

LEGAL DESCRIPTION:
LOT NUMBERED ELEVEN (11) OF THE REPLAT OF TRACT "B", OF SKYLINE HEIGHTS ADDITION TO TUMBLEWEED PARK SUBDIVISION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (PLAT FILED: JULY 13, 1983, (BK. C21, P. 148).

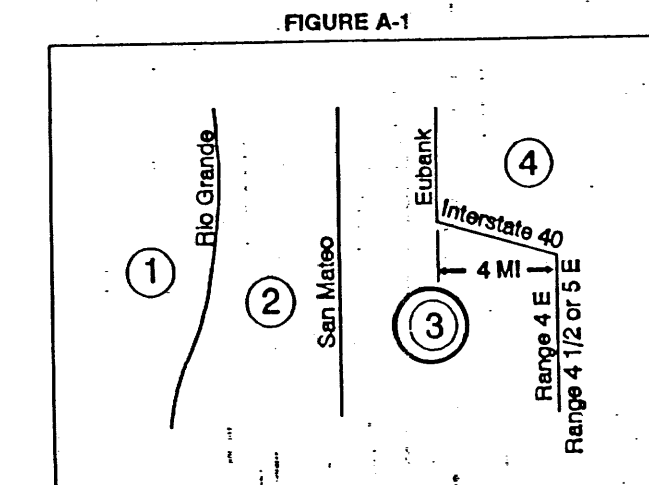
BENCH MARK REFERENCE:
ACS STATION "SUSAN", M.S.L.D. ELEVATION = 5444.49; PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON.

Zone	TABLE A-9. PEAK DISCHARGE (cfs/acre)			
	Treatment		100-YR [2-YR, 10-YR]	
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.76]	2.87 [0.47, 1.49]	4.37 [1.69, 2.89]
2	1.55 [0.00, 0.38]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.60 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.35, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]

Zone	TABLE A-10. PEAK INTENSITY (IN/HR at $t_c = 0.2$ hour)	
	Intensity	100-YR [2-YR, 10-YR]
1	4.70 [1.84, 3.14]	
2	5.05 [2.04, 3.41]	
3	5.38 [2.21, 3.65]	
4	5.61 [2.34, 3.83]	

A.1 PRECIPITATION ZONES
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES	
Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

DPM SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

TABLE A-4. LAND TREATMENTS	
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

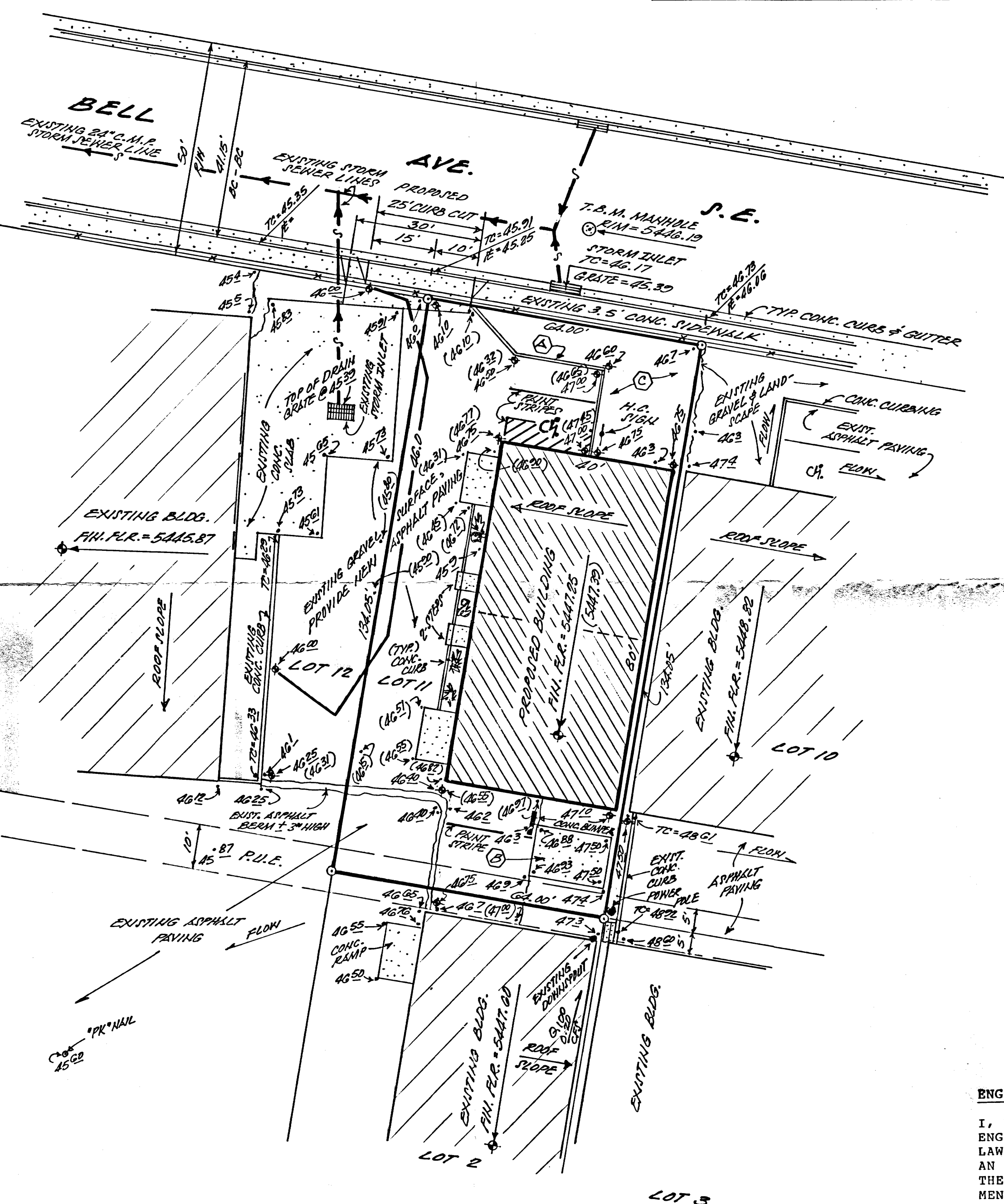
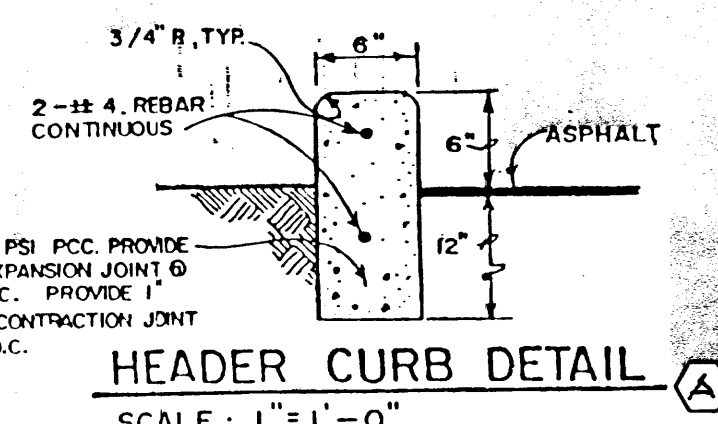
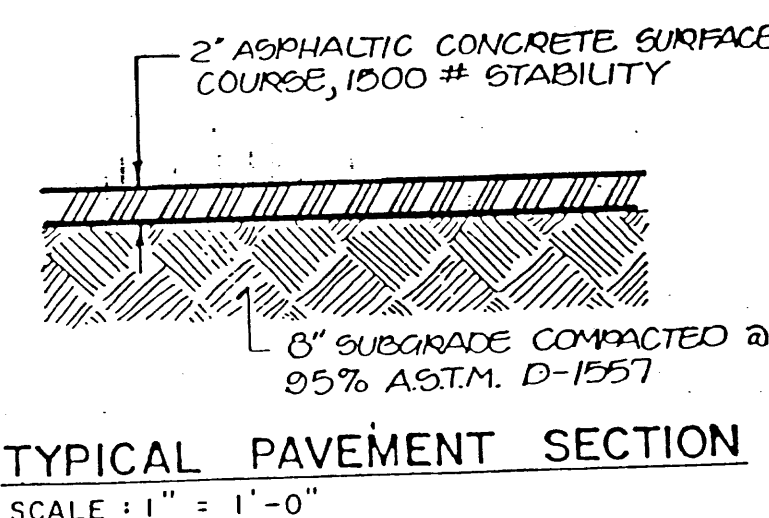
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OR SUB-SURFACE UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

