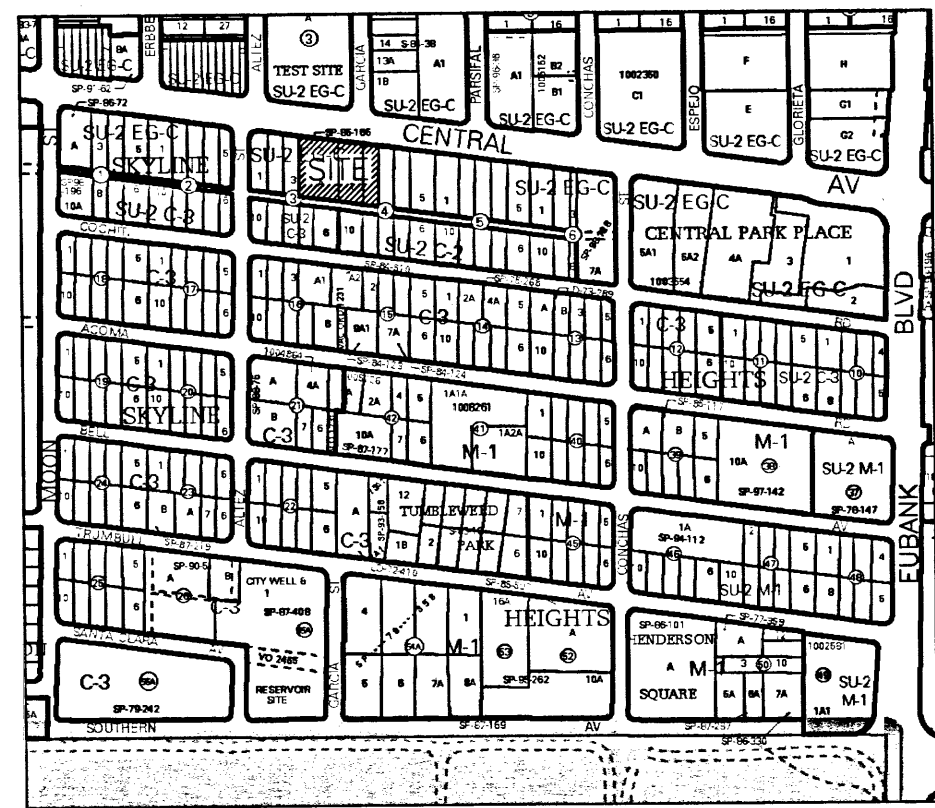


VICINITY MAP (L-20-Z)



LEGEND

- WM WATER METER
 FH FIRE HYDRANT
 LP LIGHT POLE
 EM ELECTRIC METER
 GM GAS METER
 TEL TELEPHONE RISER
 ELEC ELECTRIC VAULT
 XFMR ELECTRIC TRANSFORMER
- SPOT ELEVATION
 ELEVATIONS ARE TO
 ANNOTATED SPOTS
 EC EDGE OF CONCRETE
 TA TOP OF ASPHALT
 TC TOP OF CONCRETE
 FL FLOWLINE
 TW TOP OF WALL
- BURIED ELECTRIC LINE
 GAS LINE
 CHAIN LINK FENCE
 WROUGHT IRON FENCE
- EXISTING CONTOURS @ 1 FT. INTERVALS
 INDEX CONTOURS @ 5 FT. INTERVALS
 PROPOSED CONTOURS @ 1.0' INTERVALS
 PROPOSED SPOT ELEVATION
 TC TOP OF CONCRETE
 FL FLOW LINE
 TW TOP OF WALL
 TA TOP OF ASPHALT

LEGAL DESCRIPTION

Lot 3, Block 3, Skyline Heights (REC. 7/19/1945 VOL. C1, FOLIO 188)

FLOOD ZONE DESIGNATION

It is hereby certified that this property is not located within a 100-year flood hazard boundary in accordance with current HUD Federal Administration Flood Hazard Boundary Maps dated August 16, 2012. Zone X (No Flood Hazard) Panel 350002 0358 H.

BENCH MARK

Basis of elevations: ACS STATION "5-K20" NAVD 88 MSL ELEVATION: 5429.995
TBM: NAIL AND DISK AT NORTHEAST CORNER OF PROPERTY MSL: 5306.82

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISHED SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE IS NOT SUBJECT TO NPDES SWPPP REQUIREMENTS (DISTURBED AREA < 1 ACRE).

