

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
  - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
  - ALL SITES OVER 1 ACRE DISTURBANCE REQUIRE FEDERAL NPDES PERMIT.

**Drainage Plan for Lot 1-A, Block 41, Skyline Heights**

The project property is located at 10001 Bell Avenue, SE, between Conchas St. and Altez St. with street frontage on both Acoma Road and Bell Ave. Zone Atlas Page L-20-Z depicts the M-1 zoned property encompassing approximately 1.86 acres. This site has been developed for years and contains a warehouse building with an apartment addition and an office trailer for use as a commercial storage yard. This project proposes to redevelop the property for use as a Laborer's Union training facility and Union office by demolishing the apartment addition, remodeling the existing warehouse building, and constructing a new classroom building and a new office building. A plat will be processed for a lot split to allow the union office building to be sited on a separate lot while reserving a cross lot-drainage and shared parking easements between the two lots.

The property lies outside of the 100-year floodplain, as indicated by FIRM map 35001C0358F. The site gently slopes from the southeast corner toward the northwest corner of the property where a majority of the site's 100-year peak discharge of 7.13 CFS currently drains, although a portion of the southwestern area of the property drains onto Bell Ave. A small area from the easterly adjoining property drains onto the site and is conveyed by overland flow across the site, out an existing driveway, and into an existing storm inlet on Acoma Rd.

Grading to accommodate a parking lot, two new buildings, flatwork, and landscaping is proposed for the area north and east of the existing warehouse building. For the developed condition, a peak discharge rate of 8.06 CFS was calculated for the 100-year storm. The majority of this drainage will be conveyed to the existing storm drain inlet on Acoma Rd. by surface drainage across the parking lot and out the proposed driveway. The area south of the proposed southerly building will surface drain onto Bell Ave. over an existing driveway and conveyed into the existing storm inlet on Bell Ave. A connection to this same storm inlet on Bell Avenue is also proposed to accept flows from a private area drain system designed to convey nuisance flows from landscape and hardscape areas. The grading design provides for positive drainage to be maintained around buildings in the event the area drain system fails.

Although a slight increase in runoff is anticipated from the redeveloped site, the grading configuration is such that offsite drainage will continue to be accepted and historic drainage patterns will be maintained. No grading is proposed within 100 feet of the westerly boundary and no flows will be diverted onto adjacent properties. Existing storm drain facilities exist along both of the public streets fronting the property to accept drainage from the developed area.

**Weighted E Method**

							100-Year, 6-Hr						
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
Existing	81143	1.86	0%	0.0000	0%	0.00	76%	1.4157	24%	0.4471	1.547	0.240	7.1
Developed	81143	1.86	0%	0.0000	15%	0.28	21%	0.3912	64%	1.1922	1.919	0.298	8.0

**Equations for Weighted E Method:**

Weighted E =  $E_a A_a + E_b A_b + E_c A_c + E_d A_d$  / (Total Area)

Volume = Weighted E \* Total Area

Flow =  $Q_a A_a + Q_b A_b + Q_c A_c + Q_d A_d$

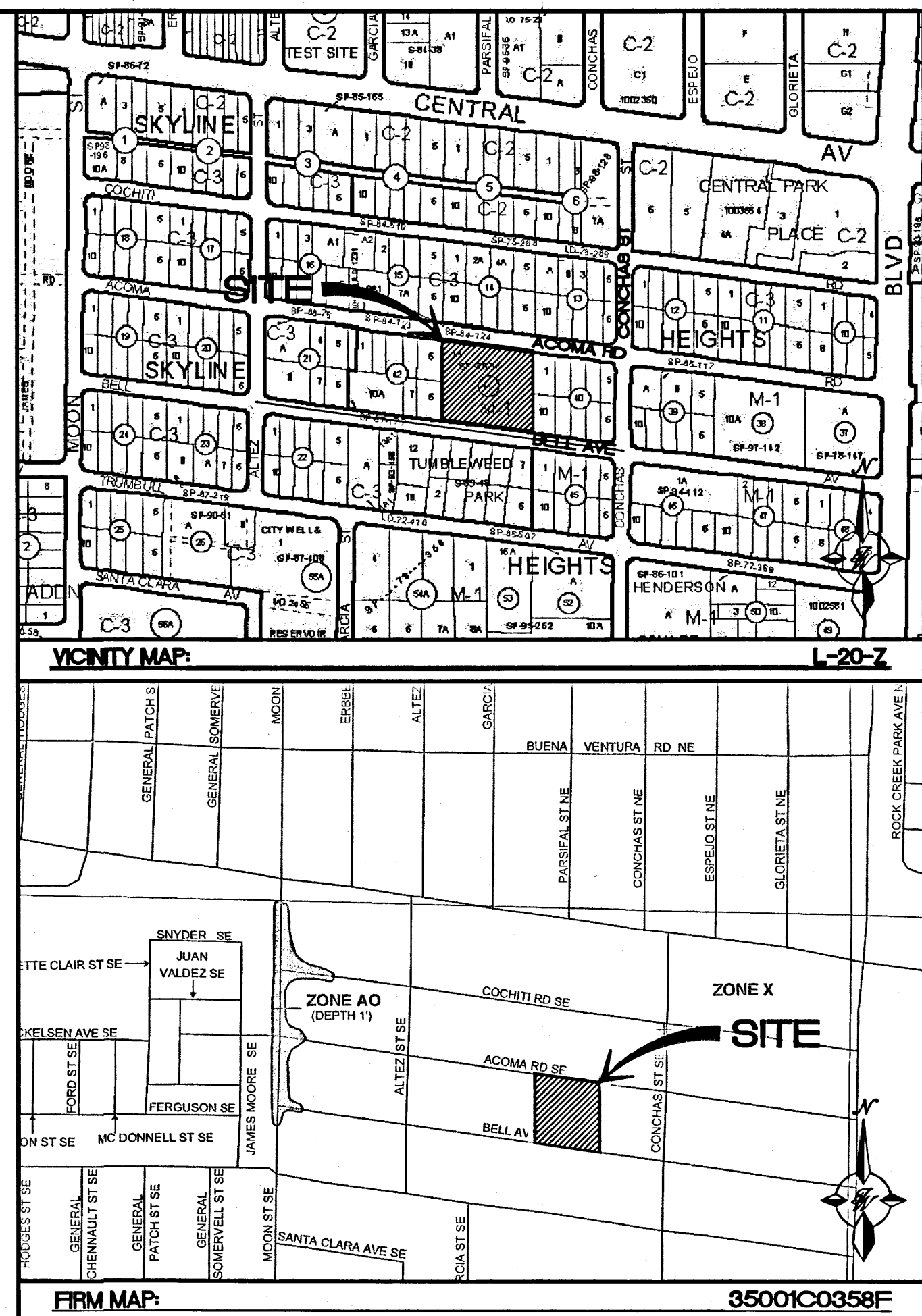
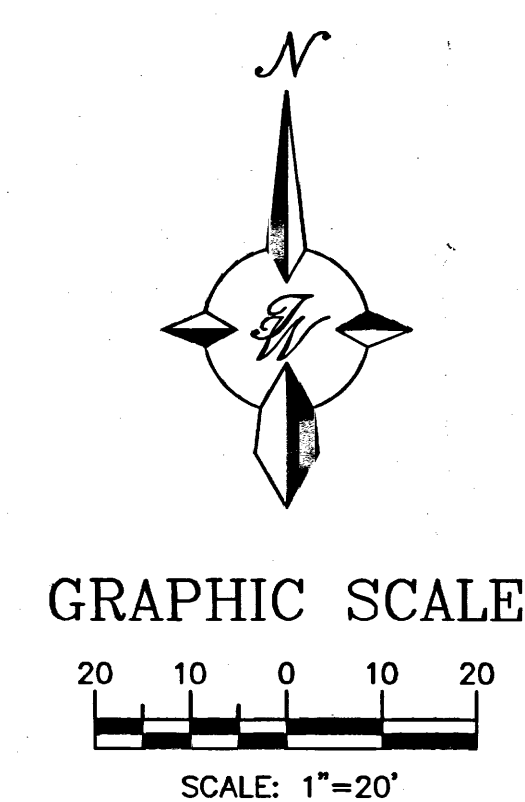
Volume (10-day) =  $V_{30} + A_d * (P_{10days} - P_{30}) / 12 \text{ in-ft}$

Excess Precipitation, E (inches)	Zone 3	100-Year	10-Year	2-Year
$E_a$	0.86	0.19	0.00	0.00
$E_b$	0.92	0.36	0.06	0.00
$E_c$	1.29	0.62	0.2	0.00
$E_d$	2.36	1.5	0.89	0.00

Peak Discharge (cfs/acre)	Zone 3	100-Year	10-Year	2-Year
$Q_a$	1.87	0.58	0	0
$Q_b$	2.6	1.19	0.21	0
$Q_c$	3.45	2	0.78	0
$Q_d$	5.02	3.39	2.04	0

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION



**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

**ROUGH GRADING APPROVAL**

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	NEW MEXICO LABORER'S TRAINING FACILITY GRADING AND DRAINAGE PLAN TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrewestllc.com	DRAWN BY DY DATE 04/27/11 2954-GRE SHEET # 1 JOB # 29054
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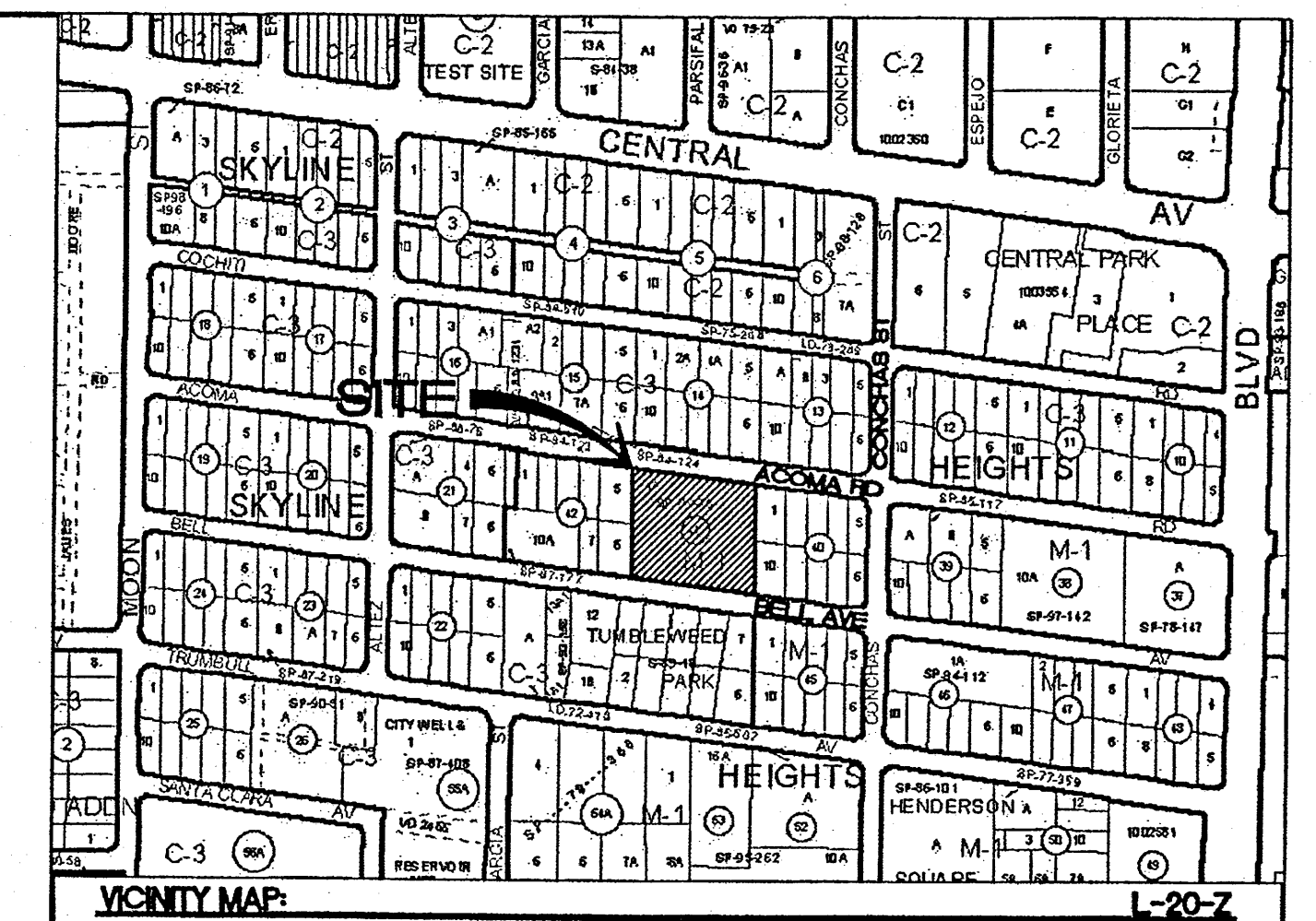