TOP OF CURB ELEVATION = $70' = 45.25'$
CURB FLOWLINE ELEVATION = $72' = 45.25'$
EXISTING SPOT ELEVATION = $70' = 45.25'$
EXISTING CONTOUR ELEVATION = $70' = 45.25'$
PROPOSED SPOT ELEVATION = $72' = 45.25'$
PROPOSED CONTOUR ELEVATION = $72' = 45.25'$
PROPOSED OR EXISTING CONCRETE SURFACE = $72' = 45.25'$
EXISTING FENCE LINE = $72' = 45.25'$



DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE SOUTH SIDE OF BELL AVENUE S.E. BETWEEN ALTEZ STREET S.E. AND CONCHAS STREET S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS MAP "L-20-2").

THE SUBJECT SITE, 1.) IS PRESENTLY A VACANT INFILL SITE, 2.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 358 OF 825), 3.) ACCEPTS AND WILL CONTINUE TO ACCEPT MINIMAL OFFSITE FLOWS FROM THE BUILDING ROOF AREA OF THE BUILDING THAT LIES IMMEDIATELY SOUTH OF AND ADJACENT TO THE SUBJECT SITE, 4.) PRESENTLY CONTRIBUTES AND WILL CONTINUE TO THE OFFSITE FLOWS TO THE DEVELOPED PROPERTY WHICH LIES IMMEDIATELY WEST OF AND ADJACENT TO OUR SUBJECT SITE; THESE FLOWS ARE PRESENTLY ROUTED TO AND WILL CONTINUE TO BE ROUTED TO THE EXISTING STORM INLET THAT IS LOCATED WITHIN LOT 12 WHICH LIES IMMEDIATELY WEST OF AND ADJACENT TO OUR SUBJECT SITE, (THIS EXISTING 3.5' X 5.5' STORM INLET IS DIRECTLY CONNECTED TO THE EXISTING STORM LINE THAT IS LOCATED WITHIN BELL AVENUE S.E.).

ALL PROPERTIES ADJACENT TO OUR SUBJECT SITE ARE OWNED BY THE SAME PROPERTY OWNER; CROSS LOT LINE SURFACE DRAINAGE COVENANT(S) AND INGRESS AND EGRESS EASEMENT(S) WILL BE PROVIDED BY SAID OWNER.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.20 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: 5.38 "I"

LAND TREATMENT METHOD FOR THE CALCULATION OF "Q_p"

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.18	X 3.45	= 0.62
D	0.02	X 5.02	= 0.10

"Q_p" = 0.72 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.02	X 3.45	= 0.07
D	0.18	X 5.02	= 0.90

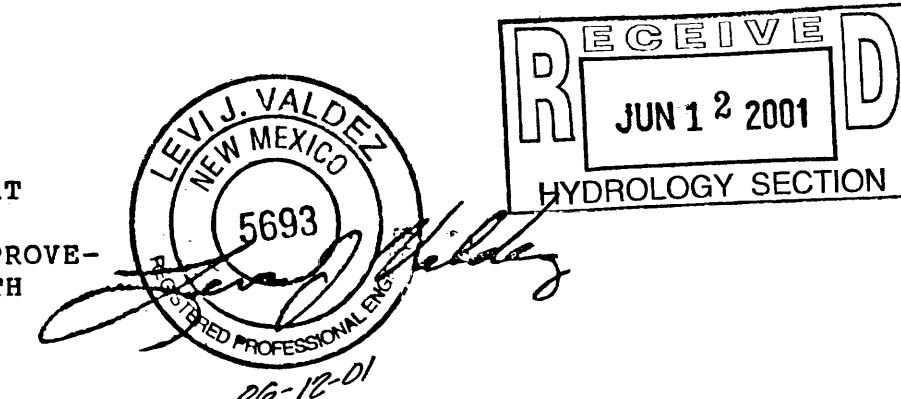
"Q_p" = 0.97 CFS **** INCREASE = 0.25 CFS