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY SO-19 PERMIT.

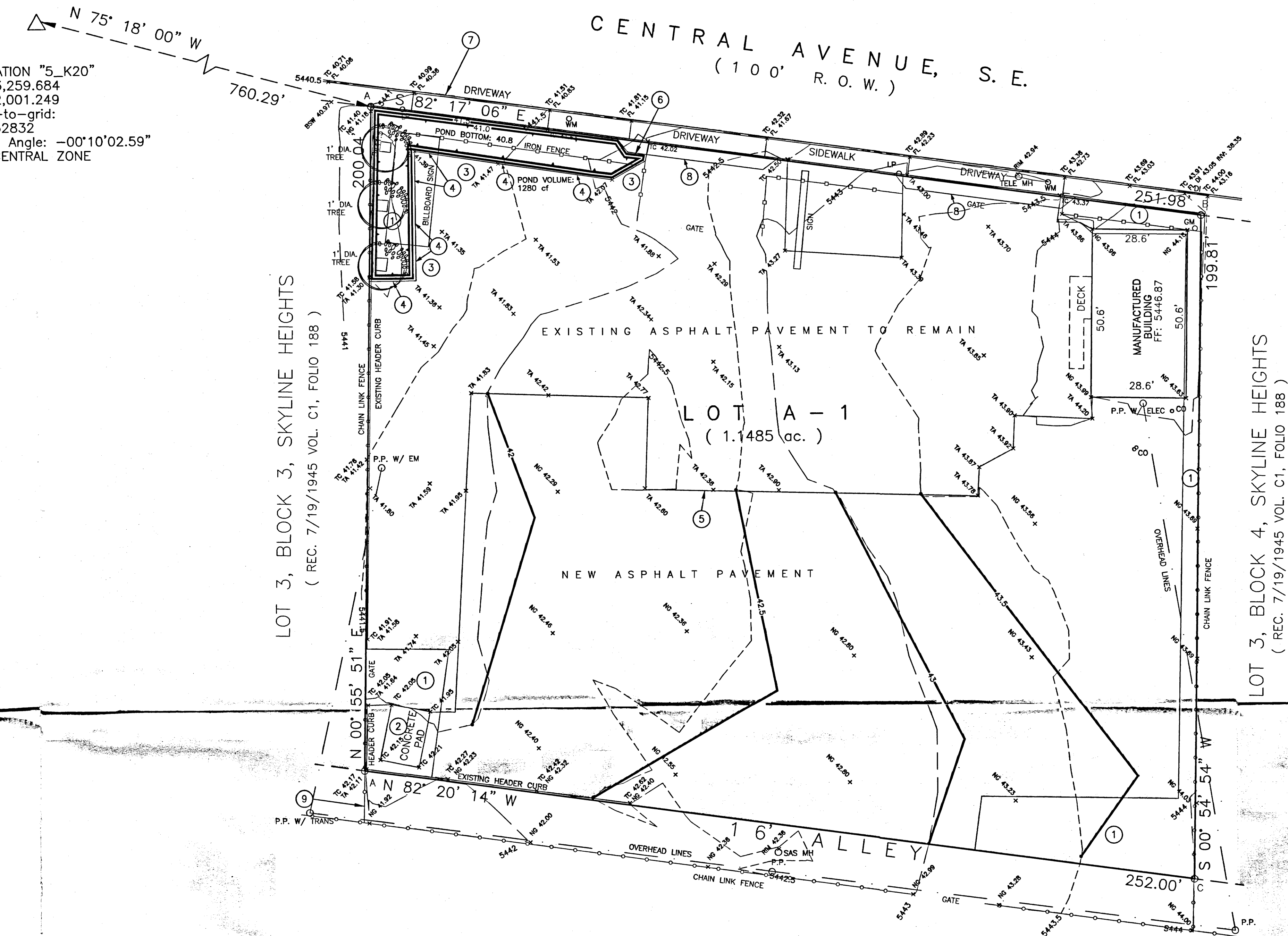
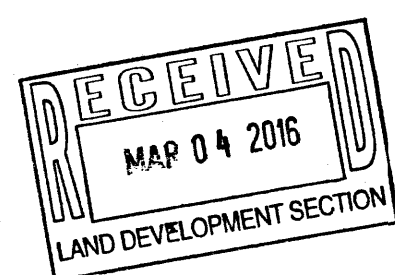
DRAINAGE NOTES:

— ROOF DRAINAGE CONVEYED TO PAVED PARKING LOT ON WEST SIDE OF BUILDING.

