING REQUIRED:	3 SPACES
	1 SPACES VAN ACCESSIBLE
MC PARKING PROVIDED:	2 SPACES
MC PARKING REQUIRED:	2 SPACES

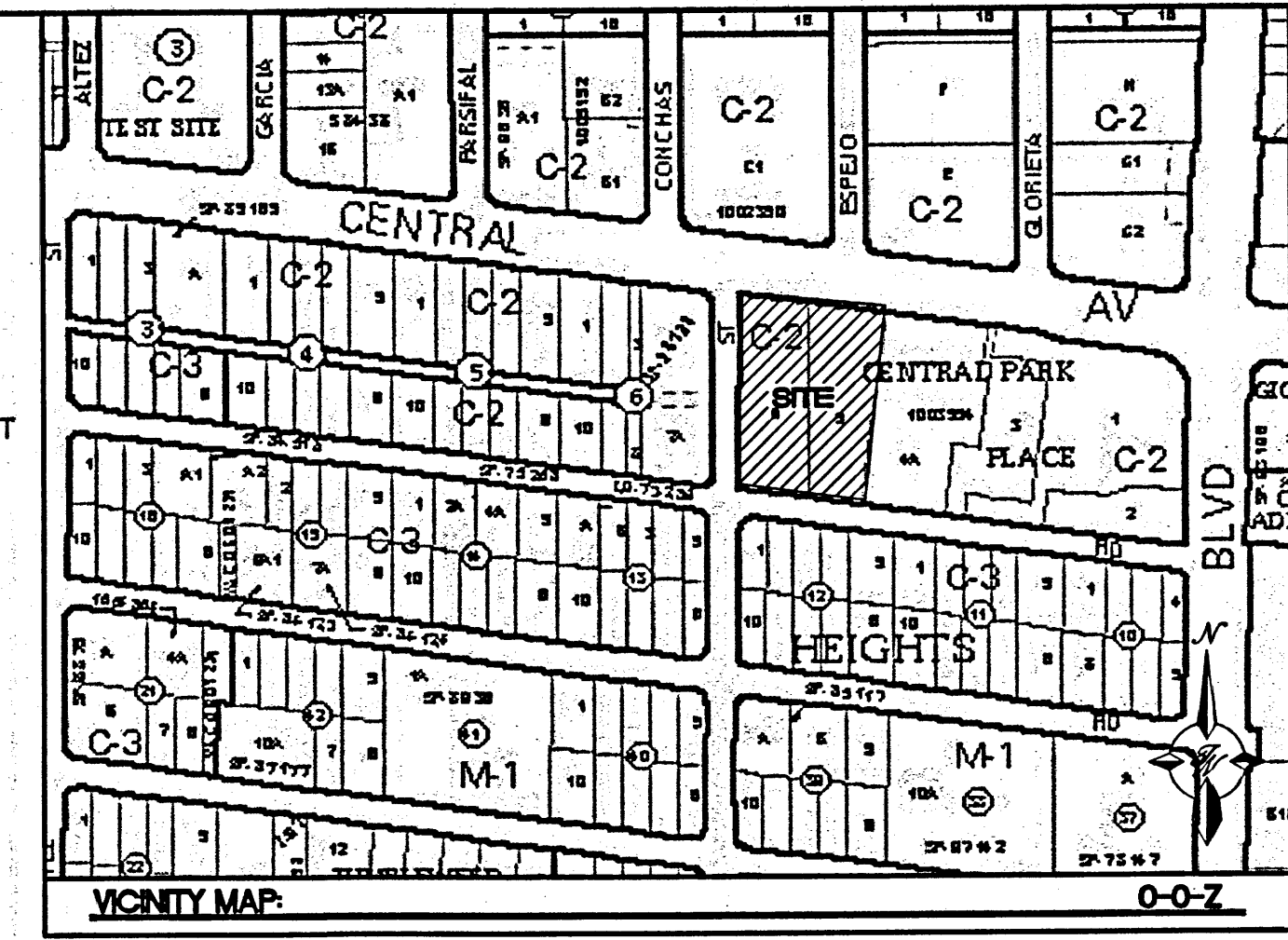


ENGINEER'S SEAL	TACO CABANA EUBANK AND CENTRAL	DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT	DATE 3-20-09
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	27120-TCLDWG
		SHEET # C1
		JOB # 27120



- LEGEND**
- PROPOSED CURB & GUTTER
 - TEMPORARY ASPHALT CURB
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - TEMPORARY ASPHALT PAVEMENT
 - HEAVY DUTY PAVING
 - 4" SLOPE PAVING
 - CENTERLINE
 - RIGHT-OF-WAY
 - LANE
 - STRIPING
 - STREET LIGHTS
 - EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING

Field
Insp.
Friday
Am



LEGAL DESCRIPTION:

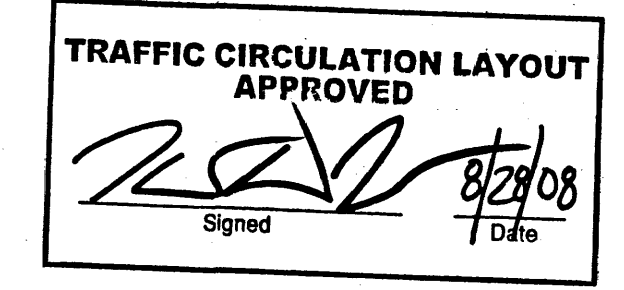
- KEYED NOTES:**
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 - STOP SIGN WITH STOP BAR STRIPING SEE DETAIL SHEET C4.
 - 6" HEADER CURB TYPICAL PER COA STD DWG #2415B.
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 - PAINTED DIRECTIONAL ARROWS TYPICAL.
 - 6" CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
 - HANDICAP RAMP WITH TRUNCATED DOMES. SEE DETAIL SHEET C4.
 - CONCRETE WHEEL STOPS. SEE DETAIL SHEET C4.
 - CONCRETE DRIVE THRU SEE GRADING AND DRAINAGE SHEET FOR CONCRETE THICKNESS AND SUBGRADE COMPACTION.
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 - REMOVE EXISTING ASPHALT CURB.
 - 8" HEADER CURB PER COA STD DWG #2415B.
 - 4" SLOPE PAVING.
 - DUMPSTER ENCLOSURE SEE ARCH PLANS.