# QUARTER POINTS

FL	ELEV.	FL	ELEV.
1	5448.23	4	5448.94
2	5448.36	5	5448.79
3	5448.56	6	5448.77

## KEYED NOTE:

- ✓ (A) HEADER CURB PER COA STD DWG #2415B
- (A1) 0" CURB FACE
- (A2) 6" TO 0" CURB TRANSITION
- (B) NEW CONCRETE SIDEWALK
- ✓ (C) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- ✓ (D) TRASH ENCLOSURE PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- ✓ (E) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- (F) EXIST. SIDEWALK TO REMAIN
- ✓ (G) 6" VALLEY GUTTER PER COA STD DWG #2420
- ✓ (H) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET 5
- (I) CURB AND GUTTER
- ✓ (J) 12" WIDE SIDEWALK CULVERT PER COA STD DWG #2236. IE=5449.36. SEE GRADING PLAN FOR 5019 PERMIT REQUIREMENTS.
- ✓ (K) NEW ENTRANCE WITH UNIDIRECTIONAL HC RAMP PER COA STD DWG #2426 12:1 MAX SLOPE W/ TRUNCATED DOMES PER DETAIL THIS SHEET
- (L) NEW CURB & GUTTER PER COA STD DWG #2415A. NEW SIDEWALK (MATCH EXIST. WIDTH & ELEVATION).
- (M) EXIST. DRIVEWAY CUT TO REMAIN FOR SERVICE ENTRANCE
- (N) BICYCLE RACK, SEE ARCHITECTURAL PLANS FOR DETAILS
- (O) FLARED HC CURB RAMP PER DETAIL THIS SHEET

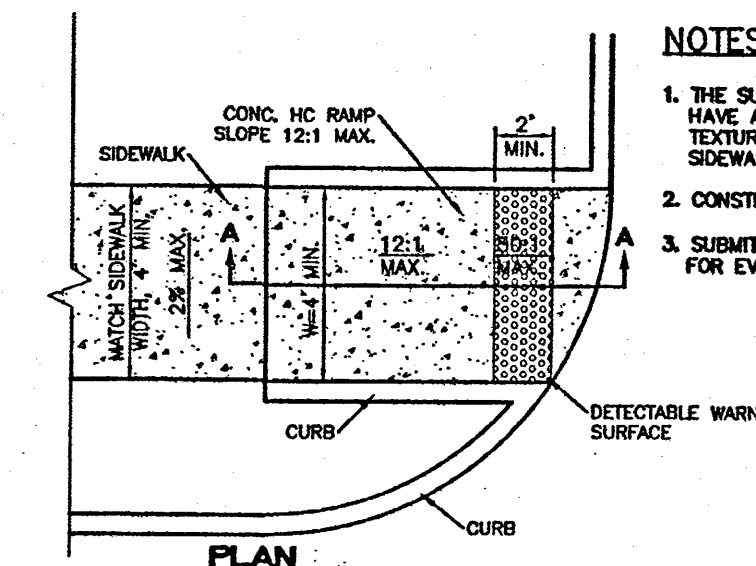


LEGAL DESCRIPTION:  
LOT 1-A, BLOCK 41 SKYLINE HEIGHTS

## LEGEND

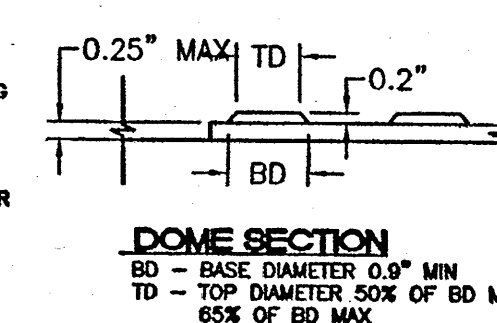
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ADA ACCESSIBLE ROUTE

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

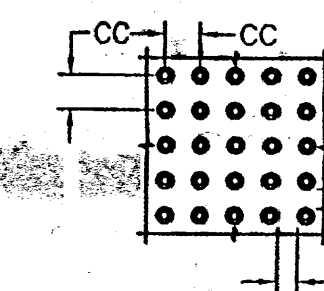


## NOTES:

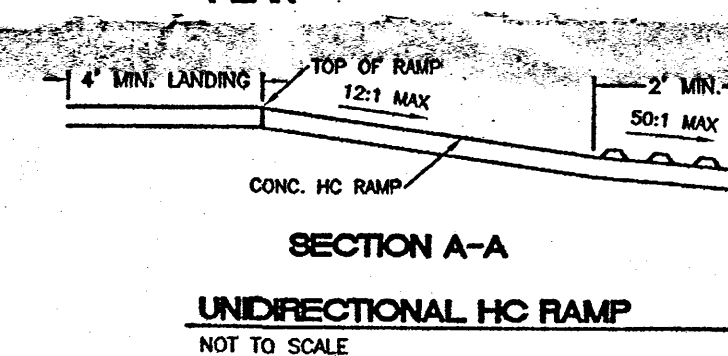
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.
3. SUBMIT SPECS TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



DOME SECTION  
BD = BASE DIAMETER 0.9" MIN  
TD = TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING  
CC = CENTER TO CENTER SPACING 2.35"  
BB = BASE TO BASE SPACING 1.40" MIN



SECTION A-A  
UNIDIRECTIONAL HC RAMP  
NOT TO SCALE

## LOT 1-A-1-A

EXISTING BUILDING:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
19/2 = 7 SPACES

UNION HALL:  
3,506 SF / 200 = 18 SPACES

PARKING PROVIDED:  
25 SPACES  
HANDICAP SPACES REQUIRED: 1  
MOTORCYCLE SPACES REQUIRED: 1

PARKING PROVIDED:  
40 SPACES TOTAL  
STANDARD SPACES PROVIDED: 33  
SMALL CAR SPACES PROVIDED: 5  
HANDICAP SPACES PROVIDED: 2  
MOTORCYCLE SPACES PROVIDED: 2

## LOT 1-A-2-A

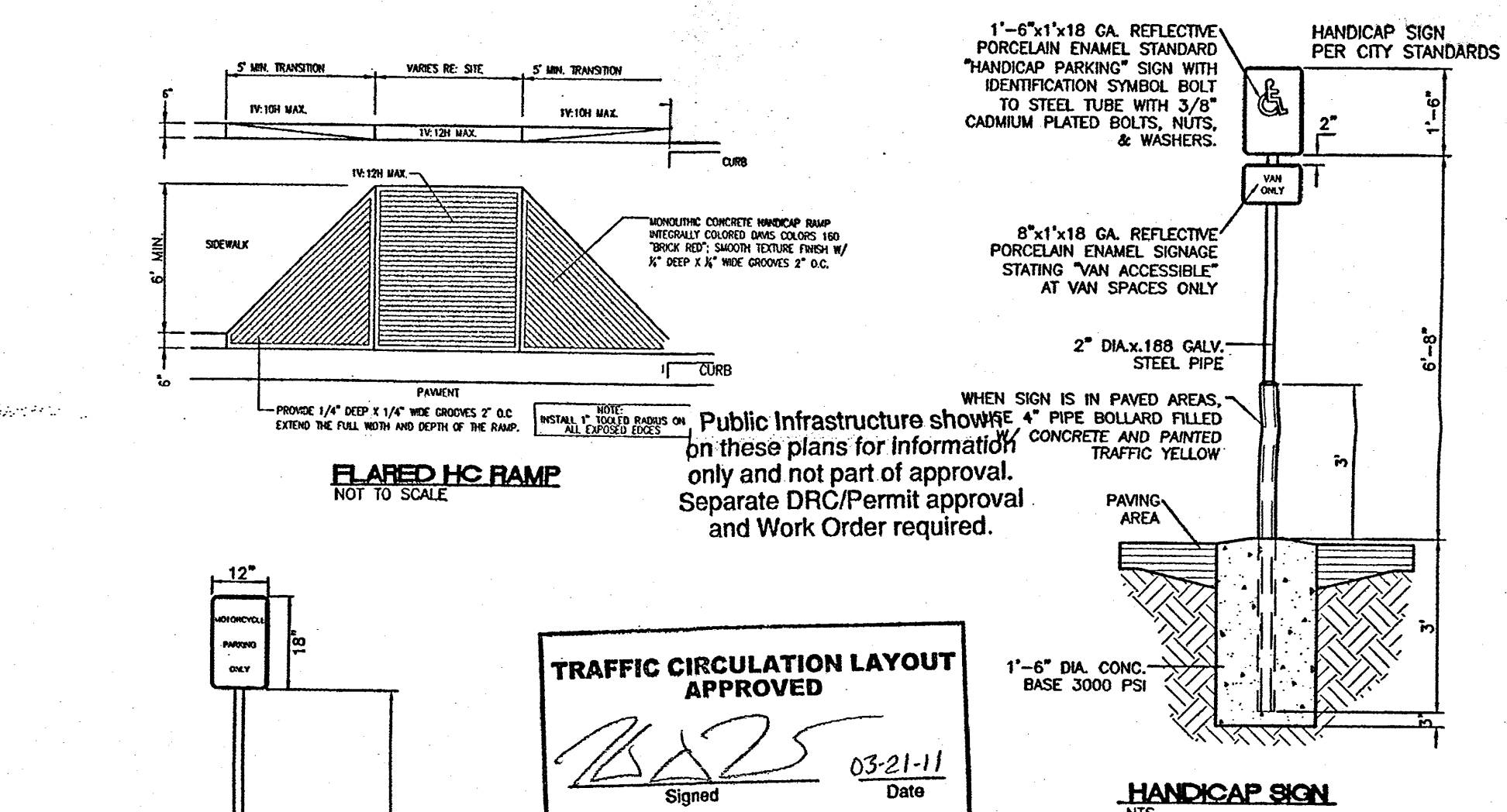
ADMINISTRATION BUILDING OFFICE AREA:  
4,209 SF / 200 = 22 SPACES