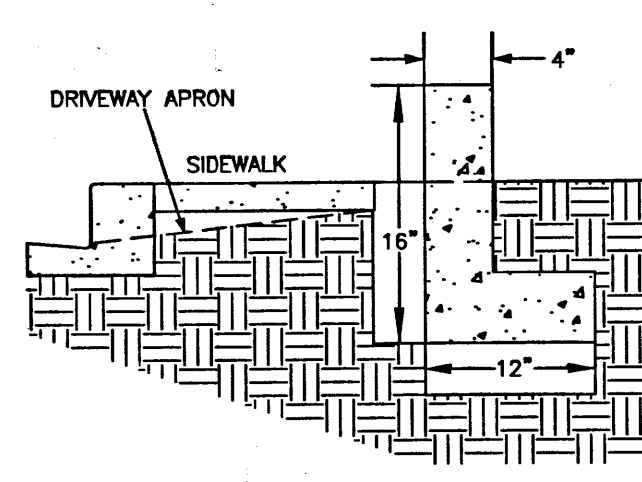
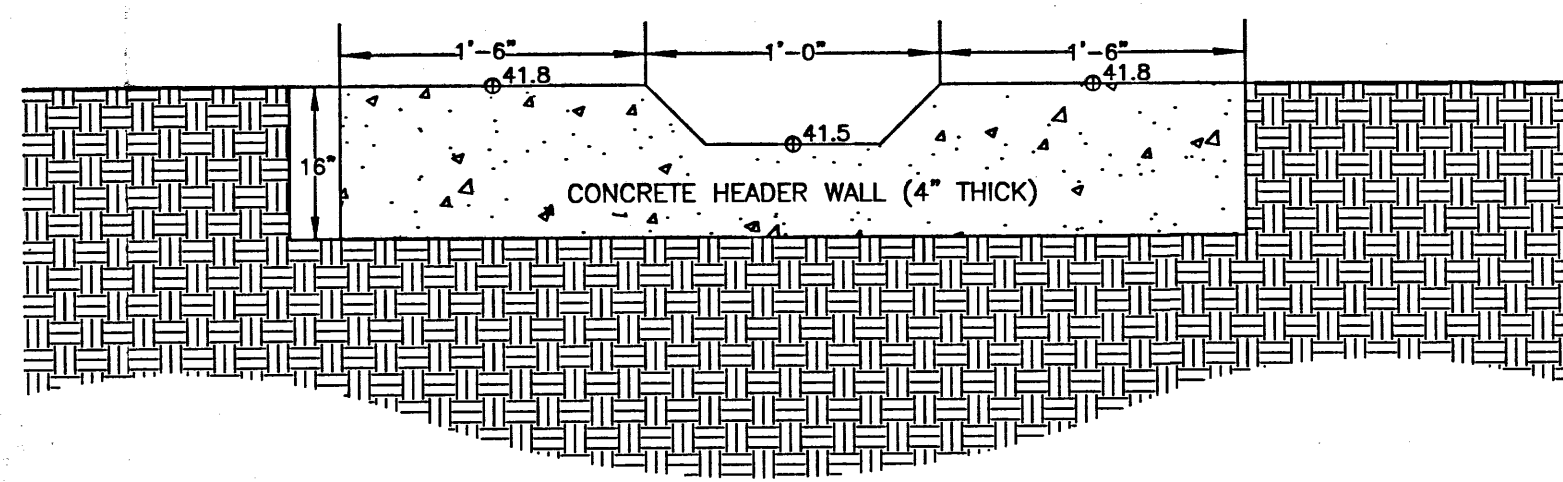
— ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