GENERAL NOTES:

- ALL PEDESTRIAN CROSSWALKS SHALL BE PAINTED WHITE.
 - ALL PARKING STALLS SHALL BE PAINTED WITH WHITE STRIPES.
 - ALL HANDICAP STRIPING TO BE PAINTED BLUE.
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

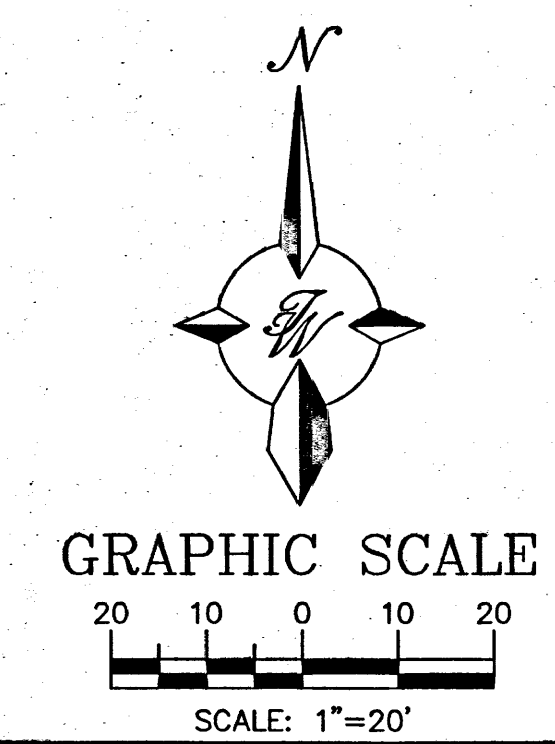
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MC PARKING PROVIDED:	2 SPACES
MC PARKING REQUIRED:	2 SPACES

