



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 13, 2001

Levi J. Valdez, P.E.
C/O George Rodriguez Dev. Consult.
12800 San Juan NE
Albuquerque, New Mexico 87123

RE: TUMBLEWEED PARK SUBD LOT 11 (L-10/D13F)
(Bell Ave SE)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 9/15/2000
ENGINEERS CERTIFICATION DATED 6/12/2001

Dear Mr. Valdez:

Based upon the information provided in your Engineers Certification submittal dated 6/12/2001,
the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Public Works Department

BM

C: Vickie Chavez, CAO
drainage file
approval file

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: ROBERT JACOBS ZONE ATLAS/DRNG. FILE #: L-20/D13F
 DRB #: _____ EPC #: _____ WORK ORDER #: _____
 LEGAL DESCRIPTION: LOT ELEVEN (11), TUMBLEWEED PARK SUBDIVISION
 CITY ADDRESS: 9916 BELL AVE. S.E., ALBUQ., N.M. 87123
 ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ
DEVELOPMENT CONSULTANT
 ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320
 OWNER: ROBERT JACOBS CONTACT: MR. JACOBS
 ADDRESS: 9932 BELL AVE. S.E. 87123 PHONE: 296-5520
 ARCHITECT: ? CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: ENGINEER CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: OWNER CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

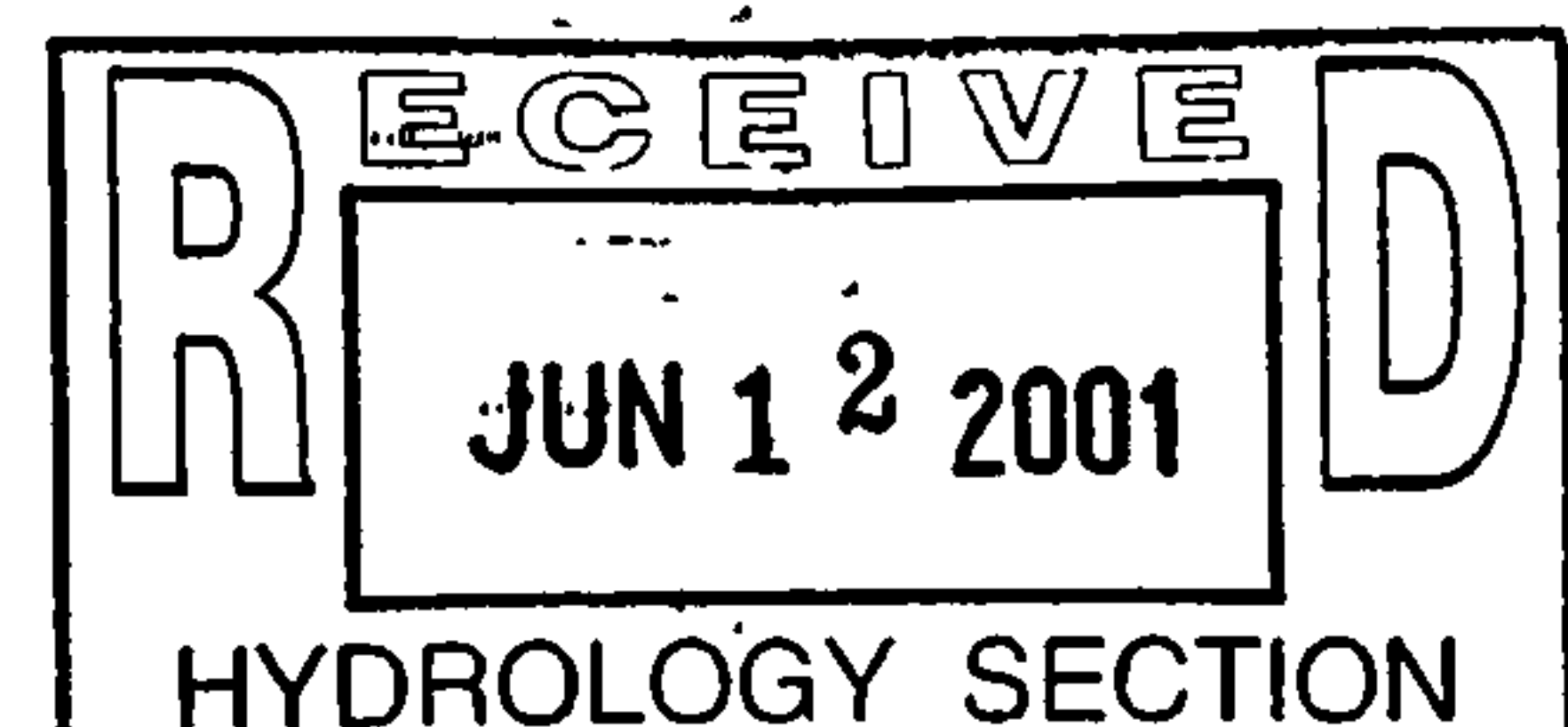
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 06-12-01