KEYED NOTES

- 1 LANDSCAPING AREA
- 2 CONCRETE PAD TO BE REMOVED
- 3 6" STAND UP CURB, CONCRETE OR EQUAL
- 4 6" CURB DRAIN OPENING
- 5 EDGE OF EXISTING ASPHALT (MATCH)
- 6 OVERFLOW SPILLWAY (SEE DETAIL)
- 7 DRIVEWAY OPENING TO BE CLOSED BY SO-19 PERMIT
- 8 4' ADA COMPLIANT SIDEWALK TO INSTALLED AROUND EXISTING DRIVEWAY OPENING
- 9 FENCE BLOCKING ALLEY TO BE REMOVED PRIOR TO COMMENCEMENT OF CONSTRUCTION



OVERFLOW SPILLWAY (NO SCALE)



DRAINAGE CONCEPT

THE DRAINAGE CONCEPT FOR THIS SITE IS TO RETAIN THE FIRST FLUSH OF PRECIPITATION WITHIN THE LANDSCAPED AREAS. ADDITIONAL PRECIPITATION SHALL FREE DISCHARGE THE EXCESS RUNOFF FROM IMPERVIOUS SURFACES VIA THE DRIVEWAY OPENING TO THE WEST, AS IT HAS OCCURRED HISTORICALLY.

ONSITE HYDROLOGY

DRAINAGE DATA

THIS SITE LIES WITHIN PRECIPITATION ZONE 3

| Condition | Storm Return Period, Table 4 (Years) | Treatment Type | Treatment Area (sq. ft.) | Excess Precip. Table A-8 (in.) | Peak Runoff Table A-9 (cfs/ac) | Runoff Volume (cu. ft.) | Runoff Rate (cfs) |
|-------------|--------------------------------------|----------------|--------------------------|--------------------------------|--------------------------------|-------------------------|-------------------|
| EXISTING | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 2,502 | 0.92 | 2.60 | 191.8 | 0.15 |
| | | C | 26,559 | 1.29 | 3.45 | 2,855.1 | 2.10 |
| | | D | 20,967 | 2.36 | 5.02 | 4,123.5 | 2.42 |
| EXISTING | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 2,502 | 0.36 | 1.19 | 75.1 | 0.07 |
| | | C | 26,559 | 0.62 | 2.00 | 1,372.2 | 1.22 |
| | | D | 20,967 | 1.50 | 3.39 | 2,620.9 | 1.63 |
| DEVELOPED | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 5,500 | 0.92 | 2.60 | 421.7 | 0.33 |
| | | C | 0 | 1.29 | 3.45 | 0.0 | 0.00 |
| | | D | 44,529 | 2.36 | 5.02 | 8,757.4 | 5.13 |
| DEVELOPED | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 5,500 | 0.36 | 1.19 | 165.0 | 0.15 |
| | | C | 0 | 0.62 | 2.00 | 0.0 | 0.00 |
| | | D | 44,529 | 1.50 | 3.39 | 5,566.1 | 3.47 |
| TOTAL (EXT) | 100 | | | | | 7,170.4 | 4.7 |
| | 10 | | | | | 4,068.2 | 2.9 |
| TOTAL (DEV) | 100 | | | | | 9,179.0 | 5.5 |
| | 10 | | | | | 5,731.1 | 3.6 |

FLOW RATE INCREASES OF 0.8 CFS AND 0.7 CFS FOR THE 100-YEAR AND 10 YEAR STORMS MAY BE EXPECTED. THE 6-HOUR RUNOFF VOLUMES WILL INCREASE BY 2008 CUBIC FEET FOR THE 100-YEAR STORM & 1663 CUBIC FEET FOR THE 10-YEAR STORM.

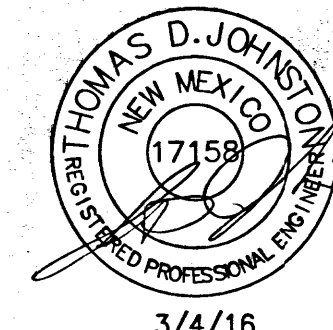
FIRST FLUSH INFORMATION

THE FIRST FLUSH PRECIPITATION USED IS 0.34" (0.03") OF PRECIPITATION FOR ANY STORM. FIRST FLUSH RETENTION POND VOLUME = (0.03") x IMPERVIOUS SURFACE IN sq. ft. FIRST FLUSH VOLUME = 1261.67 cf. THE NORTHWEST PONDING AREA WILL CARRY THE FIRST FLUSH. PONDING VOLUME = 1280 cf.