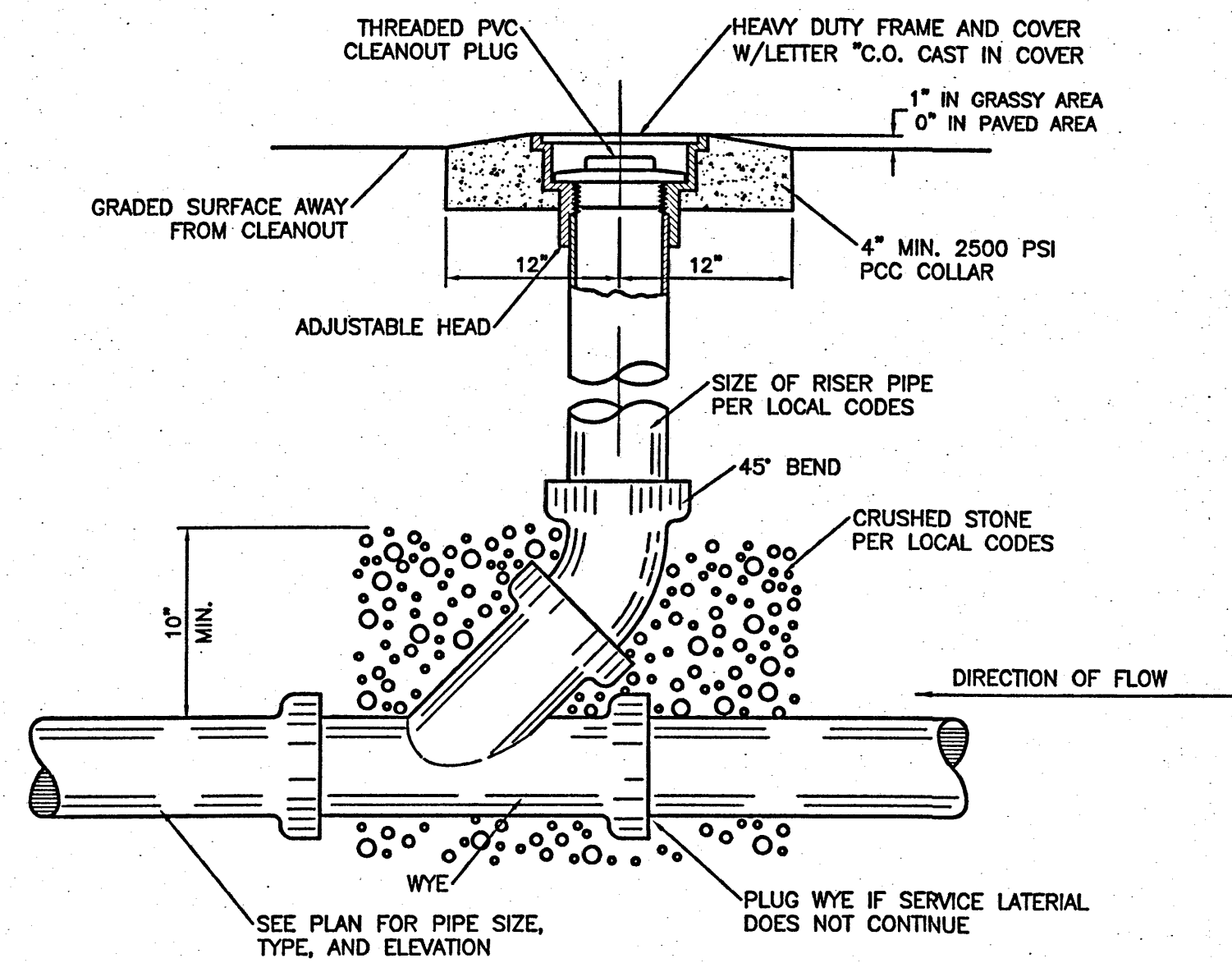


Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

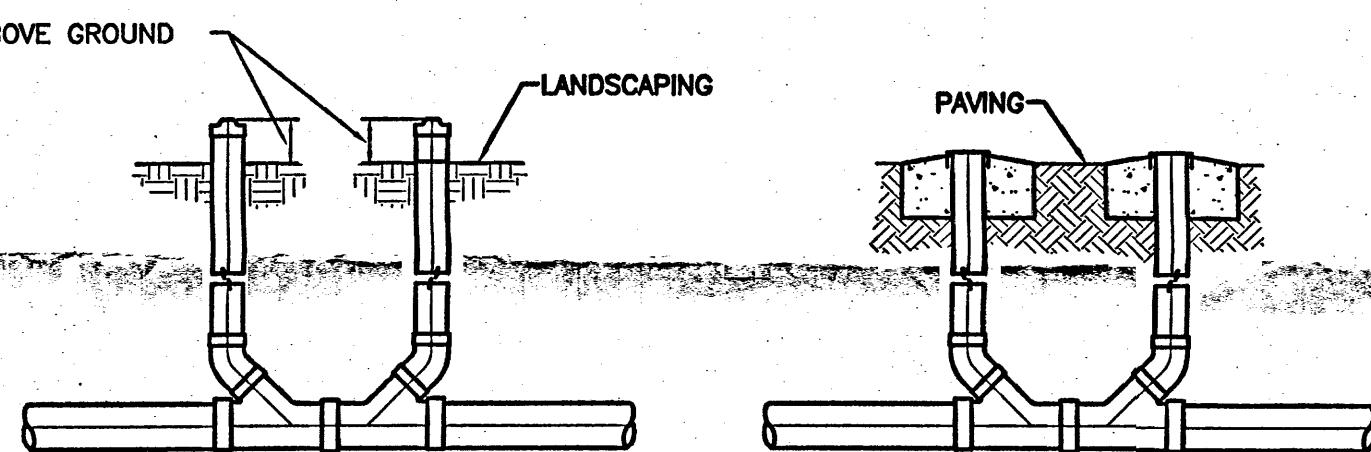
RECEIVED
AUG 28 2008



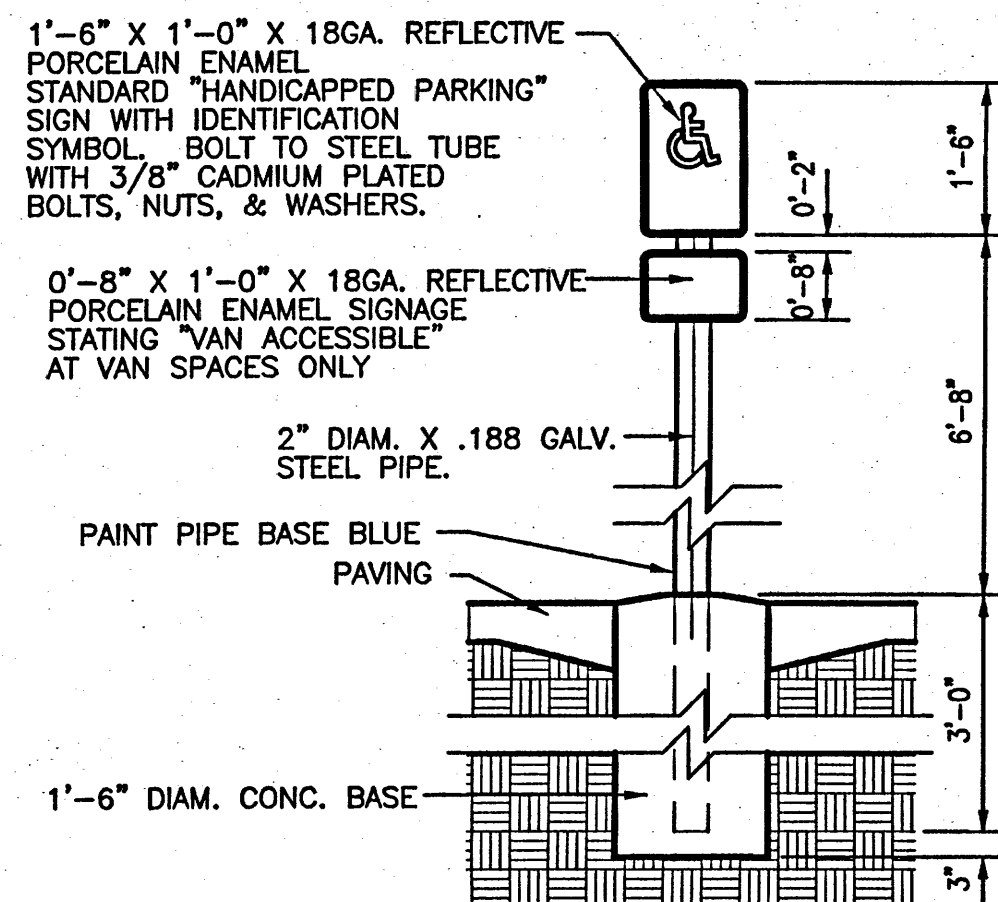
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	TACO CABANA EUBANK AND CENTRAL	DRAWN BY EMT
	TRAFFIC CONTROL LAYOUT	DATE 8-28-08
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		27120-TCL.DWG
		SHEET # C1
		JOB # 27120