BY: GEORGE T. RODRIGUEZ





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 21, 2000

Levi Valdez, PE
12800 San Juan NE
Albuquerque, NM 87123

**Re: Lot 11, Tumbleweed Park Grading and Drainage Plan
Engineer's Stamp dated 9-15-00 (L20/D13F)**

Dear Mr. Valdez,

Based upon the information provided in your submittal dated 9-20-00, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham

Bradley L. Bingham, PE
Sr. Engineer, Hydrology

C: file

DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: ROBERT JACOBS ZONE ATLAS/DRNG. FILE #: L-20/D013F

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT ELEVEN (11), TUMBLEWEED PARK SUBDIVISION

CITY ADDRESS: 9916 BELL AVE. S.E., ALBUQ., N.M. 87123

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. CONTACT: MR. VALDEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ
DEVELOPMENT CONSULTANT

ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320

OWNER: ROBERT JACOBS CONTACT: MR. JACOBS

ADDRESS: 9932 BELL AVE. S.E. 87123 PHONE: 296-5520

ARCHITECT: ? CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: ENGINEER CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: OWNER CONTACT: _____

ADDRESS: _____ PHONE: _____

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- ☒ DRAINAGE PLAN
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PRE-DESIGN MEETING:

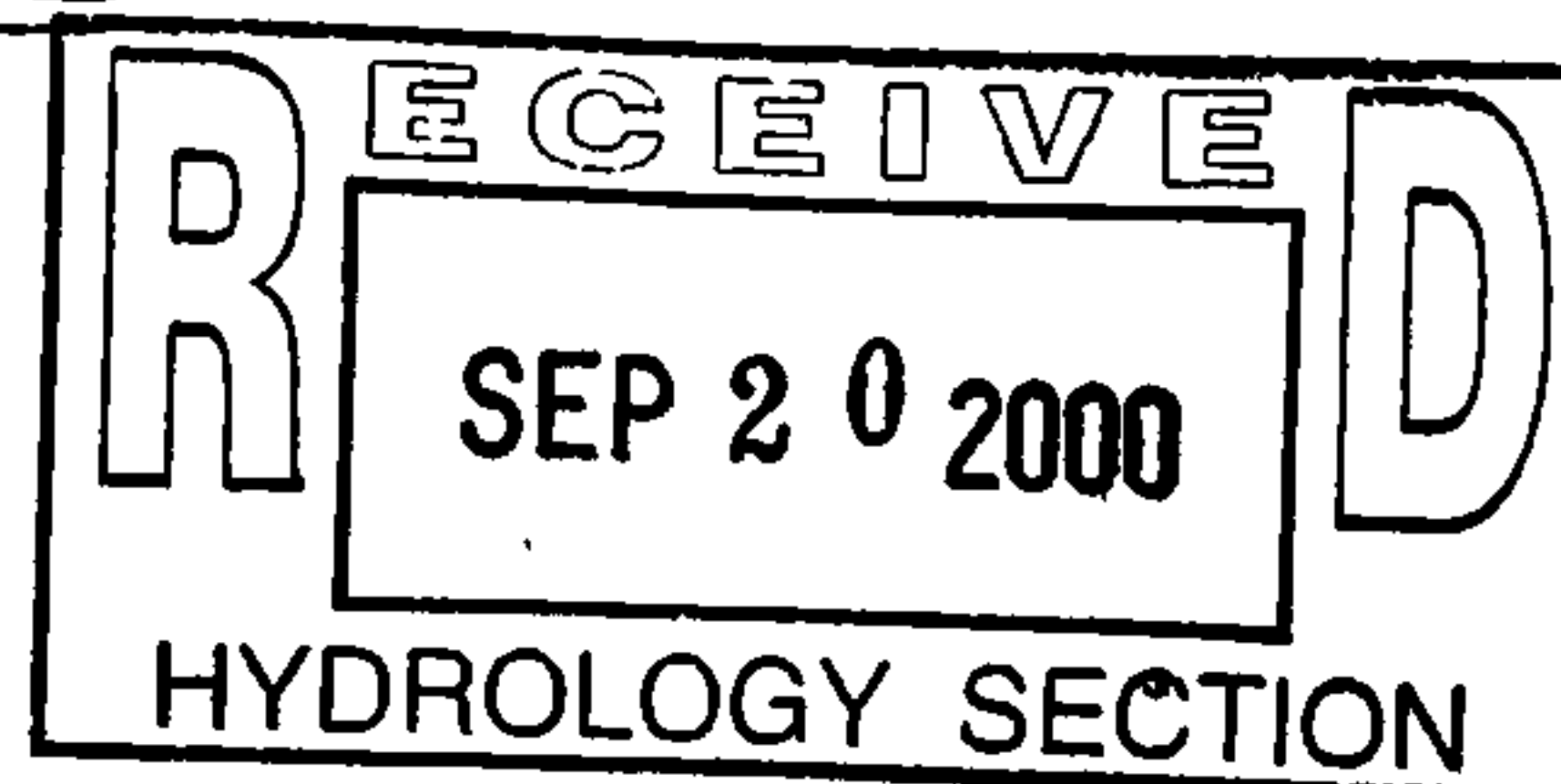
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