OFFSITE ROOF FLOWS ACCEPTED AND PASSED THROUGH:

0.04 ACRE X 5.02 = 0.20 CFS

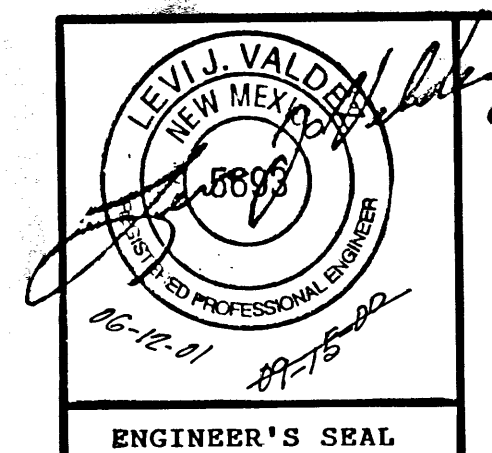
ENGINEER'S CERTIFICATION:

I, LEVI J. VALDEZ, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 5693, LICENSED AND REGISTERED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT AN ACTUAL ON THE GROUND FIELD SURVEY OF THE GRADES OF THE NEW IMPROVEMENTS SHOWN HEREON VERIFY THAT SAID IMPROVEMENTS WERE CONSTRUCTED IN "SUBSTANTIAL COMPLIANCE" WITH THE APPROVED DRAINAGE PLAN FOR SAID SITE.

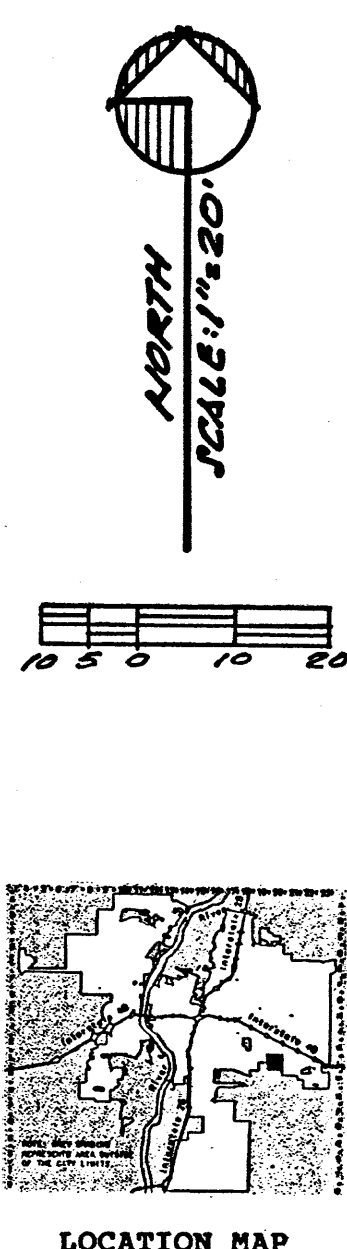
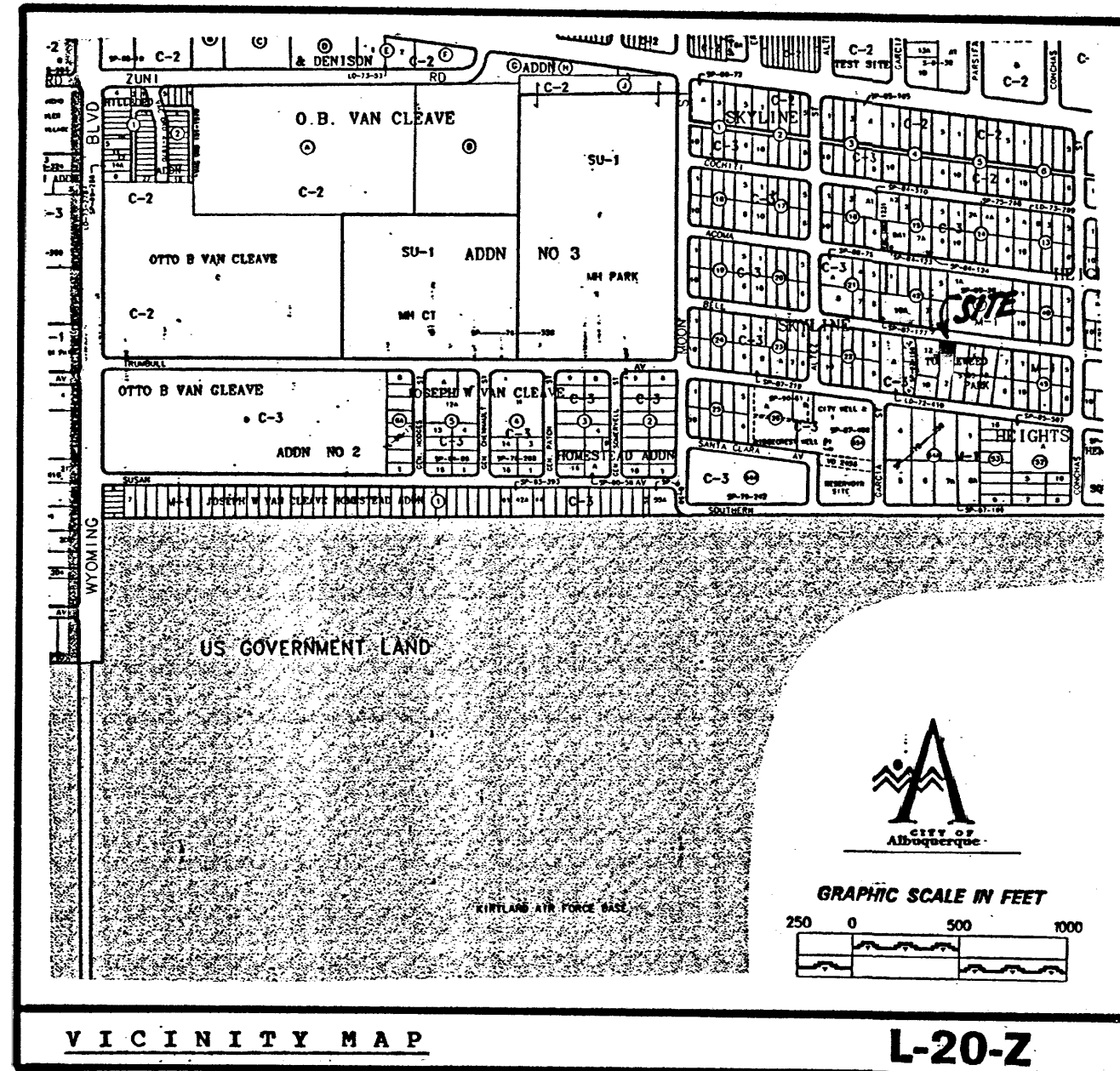