SANITARY SEWER CLEAN-OUT
NTS

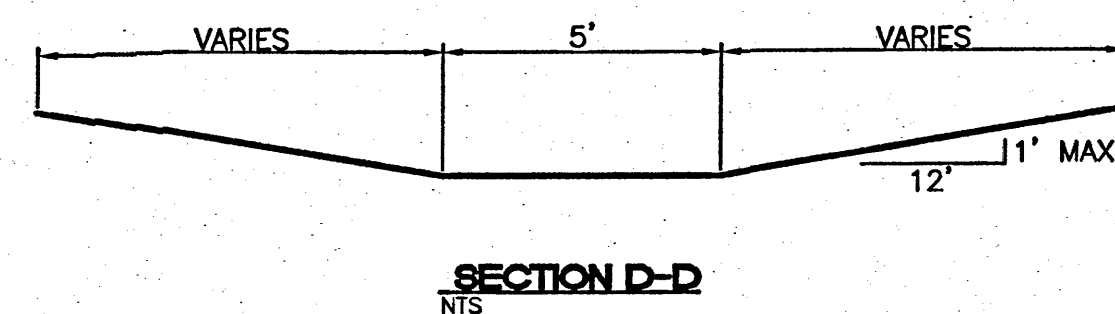


SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

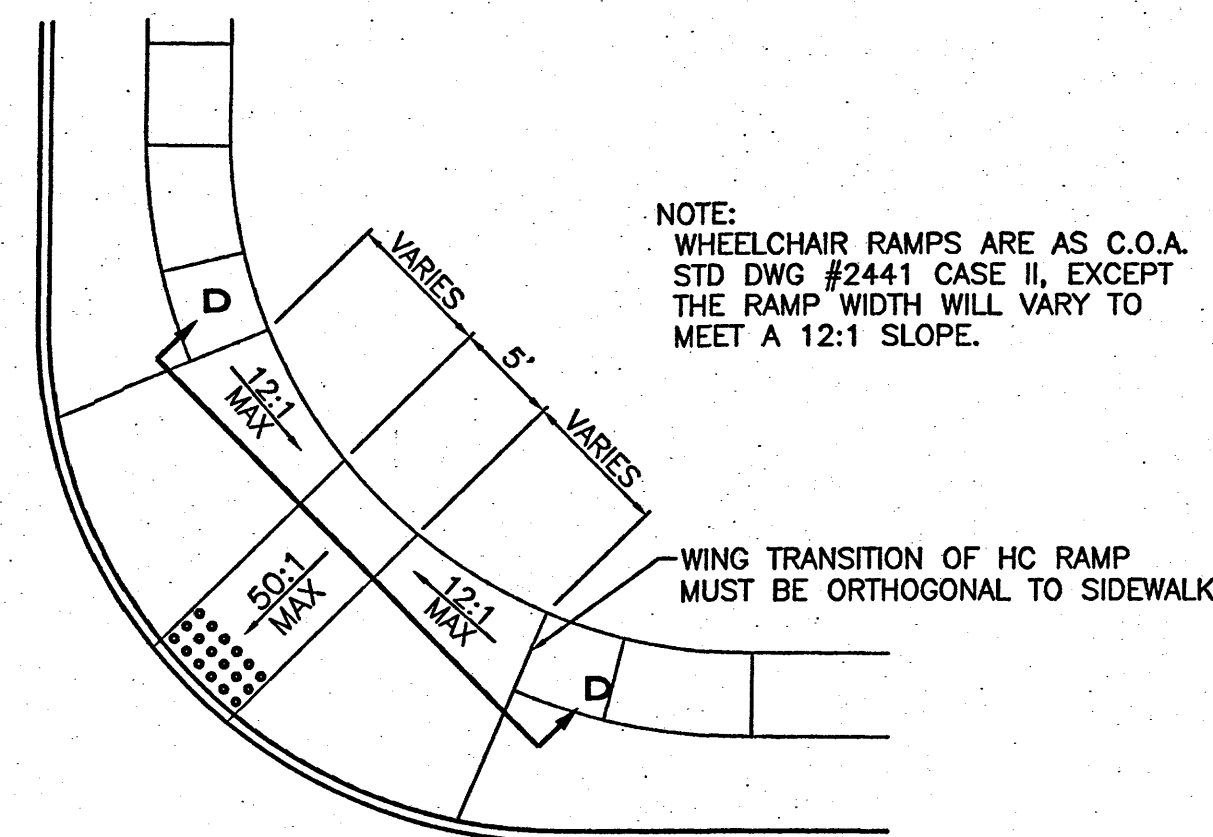


HANDICAP SIGN

1/2" = 1'-0"



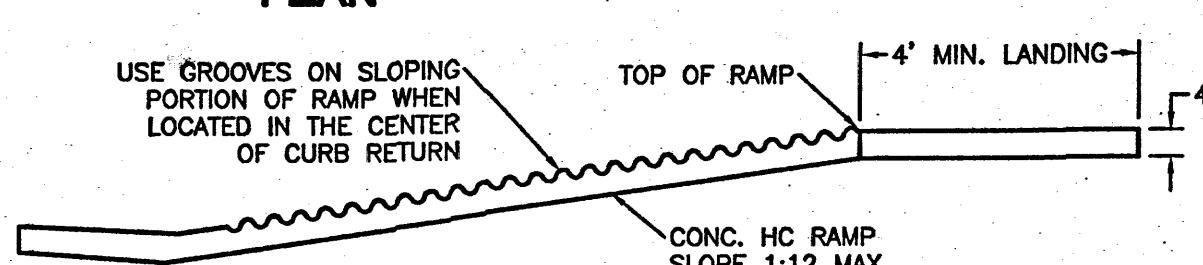
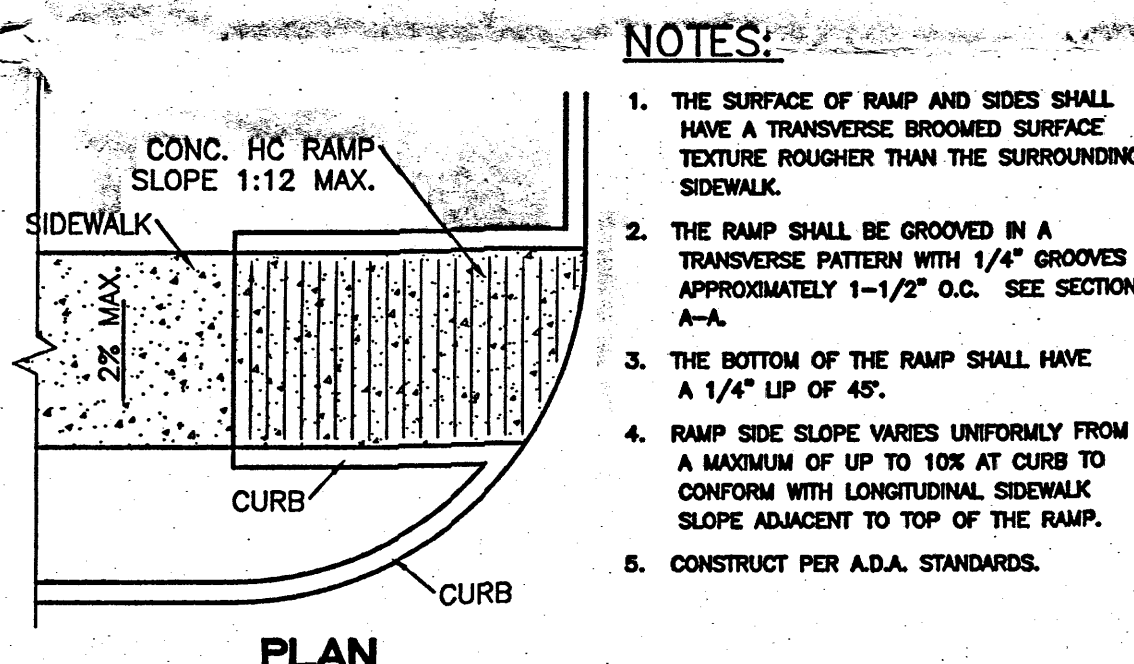
SECTION D-D
NTS