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- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 09-20-00

BY: GEORGE T. RODRIGUEZ



DRAINAGE COVENANT

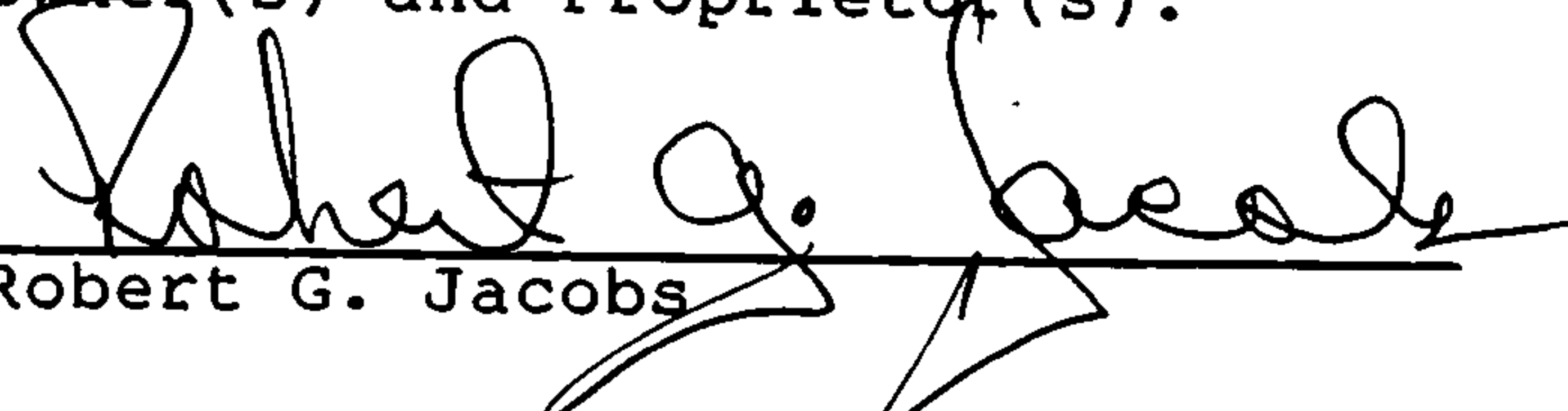
Whereas, Robert G. Jacobs is the owner and proprietor of the following described real property situated within the City limits of the city of Albuquerque, Bernalillo County, New Mexico:

Lots numbered Eleven (11) and Twelve (12), as the same are shown and designated on the "Replat of Tract 'B', SKYLINE HEIGHTS ADDITION TO TUMBLEWEED PARK SUBDIVISION, Albuquerque, Bernalillo County, New Mexico", filed in the office of the County Clerk of Bernalillo County, New Mexico, on July 13, 1983, (BK. C21-148).