(ENGINEER'S CERTIFICATION)

A PROPOSED GRADING AND PAVING PLAN
FOR
LOT 11, TUMBLEWEED PARK SUBDIVISION
(9916 BELL AVENUE S.E.)
ALBUQUERQUE, NEW MEXICO
SEPTEMBER, 2000
(JUNE, 2001)



- A) PROVIDE 1/2" C.A.A. TRIM B.M. ENCLOSURES BY EXISTING CONCRETE SLAB. (ENCLOSURE NOT PROVIDED)
- B) LANDSCAPE AREA PER ARCHITECT'S SITE PLAN.



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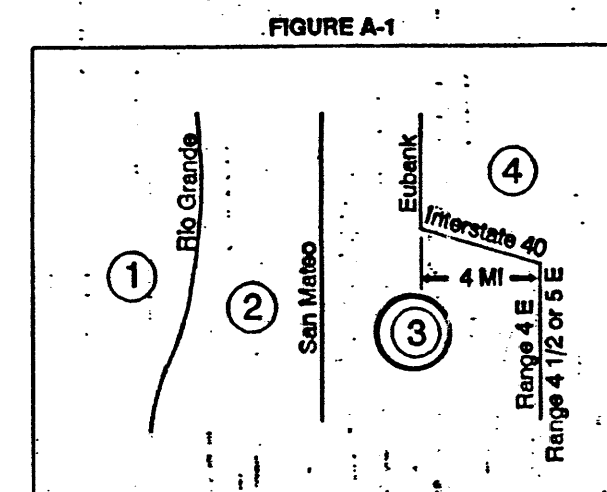
TABLE A-4. PEAK DISCHARGE (cfs/acre)				
Zone	A	B	C	D
1	1.28 [0.00, 0.24]	2.03 [0.05, 0.78]	2.87 [0.47, 1.48]	4.37 [1.89, 2.89]
2	1.88 [0.00, 0.38]	2.28 [0.05, 0.85]	3.14 [0.40, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.50 [0.21, 1.18]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]
4	2.20 [0.05, 0.87]	2.92 [0.38, 1.95]	3.73 [1.00, 2.28]	5.25 [2.17, 3.67]

TABLE A-10. PEAK INTENSITY (PMP at 24 hr)		
Zone	Intensity (2-YR, 10-YR)	100-YR
1	4.70 [1.84, 3.14]	
2	5.05 [2.04, 3.41]	
3	5.38 [2.21, 3.85]	
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PRECIPITATION ZONES

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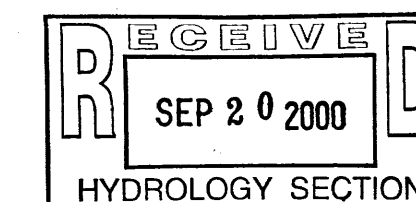


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DPH SECTION 22.2 - HYDROLOGY
January, 1993 Page A-4

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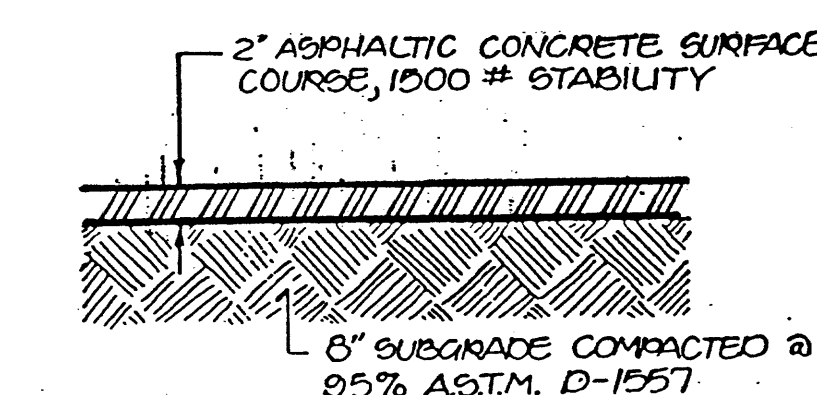
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CONSTRUCTION NOTES:

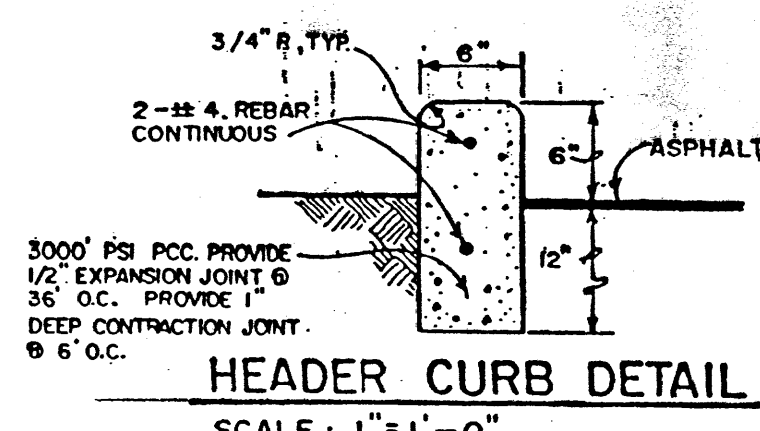
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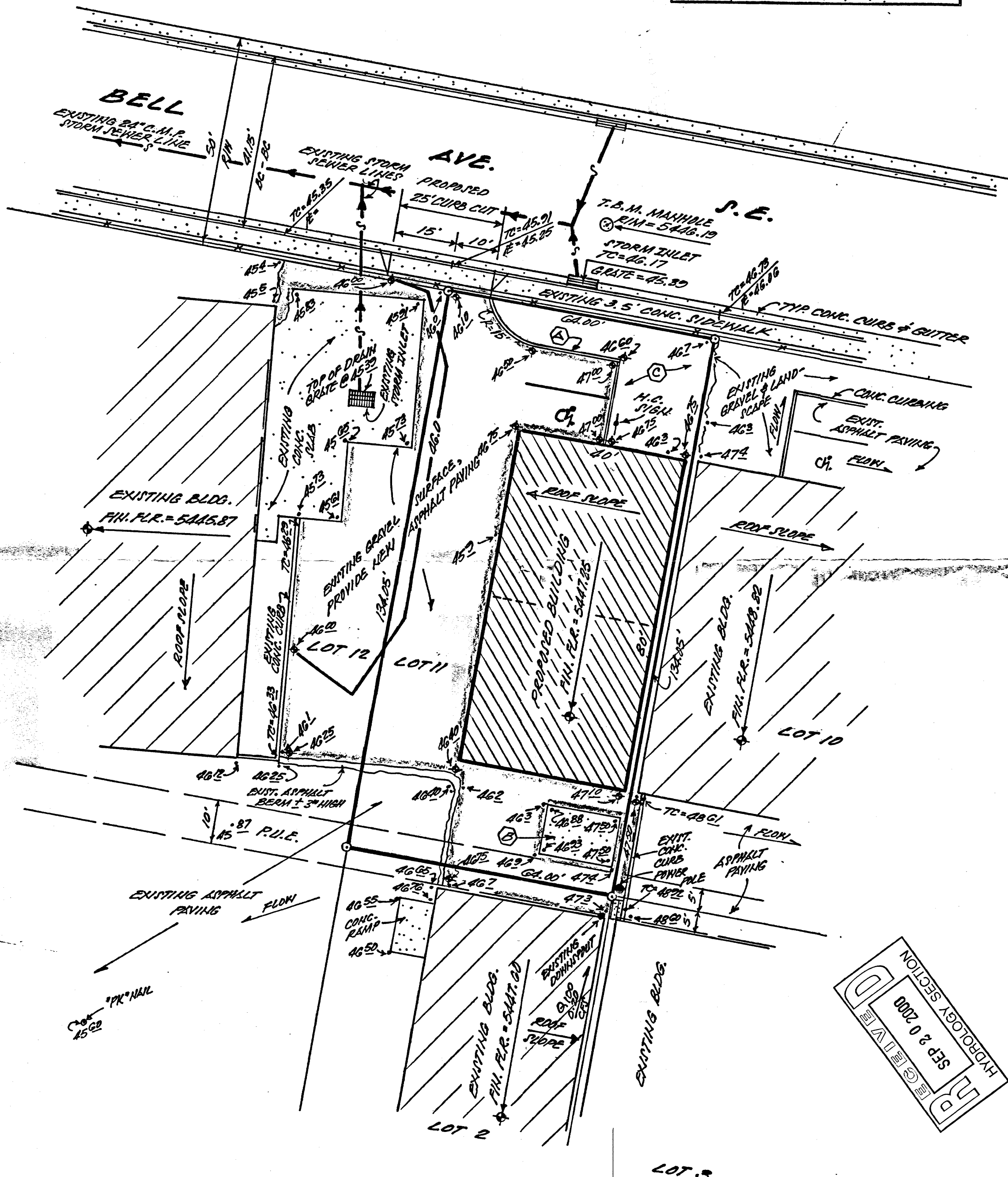
TOP OF CURB ELEVATION = 72'-10.25"
CURB FLOWLINE ELEVATION = 72'-10.25"
EXISTING SPOT ELEVATION = 72'-10.1"
EXISTING CONTOUR ELEVATION = 72'-10.0"
PROPOSED SPOT ELEVATION = 72'-10.25"
PROPOSED CONTOUR ELEVATION = 72'-10.0"
PROPOSED OR EXISTING CONCRETE SURFACE = 72'-10.25"
EXISTING FENCE LINE = 72'-10.25"



TYPICAL PAVEMENT SECTION
SCALE: 1" = 1'-0"



HEADER CURB DETAIL
SCALE: 1" = 1'-0"



DRAINAGE COMMENTS AND CALCULATIONS:

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THE SUBJECT SITE, 1.) IS PRESENTLY A VACANT INFILL SITE, 2.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 358 OF 825), 3.) ACCEPTS AND WILL CONTINUE TO ACCEPT MINIMAL OFFSITE FLOWS FROM THE BUILDING ROOF AREA OF THE BUILDING THAT LIES IMMEDIATELY SOUTH OF AND ADJACENT TO THE SUBJECT SITE, 4.) PRESENTLY CONTRIBUTES AND WILL CONTINUE TO THE OFFSITE FLOWS TO THE DEVELOPED PROPERTY WHICH LIES IMMEDIATELY WEST OF AND ADJACENT TO OUR SUBJECT SITE; THESE FLOWS ARE PRESENTLY ROUTED TO AND WILL CONTINUE TO BE ROUTED TO THE EXISTING STORM INLET THAT IS LOCATED WITHIN LOT 12 WHICH LIES IMMEDIATELY WEST OF AND ADJACENT TO OUR SUBJECT SITE, (THIS EXISTING 3.5' X 5.5' STORM INLET IS DIRECTLY CONNECTED TO THE EXISTING STORM LINE THAT IS LOCATED WITHIN BELL AVENUE S.E.).

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CALCULATIONS:

PER SECTION 22.2 - HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.20 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: 5.38 "I"

LAND TREATMENT METHOD FOR THE CALCULATION OF "Q_p"

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.18	X 3.45	= 0.62
D	0.02	X 5.02	= 0.10

"Q_p" = 0.72 CFS

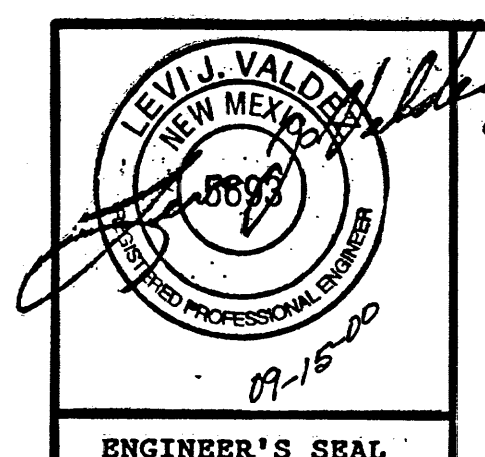
PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.02	X 3.45	= 0.07
D	0.18	X 5.02	= 0.90