OFFSITE FLOW INFORMATION

OFFSITE FLOWS FROM ADJACENT PROPERTIES ARE NEGLIGIBLE, AS THE ADJACENT UPSTREAM PROPERTIES APPEAR TO FREE DISCHARGE INTO CENTRAL AVENUE, SE.

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON JANUARY 21, 2016, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.



3/4/16

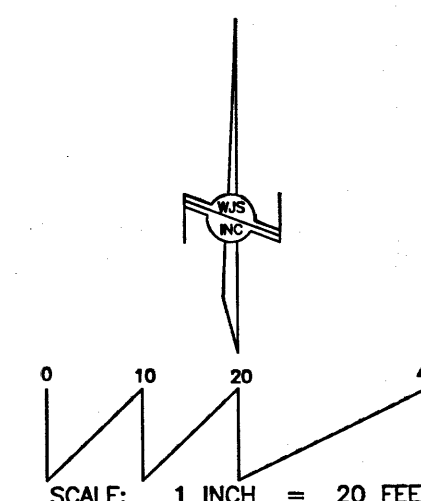
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN

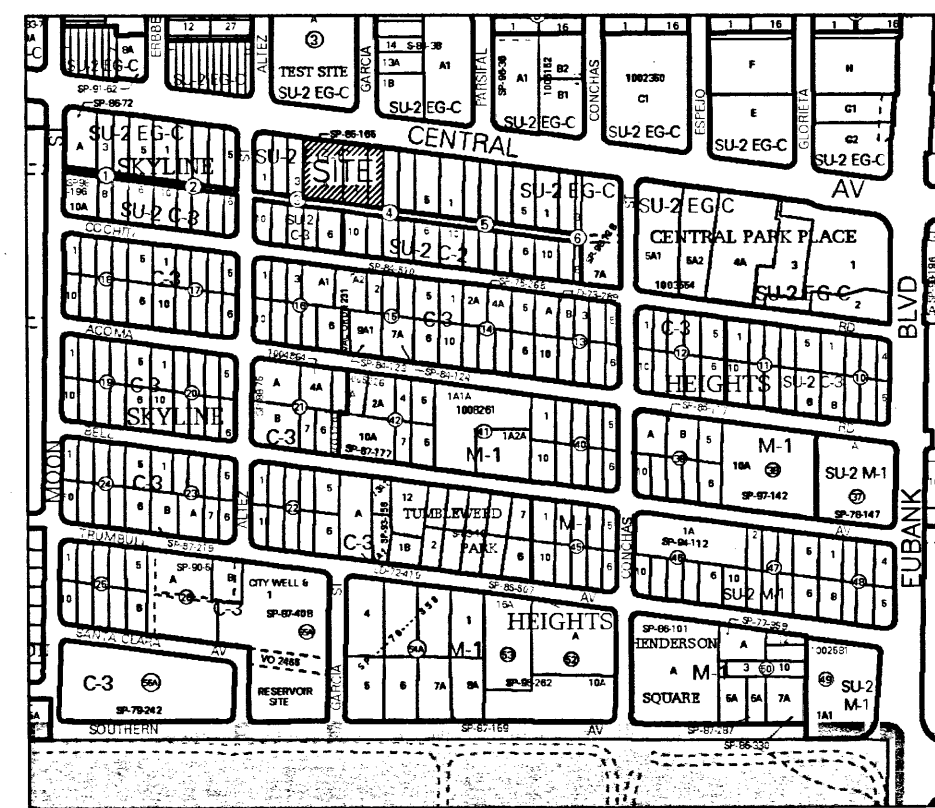
9808 CENTRAL AVENUE, SE

TCC ENGINEERING, INC. (505)266-7256
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
Fax: (505) 255-2887

SHEET NO. C1

DESIGN DATE:
1/25/2016REVISION:
3/4/2016CITY PROJECT NO:
L20/D024

VICINITY MAP (L-20-Z)



LEGEND

- WM WATER METER
- PH FIRE HYDRANT
- LP LIGHT POLE
- EM ELECTRIC METER
- GM GAS METER
- TEL TELEPHONE RISER
- ELEC ELECTRIC VAULT
- XTMR ELECTRIC TRANSFORMER
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- ELEVATIONS ARE TO ANNOTATED SPOTS
- EC EDGE OF CONCRETE
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- EXISTING CONTOURS @ 1 FT. INTERVALS
- INDEX CONTOURS @ 5 FT. INTERVALS
- PROPOSED CONTOURS @ 1.0' INTERVALS
- PROPOSED SPOT ELEVATION
- TC TOP OF CONCRETE
- FL FLOWLINE
- TW TOP OF WALL
- TA TOP OF ASPHALT