Said owner and proprietor hereby grants a surface drainage easement over and across the common lot line of said lots for the purpose of conveying storm runoff within their respective asphalt paved parking area(s).

This DRAINAGE COVENANT shall be binding upon the owner(s) and proprietor(s), their heir(s) and assign(s), and shall continue to run with said properties in perpetuity.

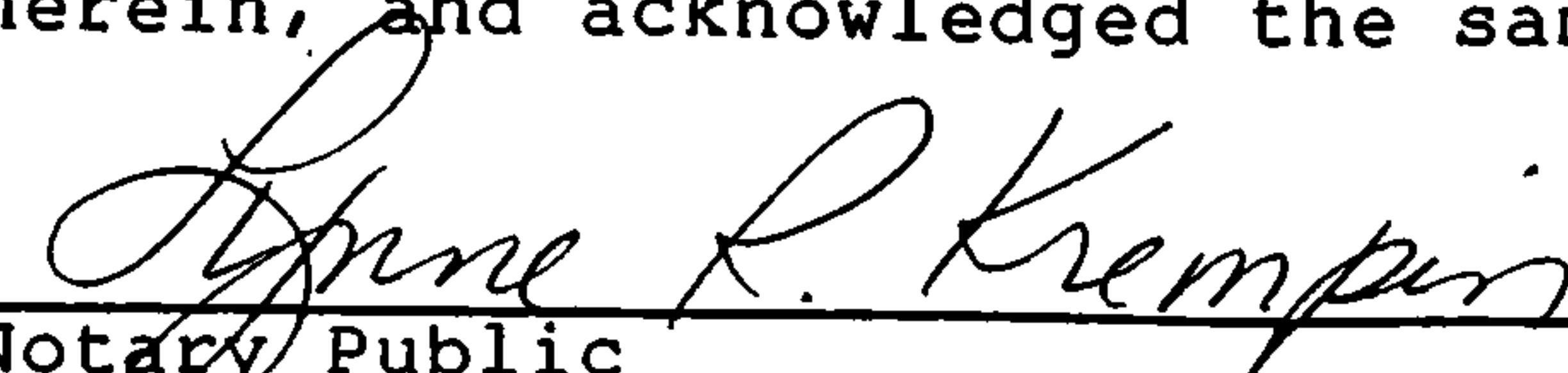
Owner(s) and Proprietor(s):


Robert G. Jacobs

ACKNOWLEDGEMENT:

State of New Mexico)
County of Bernalillo) SS:

This foregoing instrument was acknowledged before me this 19th day of September, 2000, by Robert G. Jacobs, hereby known to me to be the owner and proprietor of the real property described herein, and acknowledged the same as his own free act and deed.