"Q_p" = 0.97 CFS **** INCREASE = 0.25 CFS

OFFSITE ROOF FLOWS ACCEPTED AND PASSED THROUGH:

0.04 ACRE X 5.02 = 0.20 CFS



A PROPOSED GRADING AND PAVING PLAN
FOR
LOT 11, TUMBLEWEED PARK SUBDIVISION
(9916 BELL AVENUE S.E.)
ALBUQUERQUE, NEW MEXICO
SEPTEMBER, 2000

NOTE: NO LARGE DELIVERY VEHICLES ARE ALLOWED ON THESE PREMISES BY OWNER. 4-WHEEL VANS OR SMALLER ARE ALLOWED. THE SAME OWNER CONTROLS THE ENTIRE AREA OF THIS INDUSTRIAL PARK, INCLUDING ALL BUILDINGS ADJACENT TO THIS PROJECT.

ONE DUMPSTER IS PROVIDED FOR EACH GROUP OF BUILDINGS. THE DUMPSTER SHOWN IN THIS PLAN CURRENTLY SERVES THE THREE EXISTING BUILDINGS AND WILL SERVE THIS NEW BUILDING. REFUSE DEPT. VEHICLES CURRENTLY PICK UP FROM THIS LOCATION WITHOUT PASSING IN FRONT OF THIS NEW BUILDING LOCATION. THERE IS NO CURRENT ACCESS ACROSS THIS SITE. THIS WILL BE PROVIDED BY THE NEW GATE SHOWN ON THIS PLAN.

RICHARD B. MOELLER
2/28/01

SPECIAL NOTE PER TRAFFIC ENGINEERING:

"THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.

"THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL FOR BUILDING PERMIT WILL RESULT IN:

1. UNTIMELY DELAY OF CERTIFICATION FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND
2. INCREASE THE CONSTRUCTION COST TO RESPONSIBLE PARTIES.

"AN AS BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER OF RECORD AS REQUIRED BY TRANSPORTATION DEVELOPMENT INCLUDING A LETTER OF CERTIFICATION STATING THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED TCL. VERIFICATION OF TCL ACCEPTABILITY, INCLUDING RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY (C.O.) IS ISSUED. PLEASE CALL THIS OFFICE TO OBTAIN TEMPORARY C.O. CONFIRMATION FROM HYDROLOGY SUPPORTING THIS REQUIREMENT WILL BE NEEDED PRIOR TO APPROVAL OF TCL BY TRANSPORTATION.

LANDSCAPING LEGEND

L.T.R.	PLANT NAME	MATURE SPREAD	AREA	NO. REQ'D.	TOTAL
A	PINON PINE	15'	177 S.F.	4	708 S.F.
B	FERN BUSH	5'	20 S.F.	3	60 S.F.
C	OCOTILLO	5'	20 S.F.	1	20 S.F.
D	BOXWOOD	4'	12 S.F.	8	96 S.F.
TOTAL-					884 S.F.