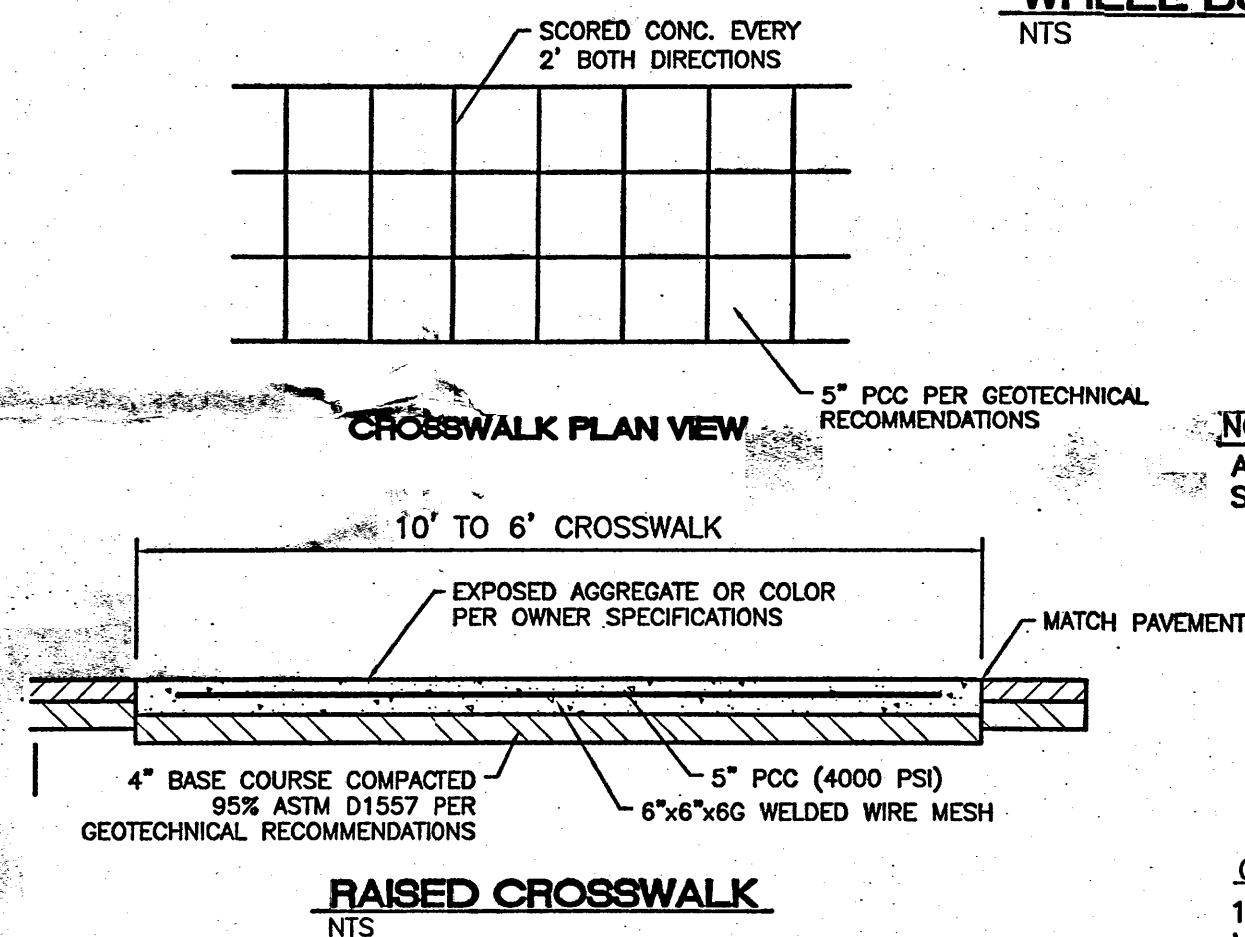
WHEELCHAIR RAMP DETAIL (TYP.)
NTS

NOTE: WHEELCHAIR RAMPS ARE AS C.O.A. STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 SLOPE.