LEGAL DESCRIPTION

Lot lettered "A-1", in Block numbered Three (3) of SKYLINE HEIGHTS, as the same is shown and designated on said replat filed in the office of the County Clerk of Bernalillo County, New Mexico on November 16, 2015 in Plat Book 2015C, Page 146.

FLOOD ZONE DESIGNATION

It is hereby certified that this property is not located within a 100-year flood hazard boundary in accordance with current HUD Federal Administration Flood Hazard Boundary Maps dated August 16, 2012. Zone X (No Flood Hazard) Panel 350002 0358 H.

BENCH MARK

Basis of elevations: ACS STATION "5-K20" NAVD 88 MSL ELEVATION: 5429.995
TBM: NAIL AND DISK AT NORTHEAST CORNER OF PROPERTY MSL: 5306.82

NOTICE TO CONTRACTOR

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CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE IS SUBJECT TO NPDES SWPPP REQUIREMENTS (> 1 ACRE).

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

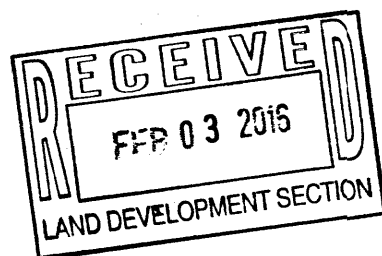
DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PAVED PARKING LOT ON WEST SIDE OF BUILDING.

- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

KEYED NOTES

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- 4 6" CURB DRAIN OPENING
- 5 EDGE OF EXISTING ASPHALT (MATCH)
- 6 OVERFLOW SPILLWAY (SEE DETAIL)



ACS STATION "5-K20"
x=1,553,259.684
y=1,482,001.249
Ground-to-grid:
0.999652832
Mapping Angle: -00°10'02.59"
NMSP CENTRAL ZONE
NAD 83

LOT 3, BLOCK 3, SKYLINE HEIGHTS
(REC. 7/19/1945 VOL. C1, FOLIO 188)

LOT A-1
(1.1485 ac.)

LOT 3, BLOCK 4, SKYLINE HEIGHTS
(REC. 7/19/1945 VOL. C1, FOLIO 188)

DRAINAGE CONCEPT

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| EXISTING | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 2,502 | 0.92 | 2.60 | 191.8 | 0.15 |
| | | C | 26,559 | 1.29 | 3.45 | 2,855.1 | 2.10 |
| | | D | 20,967 | 2.36 | 5.02 | 4,123.5 | 2.42 |
| EXISTING | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 2,502 | 0.36 | 1.19 | 75.1 | 0.07 |
| | | C | 26,559 | 0.62 | 2.00 | 1,372.2 | 1.22 |
| | | D | 20,967 | 1.50 | 3.39 | 2,620.9 | 1.63 |
| DEVELOPED | 100 | A | 0 | 0.66 | 1.87 | 0.0 | 0.00 |
| | | B | 5,500 | 0.92 | 2.60 | 421.7 | 0.33 |
| | | C | 0 | 1.29 | 3.45 | 0.0 | 0.00 |
| | | D | 44,529 | 2.36 | 5.02 | 8,757.4 | 5.13 |
| DEVELOPED | 10 | A | 0 | 0.19 | 0.58 | 0.0 | 0.00 |
| | | B | 5,500 | 0.36 | 1.19 | 165.0 | 0.15 |
| | | C | 0 | 0.62 | 2.00 | 0.0 | 0.00 |
| | | D | 44,529 | 1.50 | 3.39 | 5,568.1 | 3.47 |
| TOTAL (EXT) | 100 | | | | | 7,170.4 | 4.7 |
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| | 10 | | | | | 5,731.1 | 3.6 |