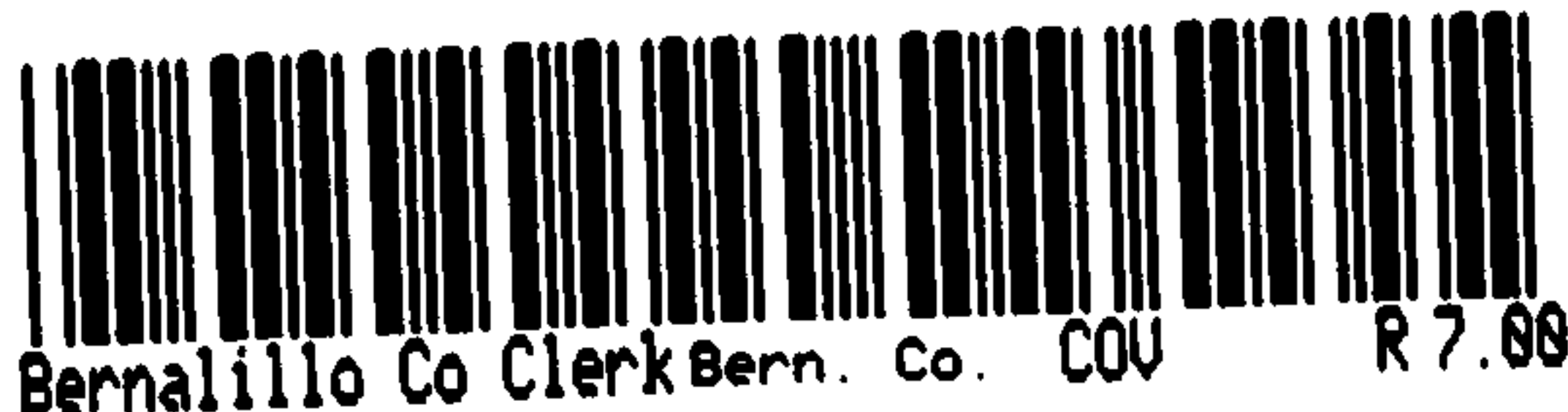

Notary Public

My Commission Expires: 7-14-2004



OFFICIAL SEAL
Lynne R. Krempin
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 7-14-2004



Bernalillo Co Clerk Bern. Co. COU

R 7.00

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5415672

Page: 1 of 1

09/21/2000 04:08P

Bk-A10 Pg-3220



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Public Works Department
Transportation Development Services Section***

February 22, 2001

Richard Moeller, Registered. Arch.,
Richard B. Moeller Architect
3737 Big Bend Rd. N.E.
Albuquerque, New Mexico 87111-4361

Re: T.C.L. submittal for building permit approval for Warehouse for Bob Jacobs, [L20/D013F],
9916 Bell Ave. N.E., Tumbleweed Park Subd., Lot 11.
Architect's Stamp not clearly dated or signed.

Dear Mr. Moeller,

The location referenced above (not clearly dated) is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached checklist, written comments, and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

TRAFFIC CIRCULATION LAYOUT CHECKLIST

The Traffic Control Layout (TCL) is a basic Site Plan that contains information on all new and existing elements involved in the development of the site including: buildings, street widths, street sidewalks and curb & gutter, parking lot features, driveways, landscaped areas, lot lines and easement limits, etc. It will be reviewed prior to submittal of plans for a building permit. The TCL must be processed prior to submittal of plans for building permit. In most all cases the TCL must be certified by the designer-of-record prior to the issuance of a Certificate of Occupancy.

On all subsequent submittals, the designer, and others in that firm, needs to complete the new **TRAFFIC CIRCULATION LAYOUT CHECKLIST** provided along with the DPM (Development Process Manual) to confirm required City standards. The first checklist has been completed by Transportation. Also refer to previous TCL/Building Permit submittals (along with comments and markups) for past projects to avoid repeating errors and to help reduce the time required for plan review on subsequent TCL submittals.

LEGEND-

- ☒ Item addressed on initial submittal
- ☐ Item not yet addressed
- ☒ Not Applicable

GENERAL INFORMATION REQUIRED:

- ☐ 1. Place on all subsequent TCL's as applicable – 15' radius at curbing near the entrance, all drive aisles and street sidewalk width dimensions.
- ☐ 2. TCL stamped by the architect must be signed and clearly dated.
- ☒ 3. Street address of site - could be part of title block or Drainage Application sheet in Hydrology file.
- ☒ 4. Name of subdivision and lot number or tract number on TCL, if not on Drainage Information Sheet.
- ☒ 5. Indication of transition from one type of surface to the other on TCL, for example ramps (incl. H.C.), concrete/ asphalt, landscape area/ concrete, concrete / dirt, concrete /gravel, etc. Label each area or stipple to show varying surfaces, using a legend, or equal.
- ☐ 6. The responsibility for errors on the site plan and subsequent unauthorized field changes must be specified on the TCL, in bold type, as follows:

“The responsible Party must rectify all unapproved construction resulting from errors on the approved Site Plan.” and

“This Site Plan has been approved and accepted by all parties. Any field changes not accepted by Traffic Engineer, after approval for building permit, will result in:

- 1) Untimely delay of certification for final Certificate of Occupancy in order to correct unapproved work, and
- (2) Increase in construction cost to responsible parties.”