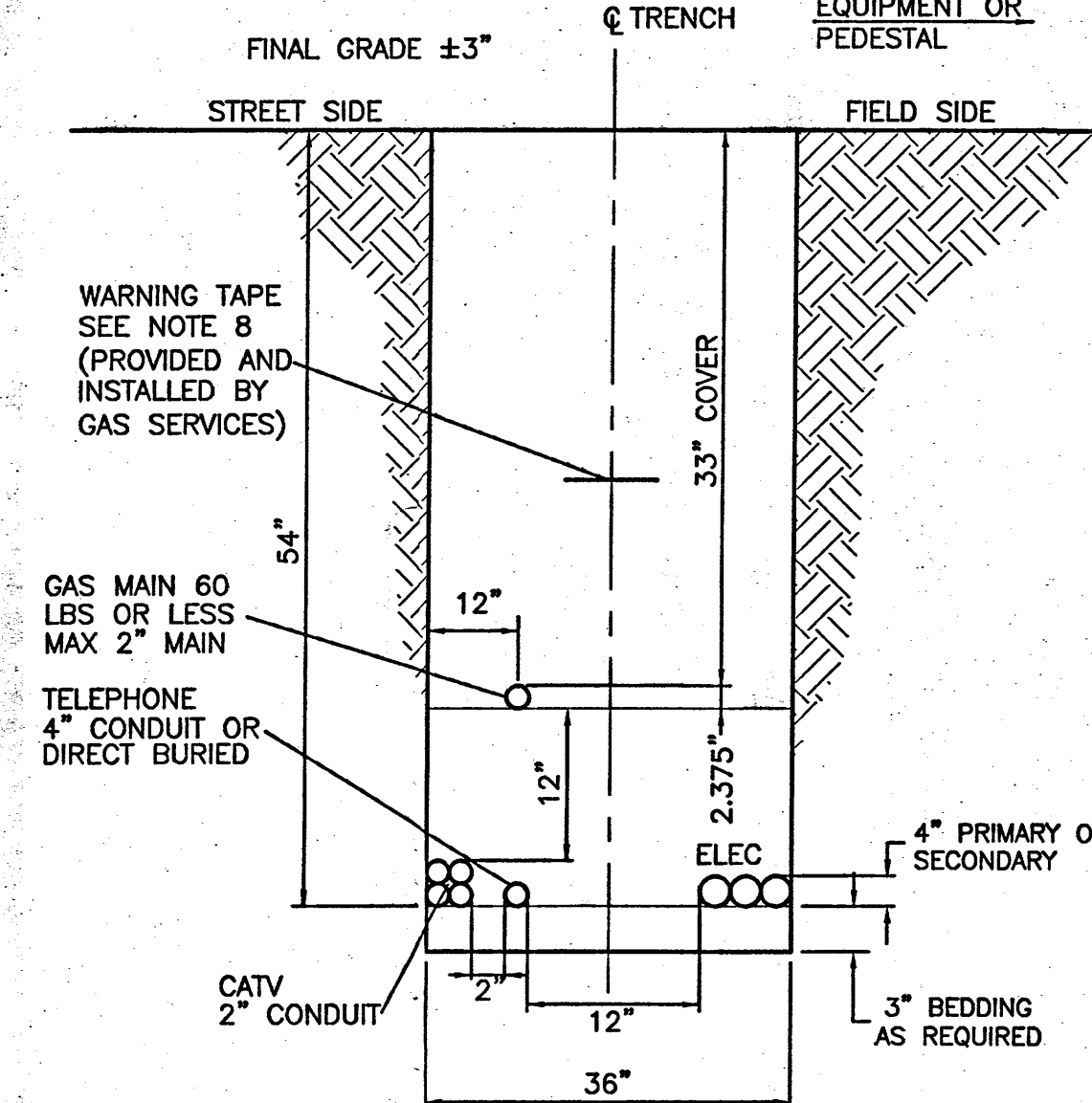
WING TRANSITION OF HC RAMP MUST BE ORTHOGONAL TO SIDEWALK



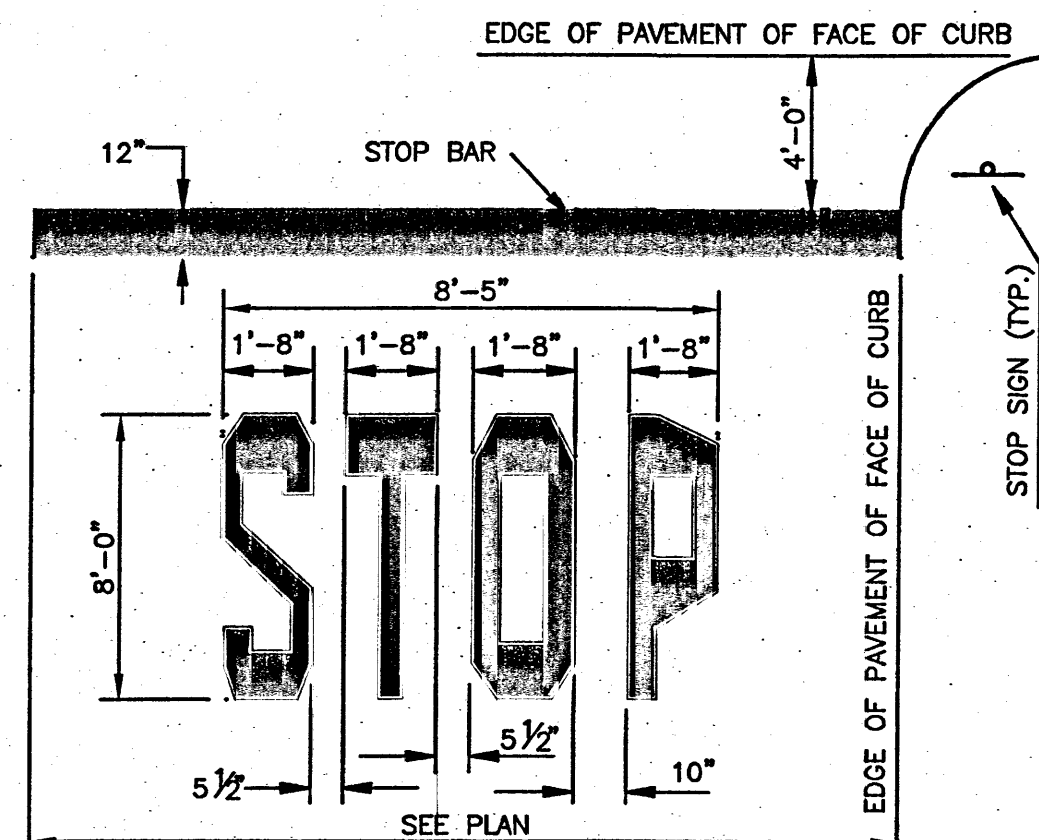
SECTION A-A
ON-SITE UNIDIRECTIONAL HC RAMP
SCALE: NTS