ADMINISTRATION BUILDING CLASSROOMS:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
30/2 = 15 SPACES

PARKING PROVIDED:  
37 SPACES  
HANDICAP SPACES REQUIRED: 2  
MOTORCYCLE SPACES REQUIRED: 2

PARKING PROVIDED:  
39 SPACES TOTAL  
STANDARD SPACES PROVIDED: 34  
SMALL CAR SPACES PROVIDED: 2  
HANDICAP SPACES PROVIDED: 3  
MOTORCYCLE SPACES PROVIDED: 3

BICYCLE RACK PROVIDED:  
ONE BICYCLE SPACE PER EACH 20 PARKING SPACES  
77 PARKING SPACES PROVIDED  
62/20 = 4  
BICYCLE SPACES REQUIRED: 4  
BICYCLE SPACES TO BE PROVIDED: 4  
(SEE KEYED NOTE N THIS SHEET FOR LOCATION)

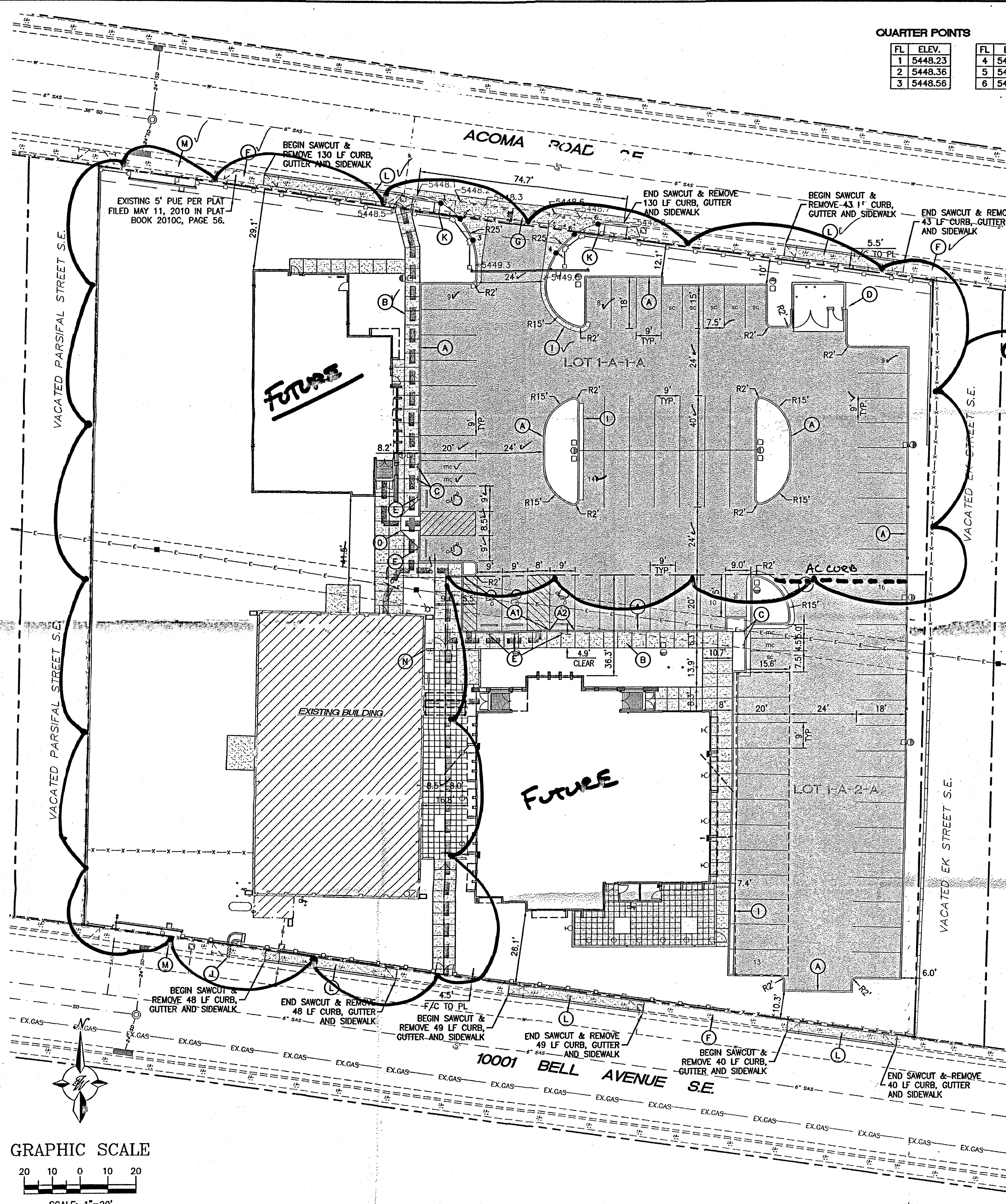


TRAFFIC CIRCULATION LAYOUT  
APPROVED  
SIGNED: [Signature] 03-21-11  
DATE

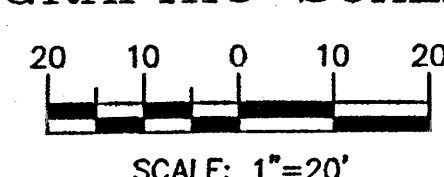
ENGINEER'S SEAL  
RONALD R. BOHANNAN  
P.E. #7868

NEW MEXICO LABORER'S  
TRAINING FACILITY  
TRAFFIC CIRCULATION  
LAYOUT  
TIERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505)858-3100  
tierrawestllc.com

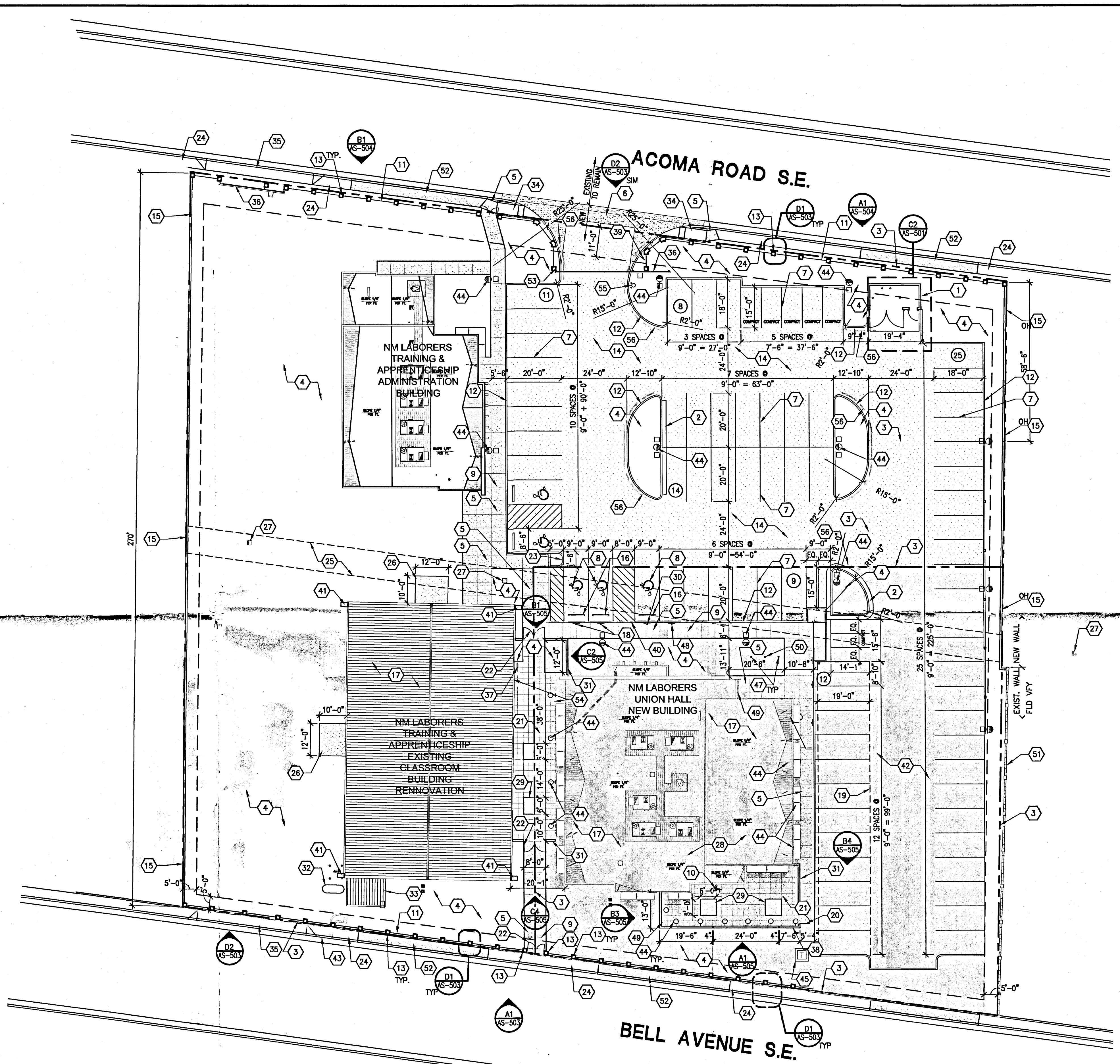
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DY  
DATE  
3/10/11  
2954-TCL  
SHEET #  
1  
JOB #  
29054  
MAY 24 2012



## GRAPHIC SCALE







A1 SITE PLAN

## GENERAL NOTES

- WORK IN SHADED AREA TO BE PERFORMED UNDER NEW MEXICO LABORERS UNION HALL.
- ANY MODIFICATIONS TO THE FIRE ALARM OR SPRINKLER PLANS MUST BE APPROVED BY THE FIRE MARSHALL'S OFFICE.
- HATCHED AREA NOT IN PROJECTS SCOPE OF WORK.