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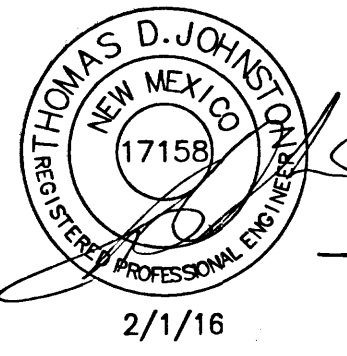
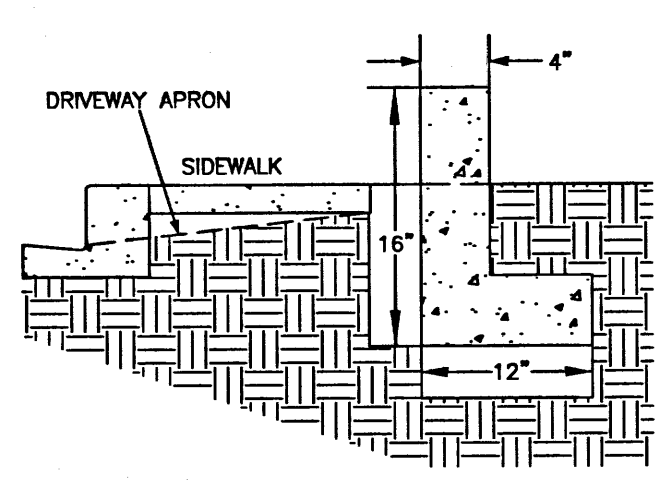
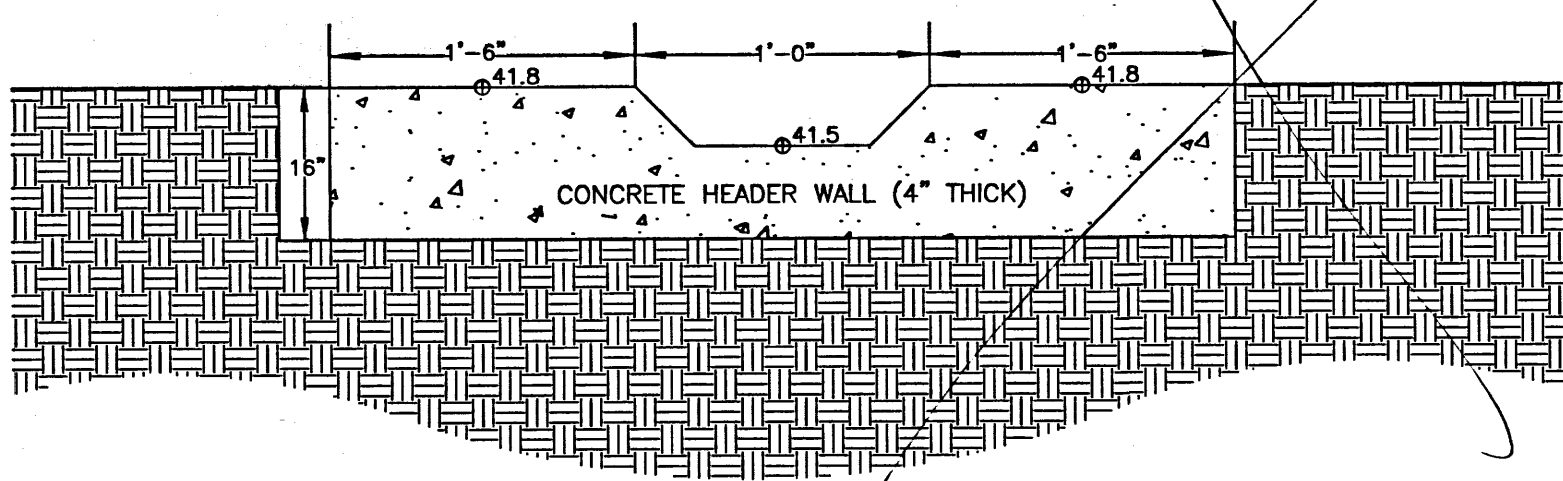
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OFFSITE FLOW INFORMATION

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OVERFLOW SPILLWAY (NO SCALE)



I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON JANUARY 21, 2016, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN

9808 CENTRAL AVENUE, SE

TGC ENGINEERING, INC. (505)266-7256
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
Fax: (505) 255-2887

SHEET NO. C1

DESIGN DATE:
1/25/2016

REVISION:
2/1/2016

CITY PROJECT NO:
L20/DXXX