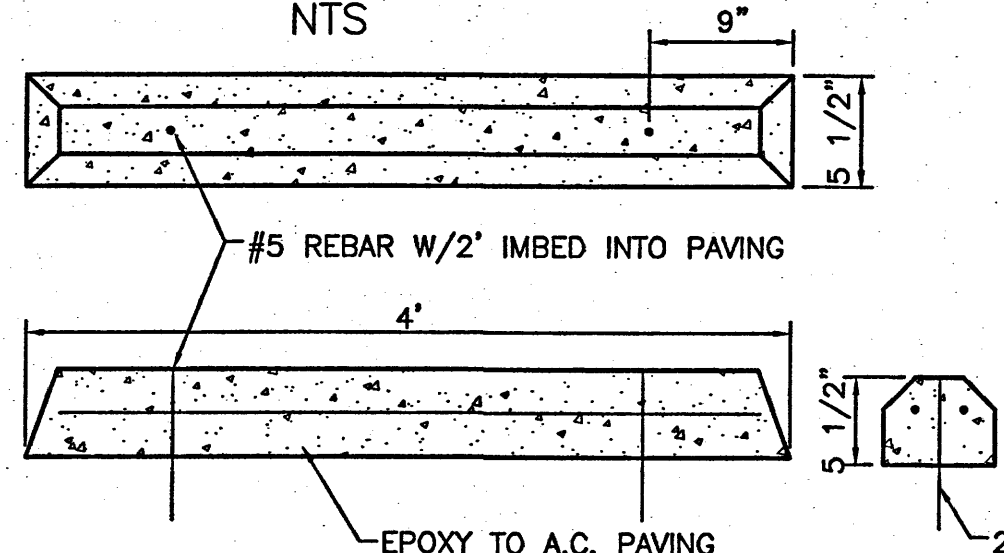
RAISED CROSSWALK
NTS



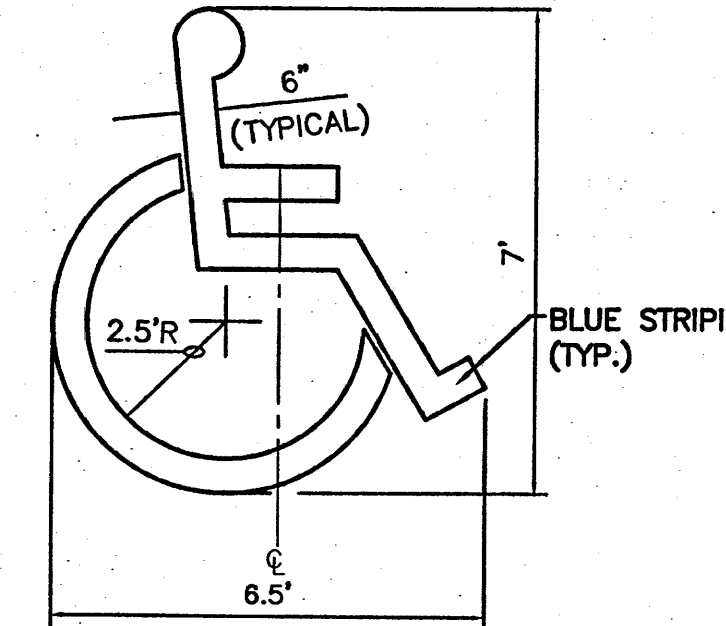
TYPICAL TRENCH DETAIL
NTS



STOP BAR DETAIL
NTS

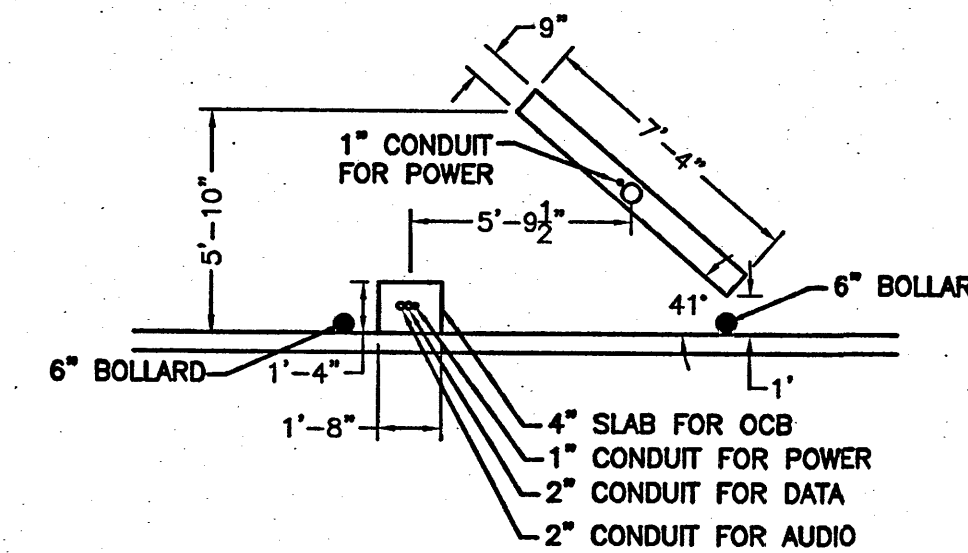


WHEEL BUMPER
NTS

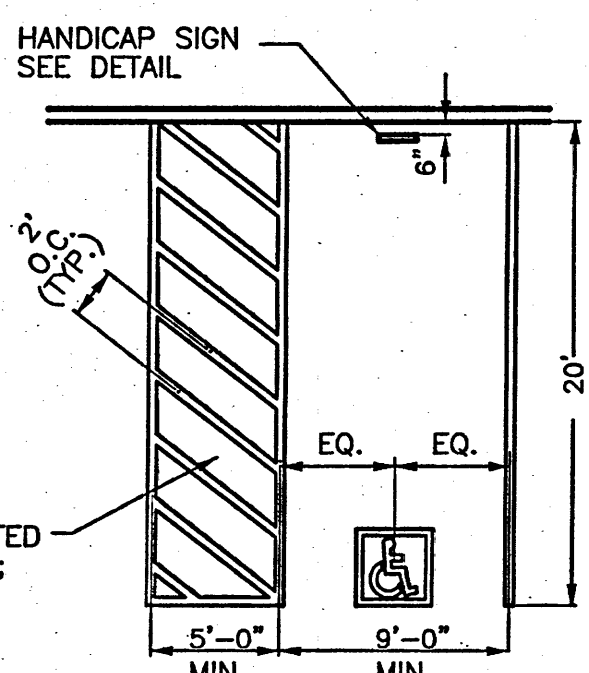


ACCESSIBLE PARKING SYMBOL
NTS

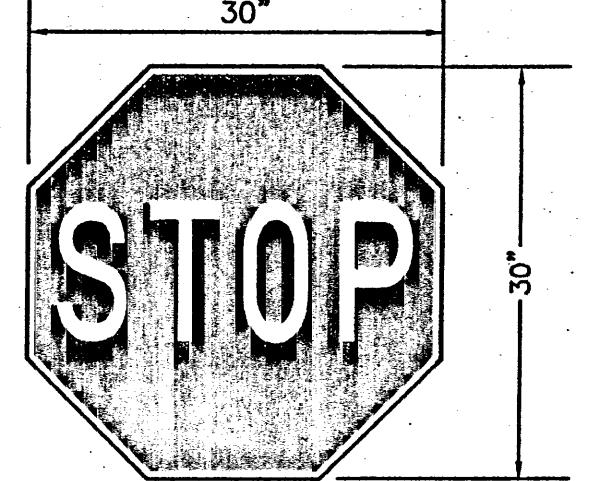
LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