## KEYED NOTES

- NEW TRASH AND RECYCLING ENCLOSURE.
- NEW CONCRETE CURB AND GUTTER. REFERENCE A1/AS-501.
- PROPERTY LINE.
- NEW LANDSCAPE AREA. REFERENCE LANDSCAPE PLAN.
- NEW CONCRETE SIDEWALK. SEE A5/AS-501 @ EDGE.
- CONCRETE VALLEY GUTTER AS PER COA DWGS. 2420 AND 2426.
- NEW PAINTED PARKING STRIPING.
- NEW PAINTED HANDICAP PARKING SYMBOL. REFERENCE DETAIL B1/AS-501.
- CONCRETE CONTROL JOINT. REFERENCE DETAIL A4/AS-501.
- GAS METER.
- METAL RAILING. POWDER COAT. REFERENCE SHEET AS-503 AND AS-504.
- NEW 6" CONCRETE HEADER CURB. SEE A2/AS-501.
- NEW CMU PILASTER. REFERENCE DETAIL D1/AS-503.
- NEW ASPHALT PAVING.
- NEW CMU WALL. REFERENCE DETAIL B2/AS-501.
- NEW PRE-CAST CONCRETE WHEEL STOP.
- NEW ROOF.
- HANDICAP PARKING SIGN. REFERENCE C4/AS-501.
- DASHED LINE INDICATES FUTURE CANOPY.
- NEW SINGLE METAL GATE.
- STAMPED CONCRETE WITH INTEGRAL COLOR, DAVIS COLORS TERRA COTTA 10134.
- NEW DOUBLE METAL GATE.
- REFERENCE CIVIL DRAWINGS FOR CONSTRUCTION OF DOUBLE CURB RAMP.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING UTILITY EASEMENT.
- NEW CONCRETE PAD.
- EXISTING POWER POLE TO REMAIN.
- FUTURE UNION HALL ROOF.
- TREE WELL. TYP. REFERENCE LANDSCAPE PLAN.
- HANDICAP VAN ACCESSIBLE PARKING SIGN. REFERENCE DETAIL C5/AS-501.
- NEW 5'-8" HIGH CMU WALL. REFERENCE DETAIL D3/AS-505.
- EXISTING GAS TANK TO REMAIN.
- EXISTING RISER SHED TO REMAIN.
- CONCRETE SIDEWALK RAMP.
- EXISTING CONCRETE RAMP TO REMAIN.
- GROUND TRACK SLIDING GATE. REFERENCE DETAILS D2/AS-503 AND D4/AS-504.
- BICYCLE RACK TO HOUSE 4 BICYCLES. SEE DETAIL A3/AS-501.
- NEW 7'-8" HIGH CMU WALL. REFERENCE DETAIL D3/AS-505.
- STOP SIGN. REFERENCE DETAIL B4/AS-501.
- TOP OF CONCRETE CURB TO BE FLUSH WITH ASPHALT PAVING. REFERENCE CIVIL DRAWINGS.
- CONCRETE SPLASHBLOCK. REFERENCE B3/AS-501.
- HATCHED AREA REPRESENTS EXTENT OF UNION HALL BUILDING AND SITE WORK.
- 1' SIDEWALK CULVERT. SEE GRADING AND DRAINAGE PLAN.
- SITE LIGHTING. SEE ELECTRICAL SITE PLAN.
- ELECTRICAL TRANSFORMER. SEE SITE UTILITY PLAN.
- NOT USED.
- (2) 20' HIGH FLAG POLE.
- ALTERNATIVE FUEL-EFFICIENT VEHICLE PARKING SIGN. REFERENCE C3/AS-501.
- CHANNEL DRAIN. REFERENCE CIVIL.
- (1) 25' HIGH FLAG POLE.
- EXISTING WALL. REPAIR DAMAGED AREA AS REQUIRED. FIELD VERIFY.
- NEW CONCRETE SIDEWALK AND CURB & GUTTER (MATCH EXISTING WIDTH AND ELEVATION).
- PROVIDE KNOX KEY SWITCH AT SLIDING GATE.
- PROVIDE KNOX BOX AT BUILDING ENTRANCE.
- NEW FIRE HYDRANT.
- FIRE LANE STRIPING.

EXISTING BUILDING:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
15/2 = 7 SPACES

ADMINISTRATION BUILDING OFFICE AREA:  
4,254 SF / 200 = 22 SPACES

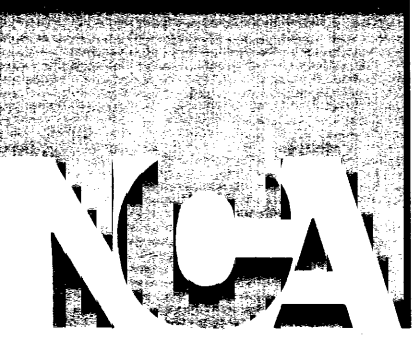
UNION HALL:  
3,665 SF / 200 = 18 SPACES

ADMINISTRATION BUILDING CLASSROOMS:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
30/2 = 15 SPACES

PARKING REQUIRED:  
62 SPACES

PARKING PROVIDED:  
62 SPACES

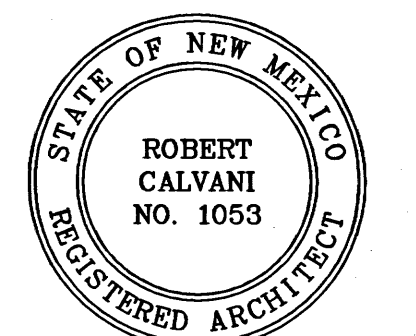
BICYCLE RACK PROVIDED:  
ONE BICYCLE SPACE PER EACH 20 PARKING SPACES  
62 PARKING SPACES PROVIDED  
62/20 = 4  
BICYCLE SPACES REQUIRED: 4  
BICYCLE SPACES TO BE PROVIDED: 4  
(SEE KEYED NOTE 37 THIS SHEET FOR LOCATION)



ARCHITECTS - PLANNERS - AIA

1306 RIO GRANDE BLVD NW  
ALBUQUERQUE, NM 87104  
505-255-6400 505-268-6954 FAX  
WWW.NCA-ARCHITECTS.COM

ARCHITECT



CONSULTANT

PROJECT TITLE

**NM LABORER'S  
TRAINING &  
APPRENTICESHIP  
TRUST FUND**

ALBUQUERQUE,  
NEW MEXICO

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/14/12	AS BUILT

DRAWN BY: TS CHECKED BY: DP

PROJECT NUMBER: A09.22

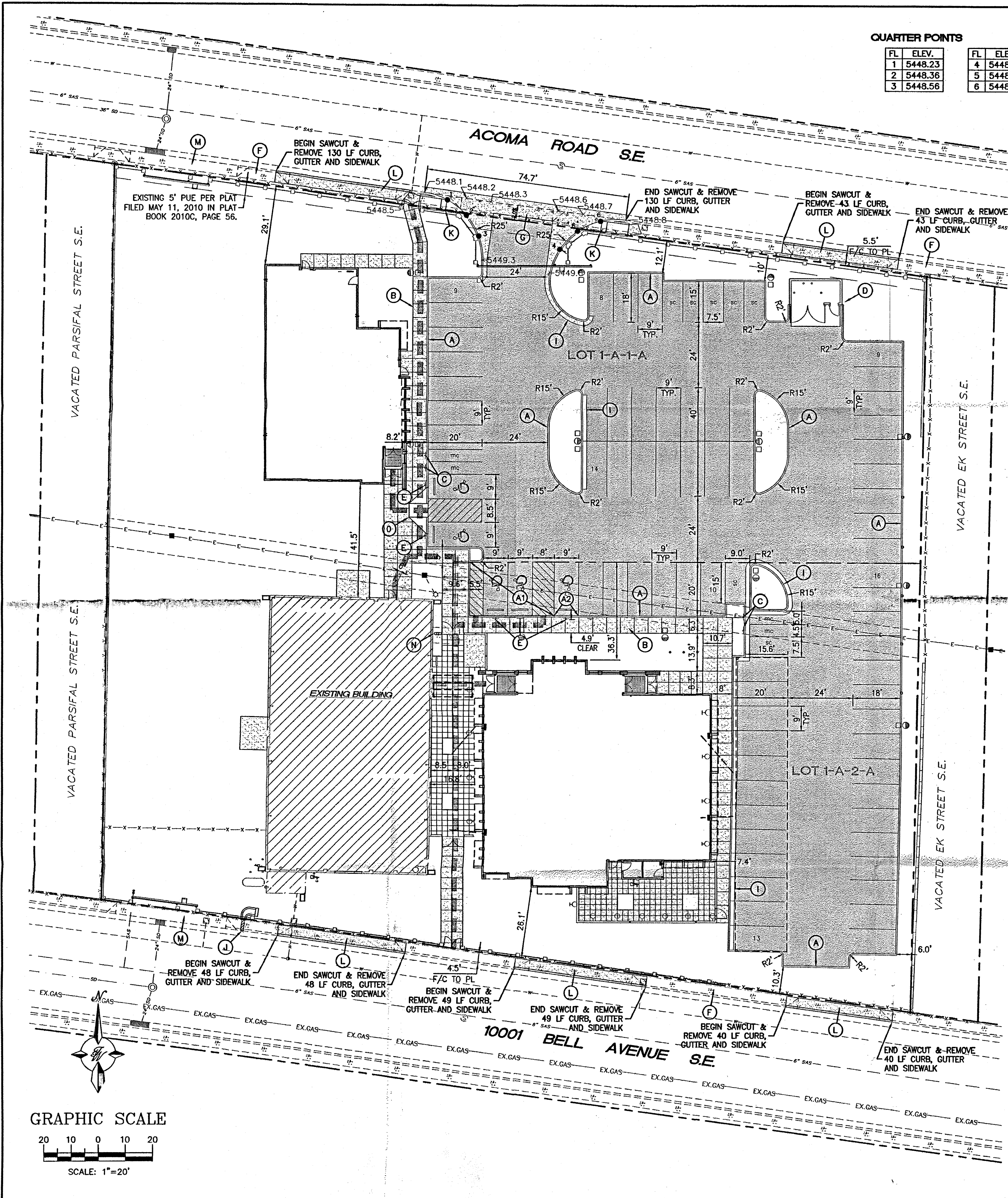
DATE: AUGUST 2010

SHEET TITLE: SITE PLAN

SHEET NO: AS-101

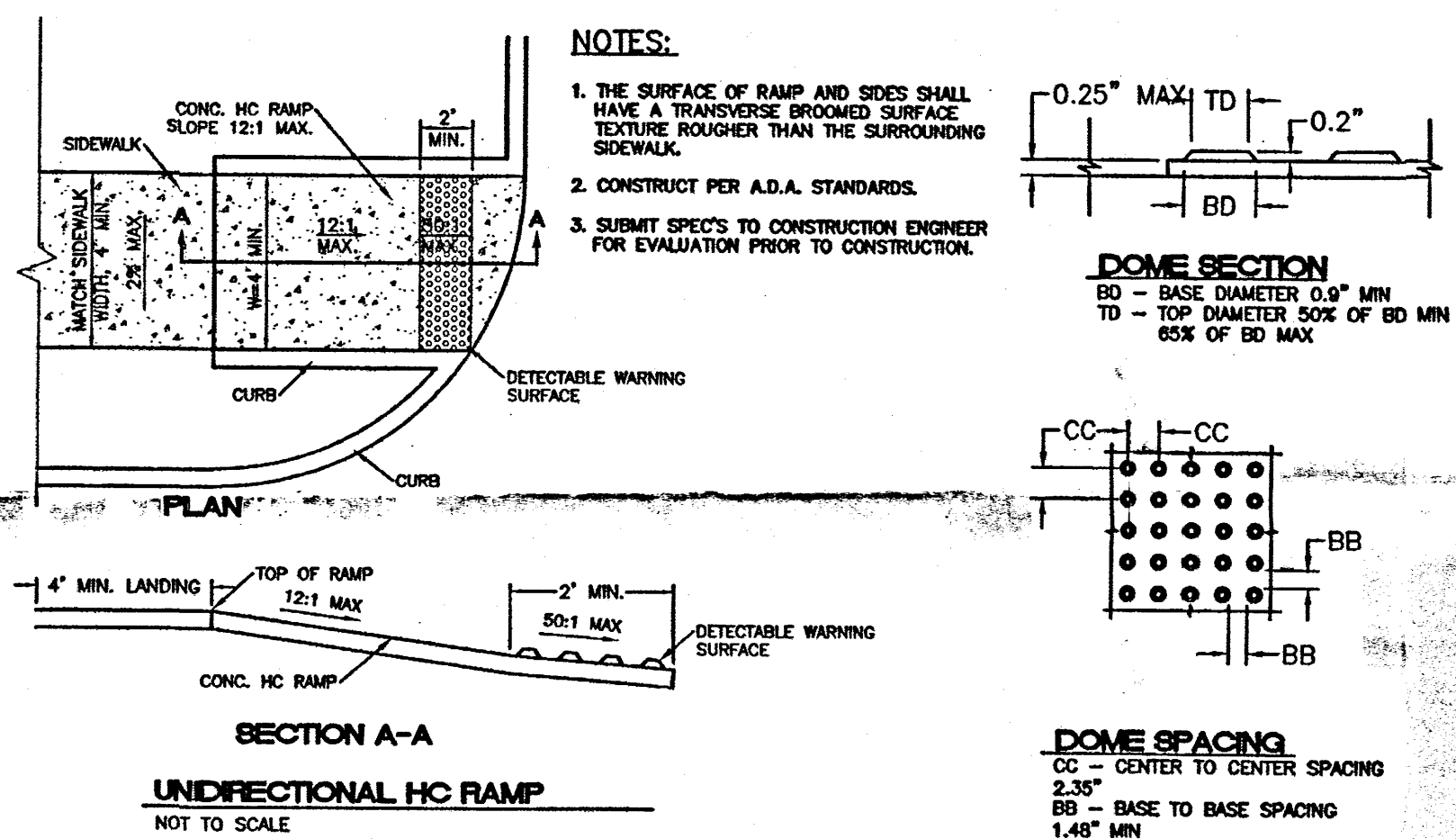
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APR 18 2012  
May