- ☐ 7. Place a note on TCL stating the following:

“An as-built copy of the approved TCL must be submitted by the designer-of-record, as required by Transportation Development (including a letter of certification stating that the site has been constructed in accordance with the approved TCL). Verification of TCL acceptability, (including random field checks) will be made before a Final Certificate of Occupancy (C.O.) is issued. Please call this office to obtain temporary C.O.” --- Confirmation from Hydrology, supporting this requirement, will be needed prior to approval of TCL by Transportation.

- ☐ 8. Linework on Drainage Plan and Landscape Plan must match Site Plan exactly. Confirm the acceptability of the changes in Site Plan that are required by Transportation with Hydrology.
- ☒ 9. Work being done in city property as part of this development must be complete before issuance of C.O. or Financial Guarantee must be on file with Design Review Office.
- ☐ 10. Preliminary nature of the review process determines that if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of TCL and new review will be needed.
- ☐ 11. Plat, signed and recorded at county clerk's office, showing reciprocal access easement, is needed, or for cross access easement a minimum 30' width is needed. Copy for office files is needed prior to approval for building permit.
- ☒ 12. Encroachment agreement needed where structures, fences or walls or items of equal conflict are contained within City property.

SPECIFIC INFORMATION REQUIRED:

- ☒ 13. State Highway Department approval at locations where access improvements are being made from State Facilities.
- ☐ 14. Call out on Site Plan: INSPECTION OF CONSTRUCTION FOR C.O., FOR TRANSPORTATION, WILL BE DONE FROM THIS SHEET, once minor changes to the TCL (Site Plan) required by Transportation are verified as acceptable to Hydrology.
- ☐ 15. State what type/size of vehicular activity occurring at the rear of site?[cr.]
- ☐ 16. Show new and existing elements on the T.C.L., labelled, and dimensioned correctly: fencing, retaining walls and site walls.
- ☐ 17. Show clear differentiation between new construction and existing improvements on TCL.
- ☒ 18. Indicate which buildings and parking improvements will be certified by this permit. Show future work in line type that is clearly different than for new work.
- ☐ 19. Show, label and dimension all existing obstacles in City right-of-way, in existing sidewalks.
- ☒ 20. Callout to label on asphalt "COMPACT" or equal for small car stalls, at end of stall.
- ☒ 21. Minim. 5' wide concrete sidewalk, raised 6" above parking surface, needed when located at the front of parking vehicles wherever pedestrian access is desired or required, adjacent to any building. (If Zoning doesn't ask for.)
- ☐ 22. H.C. ramp must be constructed at H.C. parking area as part of sidewalk.
- ☐ 23. Proposed use of overhead doors on commercial sites requires that plan reviewer looks for large wheelbase (refuse/UPS) vehicle to be smallest to use doors. Refer to DPM for restrictions. Parallel parking of loading/unloading trucks, with painted loading area, as shown, will be the only way the overhead doors can be used for this warehouse application.
- ☒ 24. Call out to restripe existing lot per City Standard.
- ☐ 25. For future reference, and for this project, show half width of all streets 40' wide and over on TCL, also for streets used for large truck traffic accessing site. This is to include median and opening, if it exists (including any left turn lanes into this site). If no medians exist, show traffic lanes on developer's side of street, up to and including middle turn lane.
- ☐ 26. The drivepad will need to be widened to accommodate a loading truck at the northernmost overhead door, as shown.
- ☒ 27. Need to see alley right-of-way limits. Show full width of alley and all obstructions and label paving.

28. Alley limits must be expanded to minim. 20' width.

29. A City standard paved alley roadway must be constructed along the entire lot frontage and constructed to one point of access into the alley, from that street.

30. Alleys must be minimum 24' at entrance as access to parking area. Construct alley entrance per City Std. Detail Dwg. 2428.