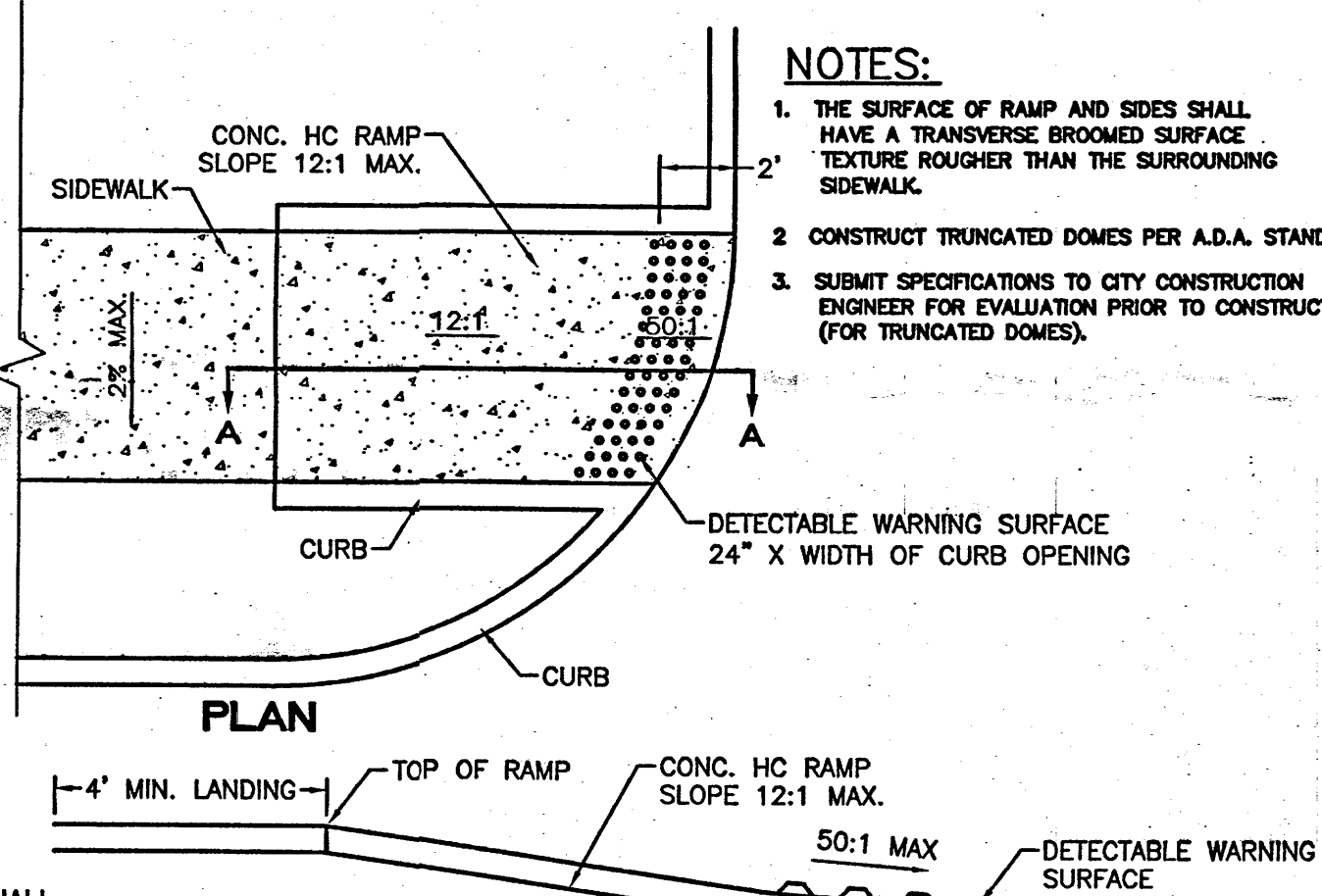
MENU BOARD LAYOUT
SCALE 1"=5'



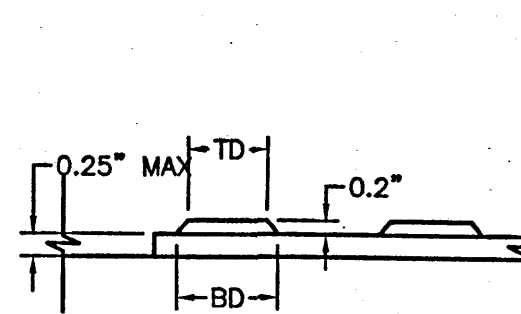
HANDICAP PARKING
NTS



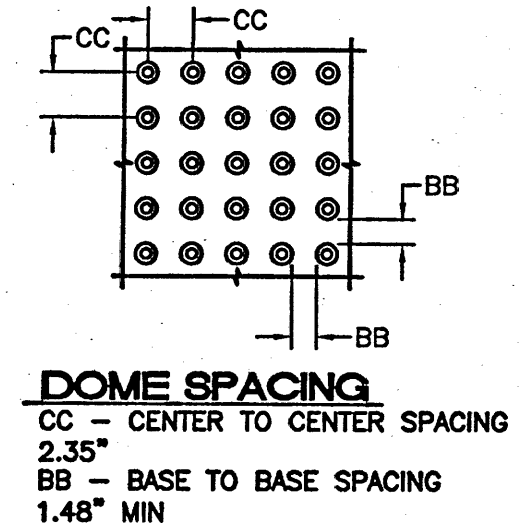
NOTES:
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT TRUNCATED DOMES PER A.D.A. STANDARDS.
3. SUBMIT SPECIFICATIONS TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION (FOR TRUNCATED DOMES).



SECTION A-A
PUBLIC UNIDIRECTIONAL HC RAMP
NOT TO SCALE



DOMES SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD
MIN TO 65% OF BD MAX



- GENERAL NOTES**
1. COMPACTION IN CITY OR STATE RIGHT-OF-WAYS SHALL MEET OR EXCEED MINIMUM SPECIFIED REQUIREMENTS
 2. SHADING AND BEDDING MATERIAL TO BE TYPE IV, CLASS 1 FOR DIRECT BURIED CABLE AND TYPE IV, CLASS 2 FOR CABLE IN CONDUIT, TYPE III MATERIAL IS SUITABLE FOR EITHER TYPE OF INSTALLATION. REFER TO DS-10-12.4 FOR FILL MATERIAL REQUIREMENTS.
 3. IF TRENCH-RUN MATERIAL MEETS BACK FILL MATERIAL TYPE REQUIREMENTS, 3" BEDDING MAY BE OMITTED PROVIDED THE TRENCH BOTTOM IS SMOOTH, FLAT AND WITHOUT SURFACE IRREGULARITIES.
 4. SEPARATION BETWEEN JACKETED PRIMARY AND COMMUNICATION CABLES SHALL BE AT LEAST 12".
 5. SPOIL PILE SHALL BE PLACED ON THE FIELD SIDE A MINIMUM OF 2' FROM TRENCH EDGE.
 6. WATER LINES SHALL MAINTAIN 12" MINIMUM HORIZONTAL SEPARATION FROM OTHER UTILITIES AND MAY BE INSTALLED EITHER ABOVE OR BELOW OTHER UTILITIES DEPENDING ON FREEZE DEPTH.
 7. LATEST OSHA TRENCH SAFETY REQUIREMENTS SHALL BE STRICTLY OBSERVED.
 8. WARNING TAPE SHALL BE PLACED A MINIMUM OF 12" ABOVE THE UPPER LEVEL OF UTILITIES AT THE CENTER OF TRENCH.
 9. WHEN BINCING CABLES TO PEDESTALS, 12" SEPARATION MUST BE MAINTAINED FROM THE GAS LINE.
 10. PNM OWNED OR MAINTAINED STREETLIGHT CIRCUITS MAY BE INSTALLED IN TRENCH NEXT TO ELECTRIC CABLES.
 11. PRIVATE AREA LIGHTING OR PRIVATE STREETLIGHT CIRCUITS MAY NOT BE IN JOINT TRENCH.
 12. GAS SERVICE MUST BE 12" AWAY FROM WHERE IT WILL PASS EQUIPMENT OR PEDESTALS.

REFERENCES
1. NESC RULE 352, 353, 354.

ENGINEER'S SEAL	TACO CABANA EUBANK AND CENTRAL	DRAWN BY <i>EMT</i>
		DATE 05-22-08
		27120-DET.DWG
		SHEET # C4
		JOB # 27120
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	