QUARTER POINTS		QUARTER POINTS	
FL	ELEV.	FL	ELEV.
1	5448.23	4	5448.94
2	5448.36	5	5448.79
3	5448.56	6	5448.77

- KEYED NOTE:**
- (A) HEADER CURB PER COA STD DWG #2415B
  - (A1) 0" CURB FACE
  - (A2) 6" TO 0" CURB TRANSITION
  - (B) NEW CONCRETE SIDEWALK
  - (C) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
  - (D) TRASH ENCLOSURE PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
  - (E) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
  - (F) EXIST. SIDEWALK TO REMAIN
  - (G) 6" VALLEY GUTTER PER COA STD DWG #2420
  - (H) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET 5
  - (I) CURB AND GUTTER
  - (J) 12" WIDE SIDEWALK CULVERT PER COA STD DWG #2236, IE=5449.36. SEE GRADING PLAN FOR 5019 PERMIT REQUIREMENTS.
  - (K) NEW ENTRANCE WITH UNIDIRECTIONAL HC RAMP PER COA STD DWG #2426 12:1 MAX SLOPE W/ TRUNCATED DOMES PER DETAIL THIS SHEET
  - (L) NEW CURB & GUTTER PER COA STD DWG #2415A. NEW SIDEWALK (MATCH EXIST. WIDTH & ELEVATION).
  - (M) EXIST. DRIVEWAY CUT TO REMAIN FOR SERVICE ENTRANCE
  - (N) BICYCLE RACK, SEE ARCHITECTURAL PLANS FOR DETAILS
  - (O) FLARED HC CURB RAMP PER DETAIL THIS SHEET



**LOT 1-A-1-A**

EXISTING BUILDING:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
15/2 = 7 SPACES

UNION HALL:  
3,506 SF / 200 = 18 SPACES

PARKING REQUIRED:  
25 SPACES

HANDICAP SPACES REQUIRED: 1

MOTORCYCLE SPACES REQUIRED: 1

PARKING PROVIDED:  
37 SPACES

STANDARD SPACES PROVIDED: 33

SMALL CAR SPACES PROVIDED: 2

HANDICAP SPACES PROVIDED: 2

MOTORCYCLE SPACES PROVIDED: 2

**LOT 1-A-2-A**

ADMINISTRATION BUILDING OFFICE AREA:  
4,209 SF / 200 = 22 SPACES

ADMINISTRATION BUILDING CLASSROOMS:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
30/2 = 15 SPACES

PARKING REQUIRED:  
37 SPACES

HANDICAP SPACES REQUIRED: 2

MOTORCYCLE SPACES REQUIRED: 2

PARKING PROVIDED:  
39 SPACES TOTAL

STANDARD SPACES PROVIDED: 34

SMALL CAR SPACES PROVIDED: 2

HANDICAP SPACES PROVIDED: 3

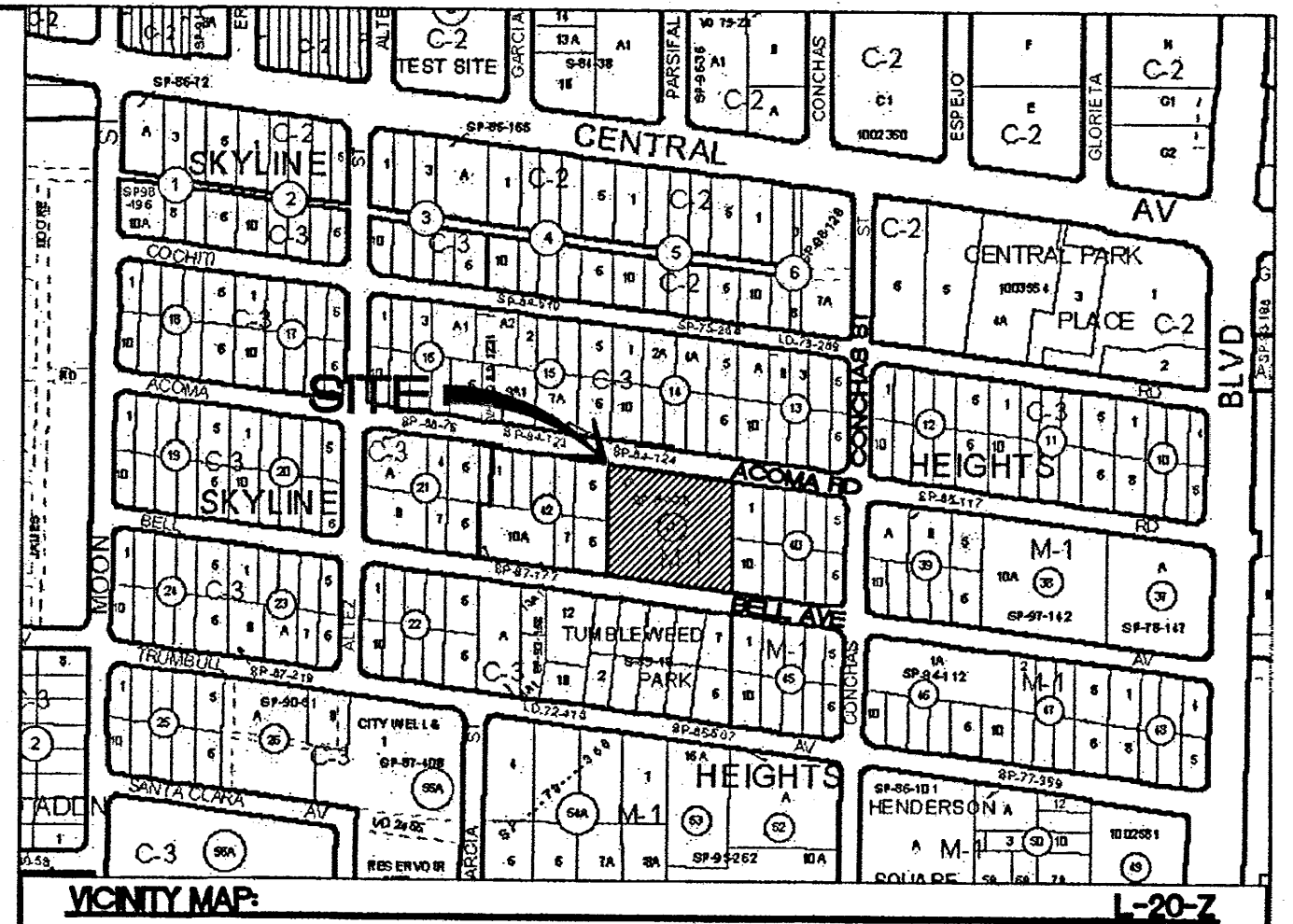
MOTORCYCLE SPACES PROVIDED: 3

BICYCLE RACK PROVIDED:  
ONE BICYCLE SPACE PER EACH 20 PARKING SPACES  
77 PARKING SPACES PROVIDED  
62/20 = 4

BICYCLE SPACES REQUIRED: 4

BICYCLE SPACES TO BE PROVIDED: 4

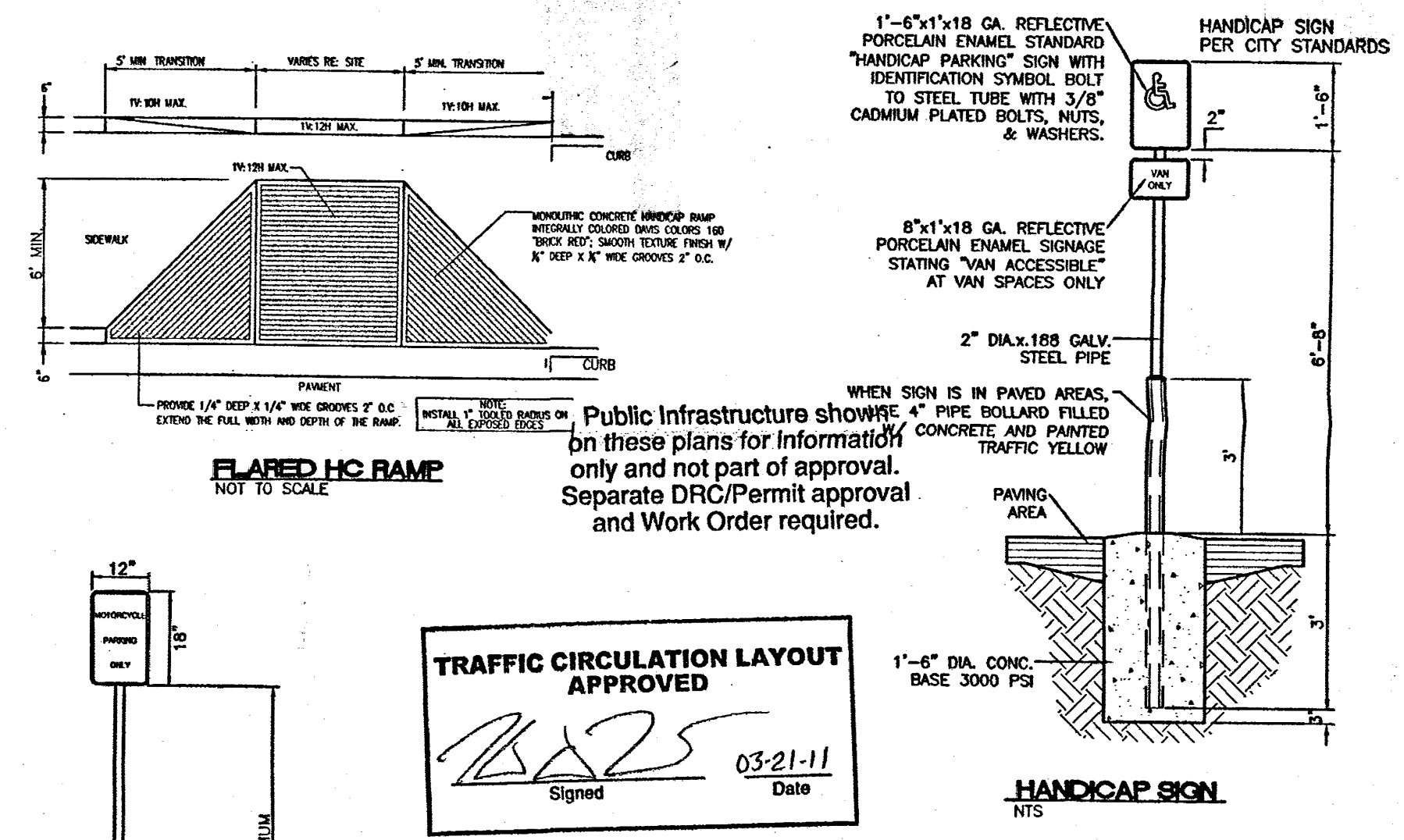
(SEE KEYED NOTE N THIS SHEET FOR LOCATION)