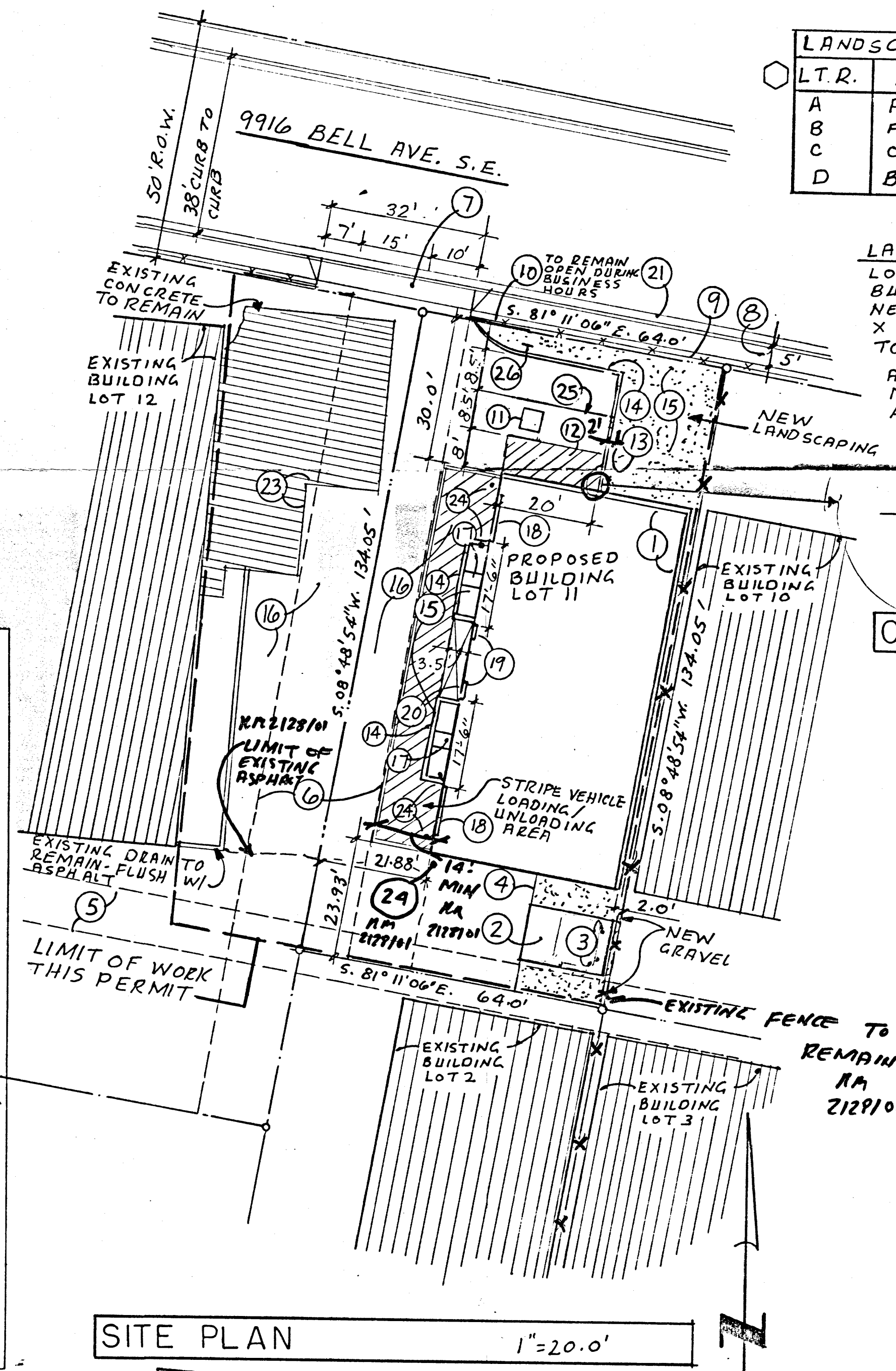
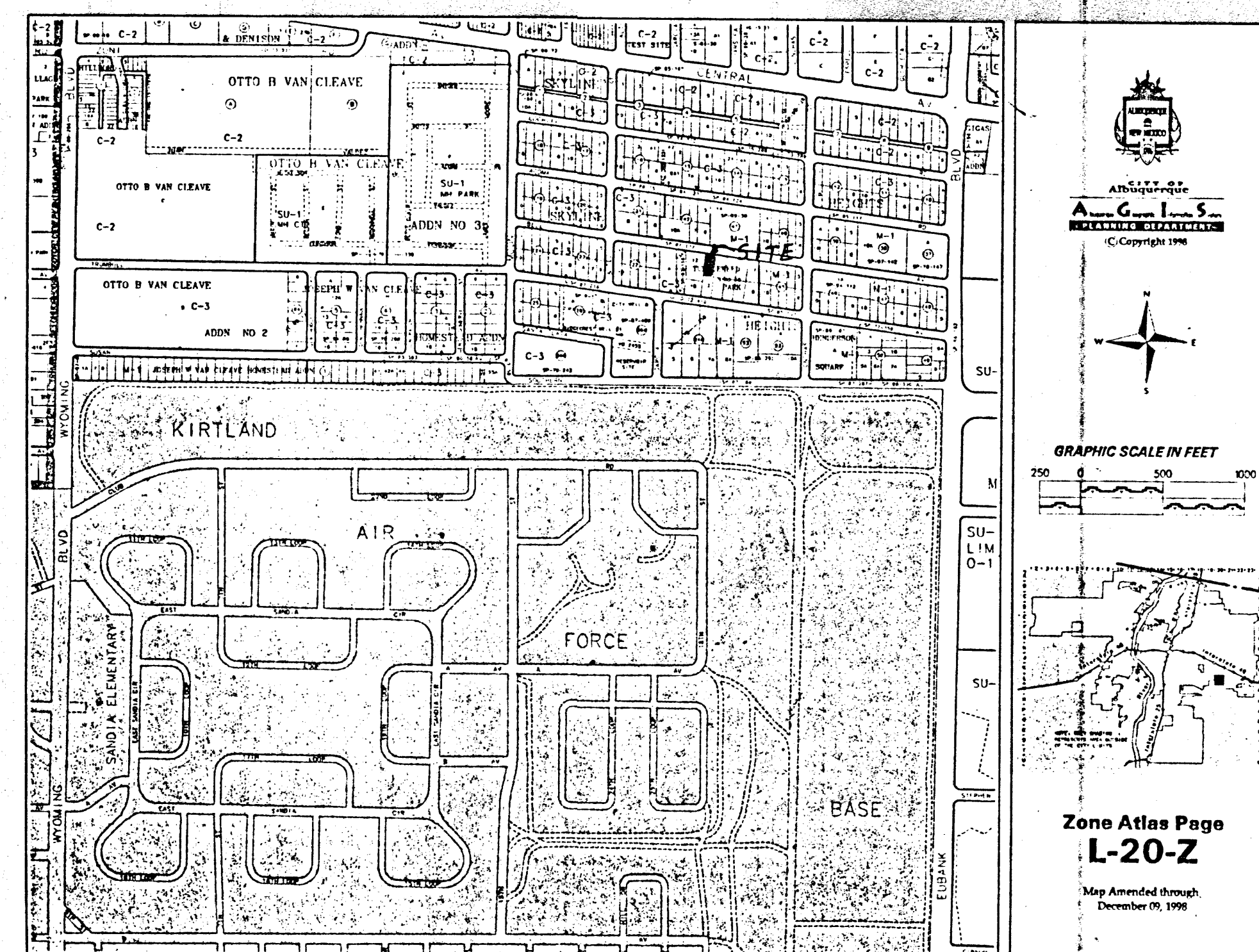
LANDSCAPING AREA:

LOT AREA-	8759 S.F.
BUILDING AREA-	3214 S.F.
NET AREA-	5365 S.F.
X 15% =	808 S.F. REQUIRED LANDSCAPING
TOTAL PROVIDED-	880 S.F.

ALL LANDSCAPING HAND WATERED.
MAINTENANCE BY BUILDING OWNER.
ALL AREAS HAVE GRAVEL GROUND COVER.