**LEGAL DESCRIPTION:**  
LOT 1-A, BLOCK 41 SKYLINE HEIGHTS

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - PROPOSED SIDEWALK
  - LANE
  - STRIPING
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING SIDEWALK
  - EXISTING LANE
  - EXISTING STRIPING
  - ADA ACCESSIBLE ROUTE

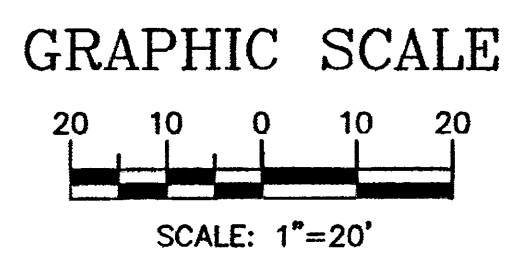
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



**TRAFFIC CIRCULATION LAYOUT APPROVED**

Signed: [Signature] Date: 03-21-11

	<b>NEW MEXICO LABORER'S TRAINING FACILITY</b>		DRAWN BY DY
	<b>TRAFFIC CIRCULATION LAYOUT</b>		DATE 3/10/11
		2954-TCL	SHEET # 1
RONALD R. BOHANNON P.E. #7868		TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 tierrawestllc.com	

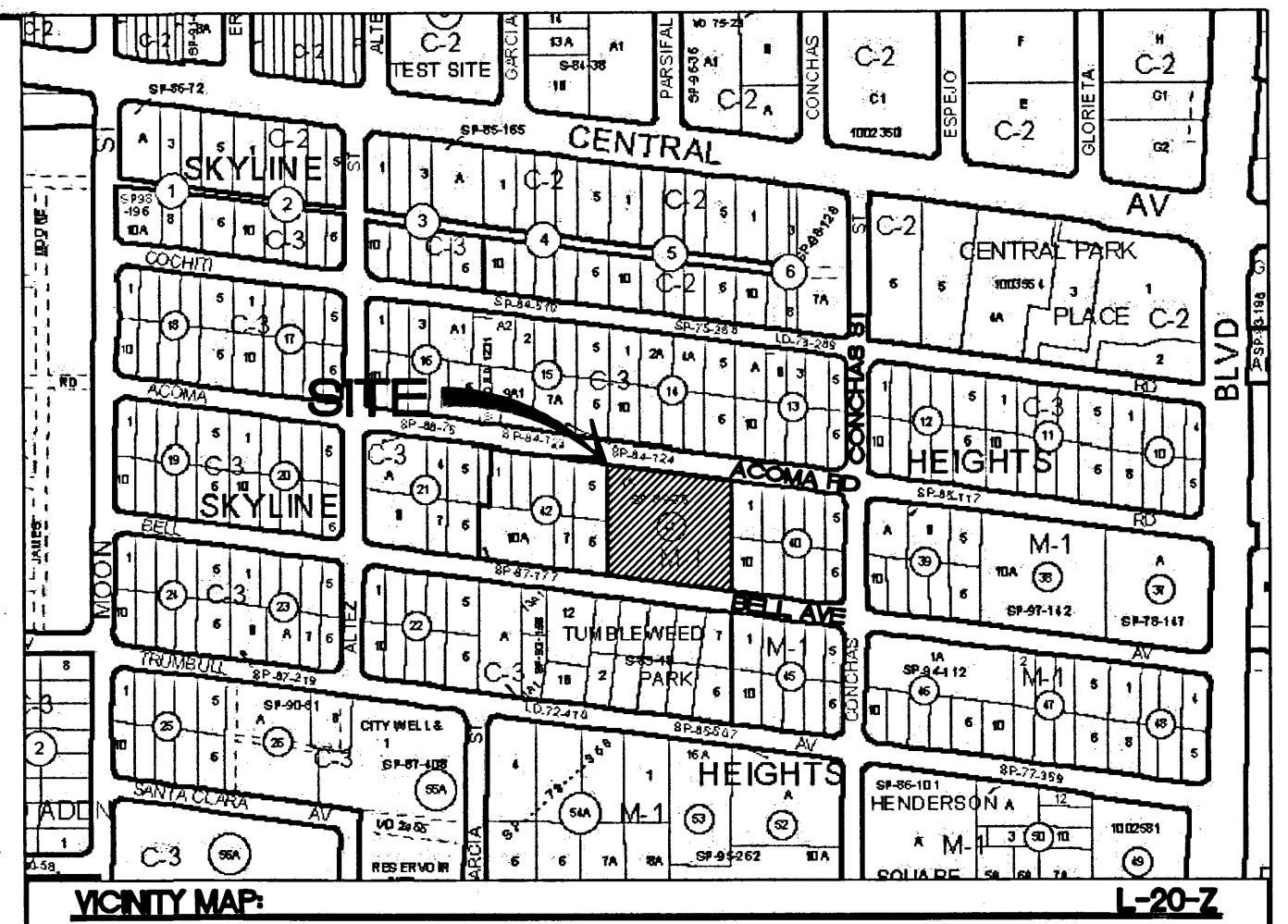




FL	ELEV.	FL	ELEV.
1	5448.23	4	5448.94
2	5448.36	5	5448.79
3	5448.56	6	5448.77

# KEYED NOTE:

- (A) HEADER CURB PER COA STD DWG #2415B
- (A) 0" CURB FACE
- (A2) 6" TO 0" CURB TRANSITION
- (B) NEW CONCRETE SIDEWALK
- (C) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- (D) TRASH ENCLOSURE PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- (E) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- (F) EXIST. SIDEWALK TO REMAIN
- (G) 6" VALLEY GUTTER PER COA STD DWG #2420
- (H) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET 5
- (I) CURB AND GUTTER
- (J) 12" WIDE SIDEWALK CULVERT PER COA STD DWG #2236. IE=5449.36. SEE GRADING PLAN FOR 5019 PERMIT REQUIREMENTS.
- (K) NEW ENTRANCE WITH UNIDIRECTIONAL HC RAMP PER COA STD DWG #2426 12:1 MAX SLOPE W/ TRUNCATED DOMES PER DETAIL THIS SHEET
- (L) NEW CURB & GUTTER PER COA STD DWG #2415A. NEW SIDEWALK (MATCH EXIST. WIDTH & ELEVATION).
- (M) EXIST. DRIVEWAY CUT TO REMAIN FOR SERVICE ENTRANCE
- (N) BICYCLE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS
- (O) FLARED HC CURB RAMP PER DETAIL THIS SHEET

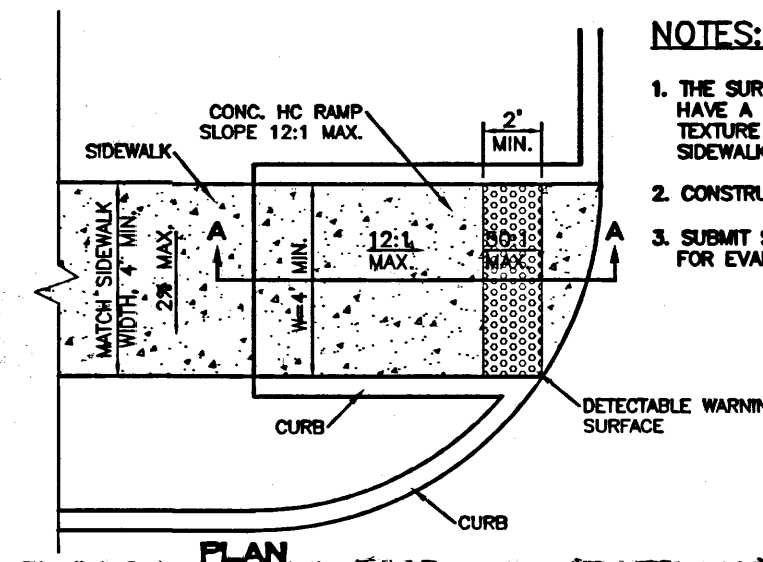


LEGAL DESCRIPTION:  
LOT 1-A, BLOCK 41 SKYLINE HEIGHTS

## LEGEND

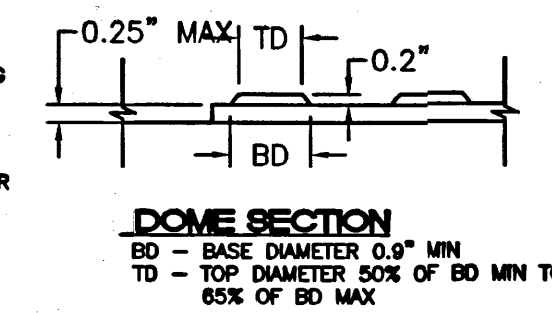
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ADA ACCESSIBLE ROUTE

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

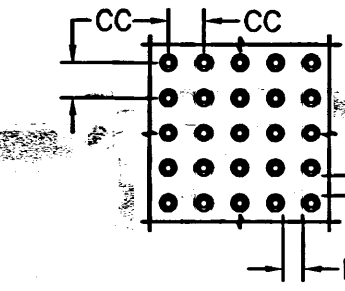


## NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.
3. SUBMIT SPEC'S TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.



DOME SECTION  
BD - BASE DIAMETER 0.6" MIN  
TD - TOP DIAMETER 0.6" MIN TO 0.8" OF BD MAX



DOME SPACING  
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN

## SECTION A-A UNIDIRECTIONAL HC RAMP

NOT TO SCALE

## LOT 1-A-1-A

EXISTING BUILDING:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
15/2 = 7 SPACES

UNION HALL:  
3,500 SF / 200 = 18 SPACES

PARKING PROVIDED:  
25 SPACES  
HANDICAP SPACES REQUIRED: 1  
MOTORCYCLE SPACES REQUIRED: 1

PARKING PROVIDED:  
40 SPACES TOTAL  
STANDARD SPACES PROVIDED: 33  
SMALL CAR SPACES PROVIDED: 2  
HANDICAP SPACES PROVIDED: 2  
MOTORCYCLE SPACES PROVIDED: 2

## LOT 1-A-2-A

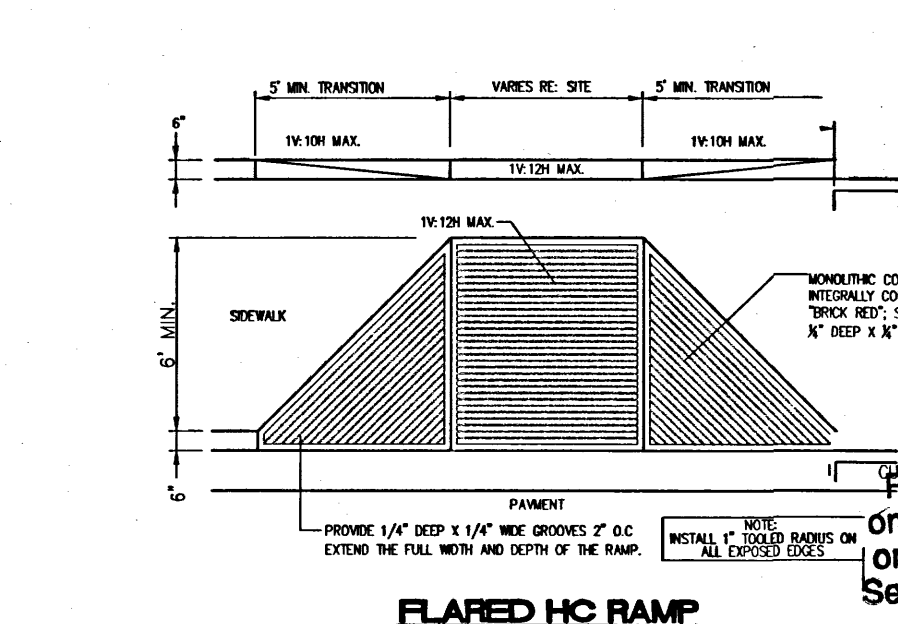
ADMINISTRATION BUILDING OFFICE AREA:  
4,200 SF / 200 = 22 SPACES

ADMINISTRATION BUILDING CLASSROOMS:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
30/2 = 15 SPACES

PARKING PROVIDED:  
37 SPACES  
HANDICAP SPACES REQUIRED: 2  
MOTORCYCLE SPACES REQUIRED: 2

PARKING PROVIDED:  
39 SPACES TOTAL  
STANDARD SPACES PROVIDED: 34  
SMALL CAR SPACES PROVIDED: 2  
HANDICAP SPACES PROVIDED: 3  
MOTORCYCLE SPACES PROVIDED: 3

BICYCLE RACK PROVIDED:  
ONE BICYCLE SPACE PER EACH 20 PARKING SPACES  
77 PARKING SPACES PROVIDED  
62/20 = 4  
BICYCLE SPACES REQUIRED: 4  
BICYCLE SPACES TO BE PROVIDED: 4  
(SEE KEYED NOTE N IN THIS SHEET FOR LOCATION)



## FLARED HC RAMP

NOT TO SCALE

1'-6"x1'-8" GALV. REFLECTIVE PORCELAIN ENAMEL STANDARD "HANDICAP PARKING" SIGN WITH IDENTIFICATION SYMBOL BOLT TO STEEL TUBE WITH 3/8" CADDIUM PLATED BOLTS, NUTS, & WASHERS.

8"x1'-8" GALV. REFLECTIVE PORCELAIN ENAMEL SIGNAGE STATING "VAN ACCESSIBLE" AT VAN SPACES ONLY

2" DIA x 188 GALV. STEEL PIPE

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

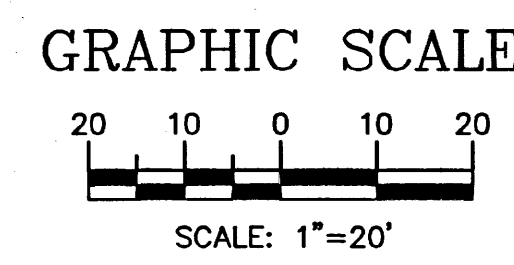
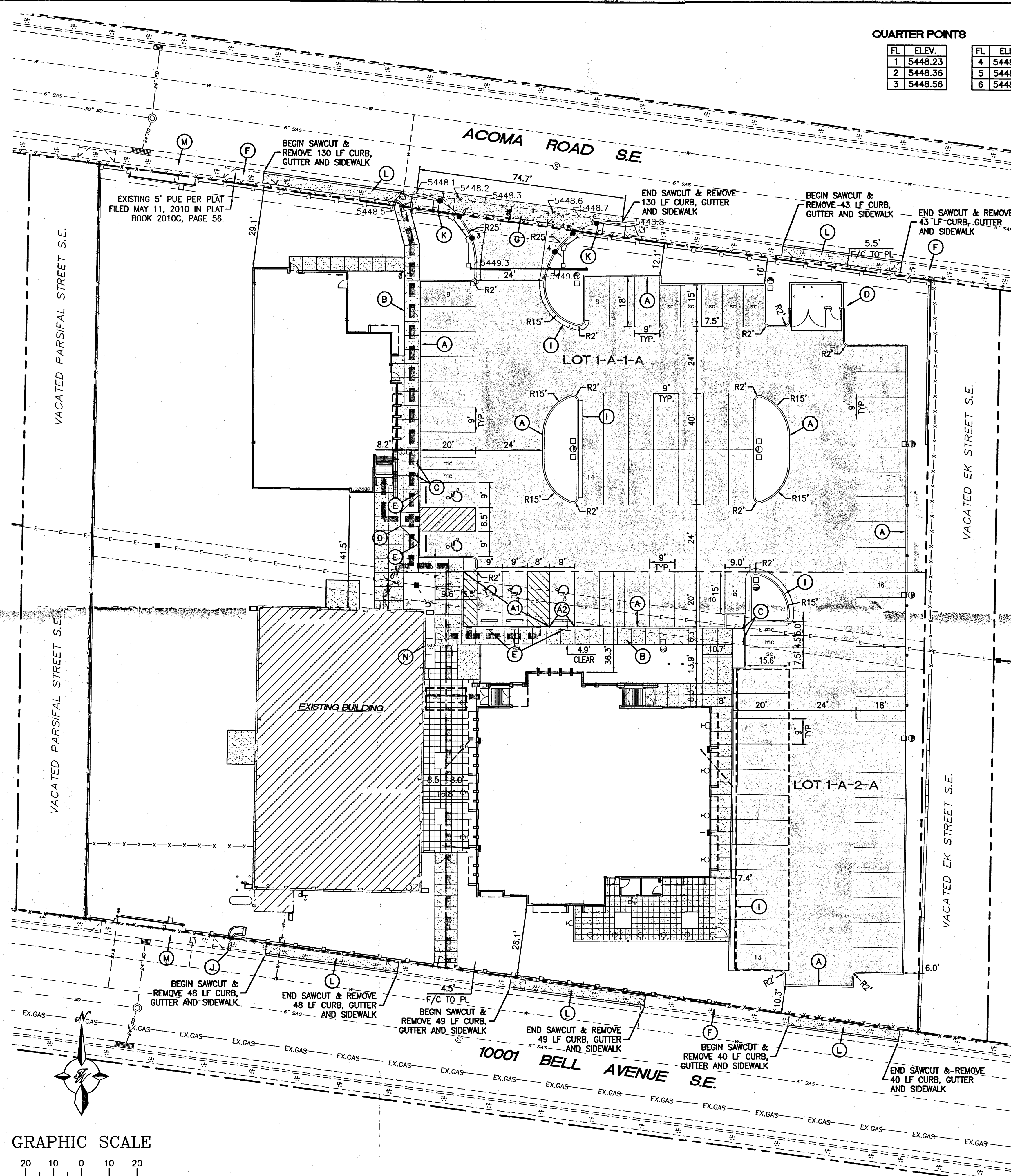
1'-6" DIA. CONC. BASE 3000 PSI

HANDICAP SIGN

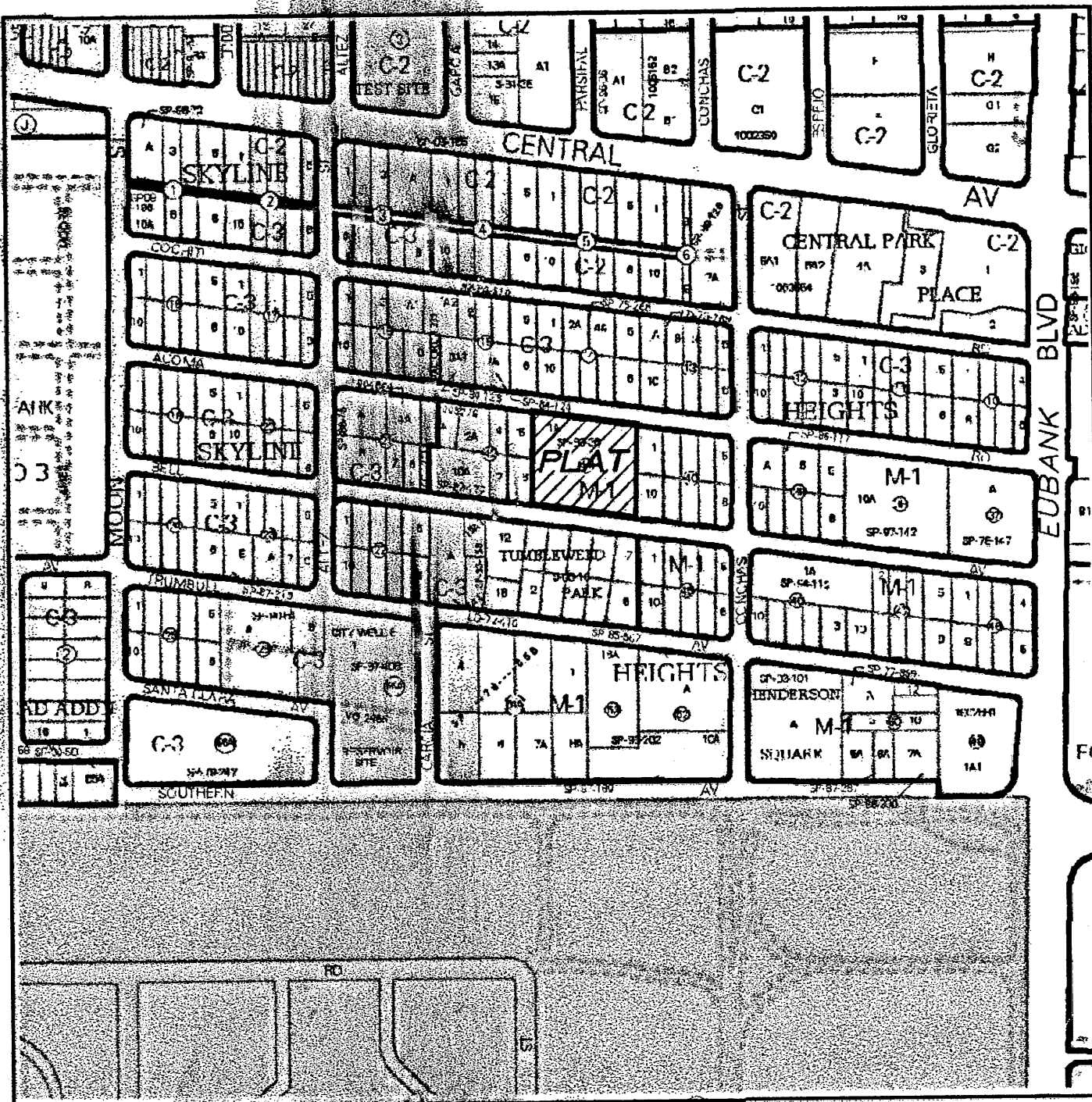
NTS

TRAFFIC CIRCULATION LAYOUT APPROVED  
Signed: [Signature] Date: 03-21-11

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7888	NEW MEXICO LABORER'S TRAINING FACILITY TRAFFIC CIRCULATION LAYOUT TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 tierrewestllc.com	DRAWN BY DY DATE 3/10/11 2954-TCL SHEET # 1 JOB # 29054
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VICINITY MAP  
Not To Scale

#### GENERAL NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone (NAD83)).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis: ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- U.C.L.S. Log Number 2010120871.
- City of Albuquerque Zone Atlas Page: L-20-Z

#### SUBDIVISION DATA

Total number of existing Lots: 1  
Total number of new lots created: 2  
Gross Subdivision acreage: 1.8628 acres.