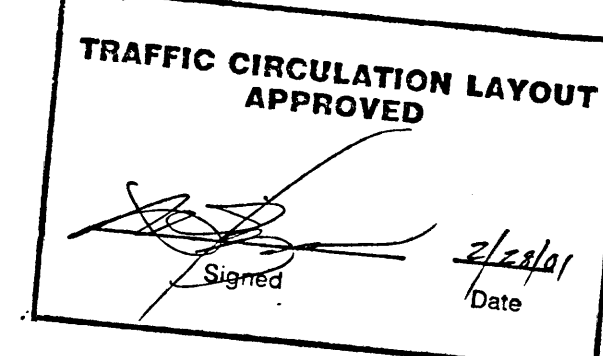
KEYED NOTES

1. FOUR HOUR RATED WALL AT NORTH AND EAST, ITEM 6, UBC TABLE 7-B.
2. EXISTING REFUSE LOCATION TO REMAIN.
3. EXISTING STEEL PIPE BOLLARDS.
4. STOP ASPHALT PAVING AT THIS LINE.
5. EXISTING 10' PUBLIC UTILITY EASEMENT.
6. EXISTING 25' RECIPROCAL ACCESS EASEMENT.
7. PROPOSED NEW CURB CUT, PER CITY OF ALBUQUERQUE DETAIL 2425. 32" WIDE.
8. EXISTING SIDEWALK TO REMAIN. 5'-0" WIDE.
9. EXISTING CHAIN LINK FENCE TO REMAIN.
10. NEW GATE, ROLL BACK TYPE. TO REMAIN OPEN DURING BUSINESS HOURS.
11. PAINT HANDICAPPED PARKING SYMBOL ON THIS SPACE.
12. BLUE STRIPED ACCESS AISLE.
13. HANDICAPPED PARKING SIGN, 48" ABOVE FINISH GRADE. "VAN ACCESSIBLE".
14. CONC. CURB, SEE DETAIL THIS SHEET. NEW CURB.
15. LANDSCAPING AREA, SEE PLAN THIS SHEET.
16. NEW 2" ASPHALT PAVING, RESIDENTIAL CLASS "A" OVER 4" COMPACTED SUB BASE.
17. EVAP COOLER PAD.
18. OVERHEAD DOOR LOCATIONS.
19. ENTRY DOOR LOCATIONS.
20. THIS PORTION OF PAVING TO BE FLUSH WITH FINISH FLOOR AND SLOPE NO MORE THAN 1:50 TO DRAIN.
21. EXISTING CURB AND GUTTER TO REMAIN.
22. CONC. CURB WITH 2-64 REDAR CONT.
23. EXISTING CONC. SLAB TO REMAIN.
24. STEEL PIPE BOLLARD IN 12" X 30" CONC. FOOTING EACH SIDE OF DOOR.
25. 4" WHITE STRIPE.
26. 2 STATION BIKE RACK.

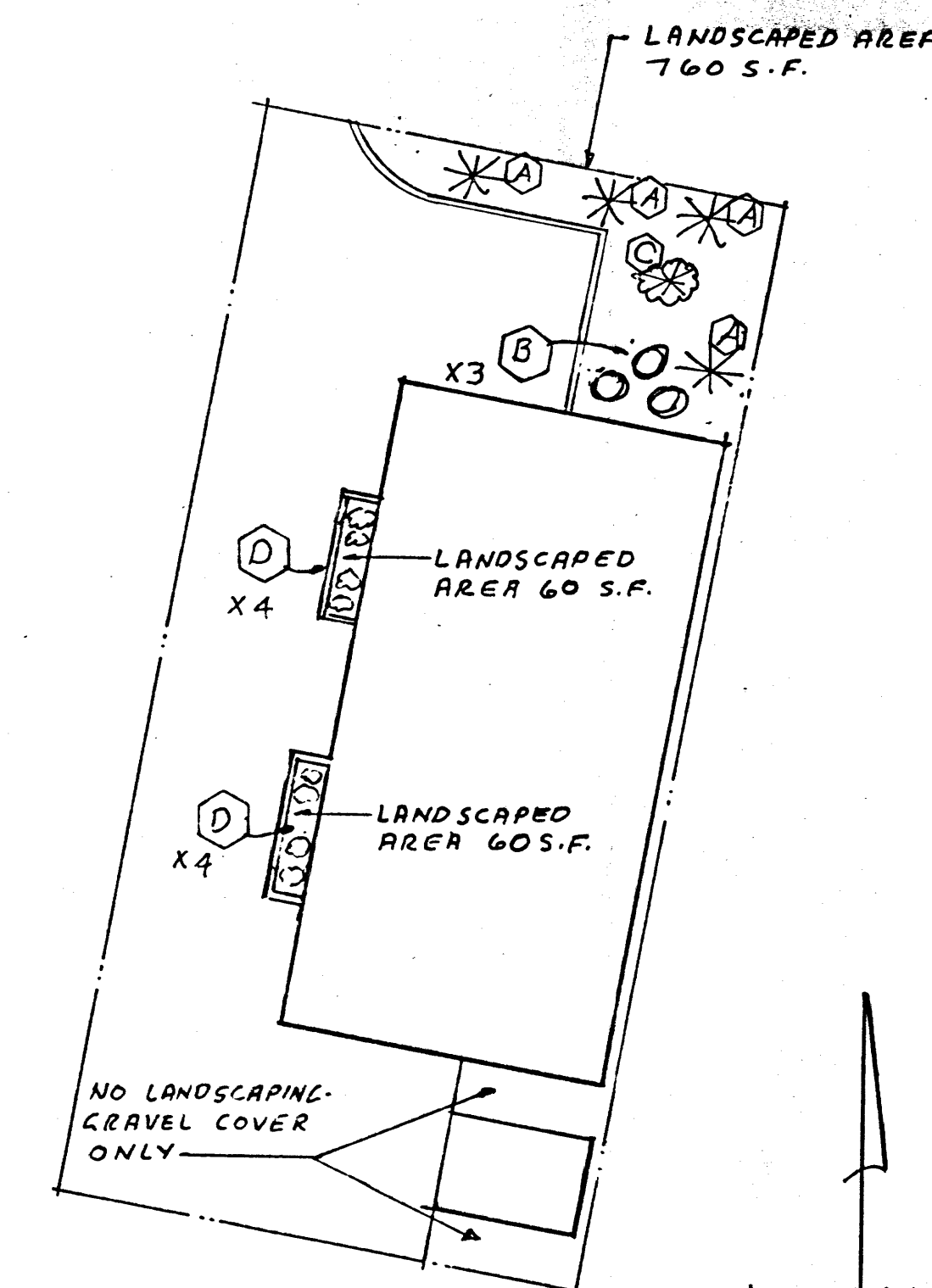


SITE PLAN

1"=20'-0"



CURB DETAIL 1/2"=1'-0"



LANDSCAPING PLAN

1"=20'-0"

REV. 1/12/01 LANDSCAPING & ACCESS AISLE.

NEW WAREHOUSE BUILDING SHELL FOR ROBERT JACOBS - 9916 BELL AVE. S.E. LOT 11 TUMBLEWEED PARK SUBDIVISION	
SHEET	
SITE PLAN AND LANDSCAPING PLAN	
PROJECT 4900	DATE 10/30/00
BY RBM	SHEET NO. 1
RICHARD B. MOELLER ARCHITECT AIA 3737 BIG BEND RD. N.E. ALBUQUERQUE, NEW MEXICO 87111 - 4361 (505) 294-2891	