#### PURPOSE OF PLAT:

The Purpose of this plat is to:

- Divide existing Lot 1-A into two (2) lots as shown hereon.
- Grant additional easements as shown hereon.

#### TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer

#### LEGAL DESCRIPTION

Lot numbered One-A (1-A) in Block numbered Forty-one (41), of SKYLINE HEIGHTS, as the same is shown and designated on the plat entitled, "PLAT OF LOT 1-A, BLOCK 41, SKYLINE HEIGHTS, ALBUQUERQUE, NEW MEXICO, DECEMBER, 1988", filed in the office of the County Clerk of Bernalillo County, New Mexico, on January 27, 1989, in Volume C38, Folio 106.

Said lot contains 1.8628 acres, more or less.

#### FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, PLAT OF LOTS 1-A-1 AND 1-A-2, BLOCK 41, SKYLINE HEIGHTS (BEING A REPLAT OF LOT 1-A, BLOCK 41, SKYLINE HEIGHTS) SITUATE WITHIN SECTION 29, TOWNSHIP 10 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant the public and private easements as shown hereon. Said owner(s) and proprietor(s) do hereby warrant that they hold among them, complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

#### OWNER(S)

The New Mexico Laborers Training and Apprenticeship Trust Fund

By: Ed Sims, *Ed Sims*

By: Eddie Archuleta, *Eddie Archuleta*

#### ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 25<sup>th</sup>  
day of March, 2010, by Ed Sims.

*Paulette Rivera*  
Notary Public

July 5, 2012  
My commission expires

#### ACKNOWLEDGMENT

STATE OF NEW MEXICO  
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 23<sup>rd</sup>  
day of March, 2010, by Eddie Archuleta.

*Charlene Whitener*  
Notary Public

9/19/2013  
My commission expires

#### SURVEYOR'S CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my direct supervision; that it meets the Standards for Land Surveys in the State of New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*Russ P. Hugg*  
NMPs No. 9750  
March 16, 2010

## PLAT OF LOTS 1-A-1 AND 1-A-2, BLOCK 41 SKYLINE HEIGHTS

(BEING A REPLAT OF LOT 1-A, BLOCK 41, SKYLINE HEIGHTS)

#### SITUATE WITHIN

SECTION 29, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

MARCH, 2010

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

#### PLAT APPROVAL

Utility Approvals:

Public Service Company of New Mexico (PNM)

Date

*M. J. [Signature]*  
New Mexico Gas Company (NMGC)

3-19-2010  
Date

QWest Corporation

Date

Comcast

Date

City Approvals:

*[Signature]*  
City Surveyor  
Department of Municipal Development

3-30-10  
Date

Real Property Division

Date

Environmental Health Department

Date

Traffic Engineering, Transportation Division

Date

A.B.C.W.U.A.

Date

Parks and Recreation Department

Date

AMAFCA

Date

City Engineer

Date

DRB Chairperson, Planning Department

Date

SHEET 1 OF 2

**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3366  
Fax: 505-897-3377

Albuquerque Control Survey Monument "S-K20"  
New Mexico State Plane Coordinates, Central  
Zone (NAD83) as published:  
Y= 1,482,001.249  
X= 1,553,259.584  
Ground to grid factor= 0.999652832  
Delta Alpha = -00'10"02.59"  
Elevation= 5429.995 (NAVD88)

NOTE:

A Private Access, Parking and Cross Lot Drainage  
Easement for the benefit of Lots 1-A-1 and 1-A-2  
is hereby granted by this plat. Maintenance of said  
easement will be the responsibility of the respective  
owners of Lots 1-A-1 and 1-A-2.

PLAT OF  
LOTS 1-A-1 AND 1-A-2, BLOCK 41  
SKYLINE HEIGHTS

(BEING A REPLAT OF LOT 1-A, BLOCK 41, SKYLINE HEIGHTS)

SITUATE WITHIN

SECTION 29, TOWNSHIP 10 NORTH, RANGE 4 EAST  
NEW MEXICO PRINCIPAL MERIDIAN

CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2010

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the  
common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico  
corporation, (PNM Electric) for installation, maintenance, and  
service of overhead and underground electrical lines,  
transformers, and other equipment and related facilities  
reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and  
service of natural gas lines, valves and other equipment and  
facilities reasonably necessary to provide natural gas.
- Qwest for the installation, maintenance, and service of such  
lines, cable, and other related equipment and facilities  
reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of  
such lines, cable, and other related equipment and facilities  
reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct,  
locate, relocate, change, remove, replace, modify, renew, operate  
and maintain facilities for purposes described above, together with  
free access to, from, and over said easements, with the right and  
privilege of going upon, over and across adjoining lands of  
Grantor for the purposes set forth herein and with the right to  
utilize the right of way and easement to extend services to  
customers of Grantee, including sufficient working area space for  
electric transformers, with the right and privilege to trim and  
remove trees, shrubs or bushes which interfere with the purposes  
set forth herein. No building, sign, pool (aboveground or  
subsurface), hot tub, concrete or wood pool decking, or other  
structure shall be erected or constructed on said easements, nor  
shall any well be drilled or operated thereon. Property owners  
shall be solely responsible for correcting any violations of  
National Electrical Safety Code by construction of pools, decking,  
or any structures adjacent to or near easements shown on this plat.

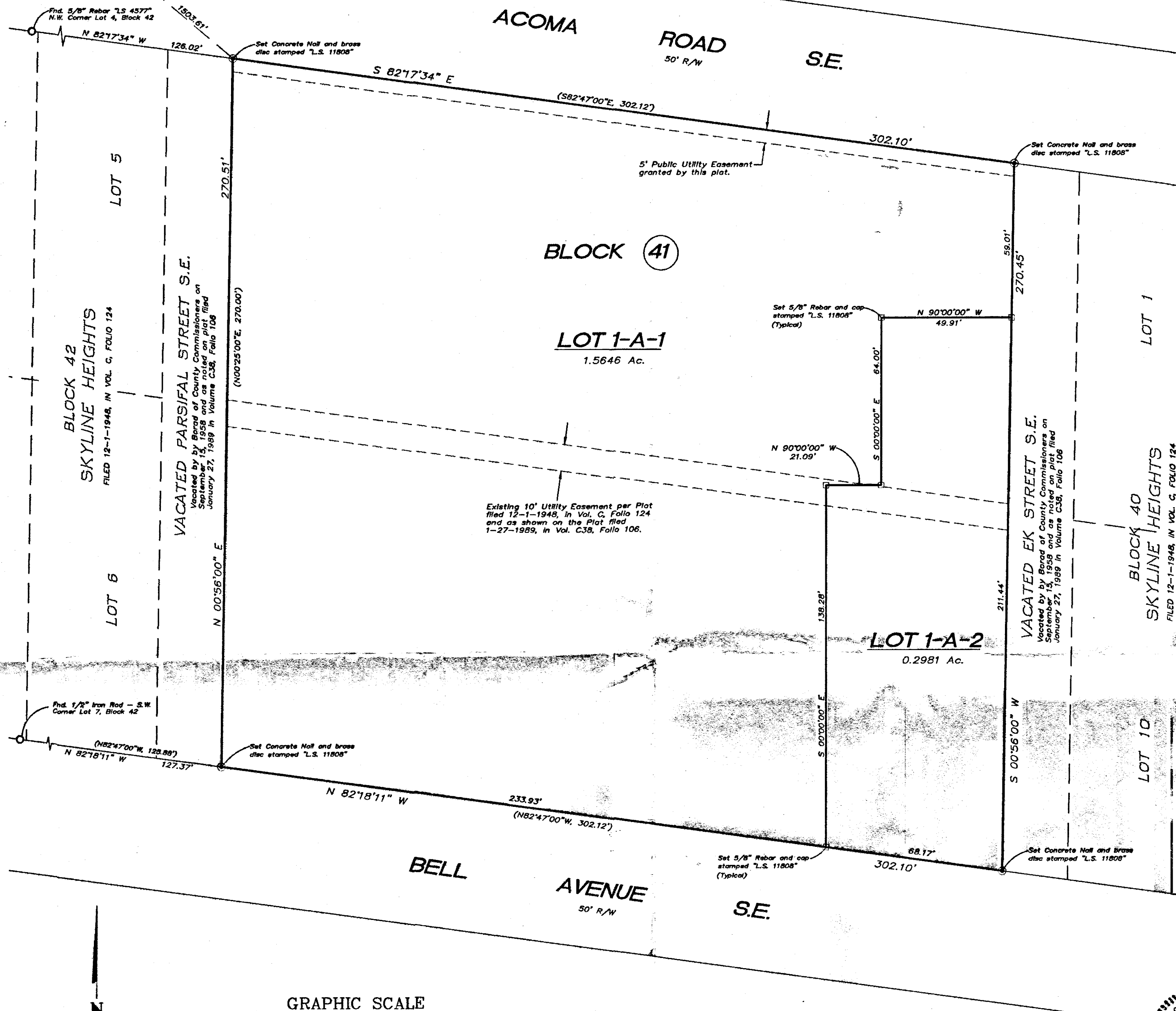
Easements for electric transformer/switchgears, as installed, shall  
extend ten (10) feet in front of transformer/switchgear doors and  
five (5) feet on each side.

DISCLAIMER

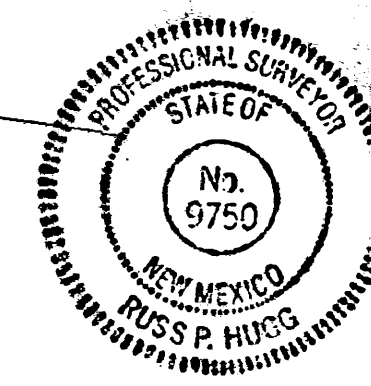
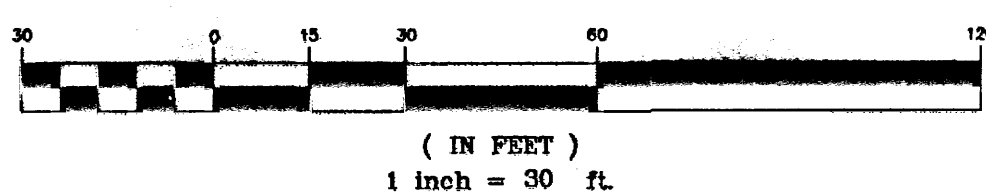
In approving this plat, Public Service Company of New Mexico (PNM)  
and New Mexico Gas Company (NMGC) did not conduct a Title Search of  
the properties shown hereon. Consequently, PNM and NMGC do not  
waive or release any easement or easement rights which may have  
been granted by prior plat, replat or other document and which are  
not shown on this plat.

SOLAR NOTE:

No property within the area of this plat shall at any time be subject  
to a deed restriction, covenant, or binding agreement prohibiting solar  
collectors from being installed on buildings or erected on lots or  
parcels within the area of proposed plat. The foregoing requirement  
shall be a condition to approval of this plat.



GRAPHIC SCALE



SHEET 2 OF 2

**SURV TEK, INC.**

Consulting Surveyors  
9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
Phone: 505-897-3388  
Fax: 505-897-3377

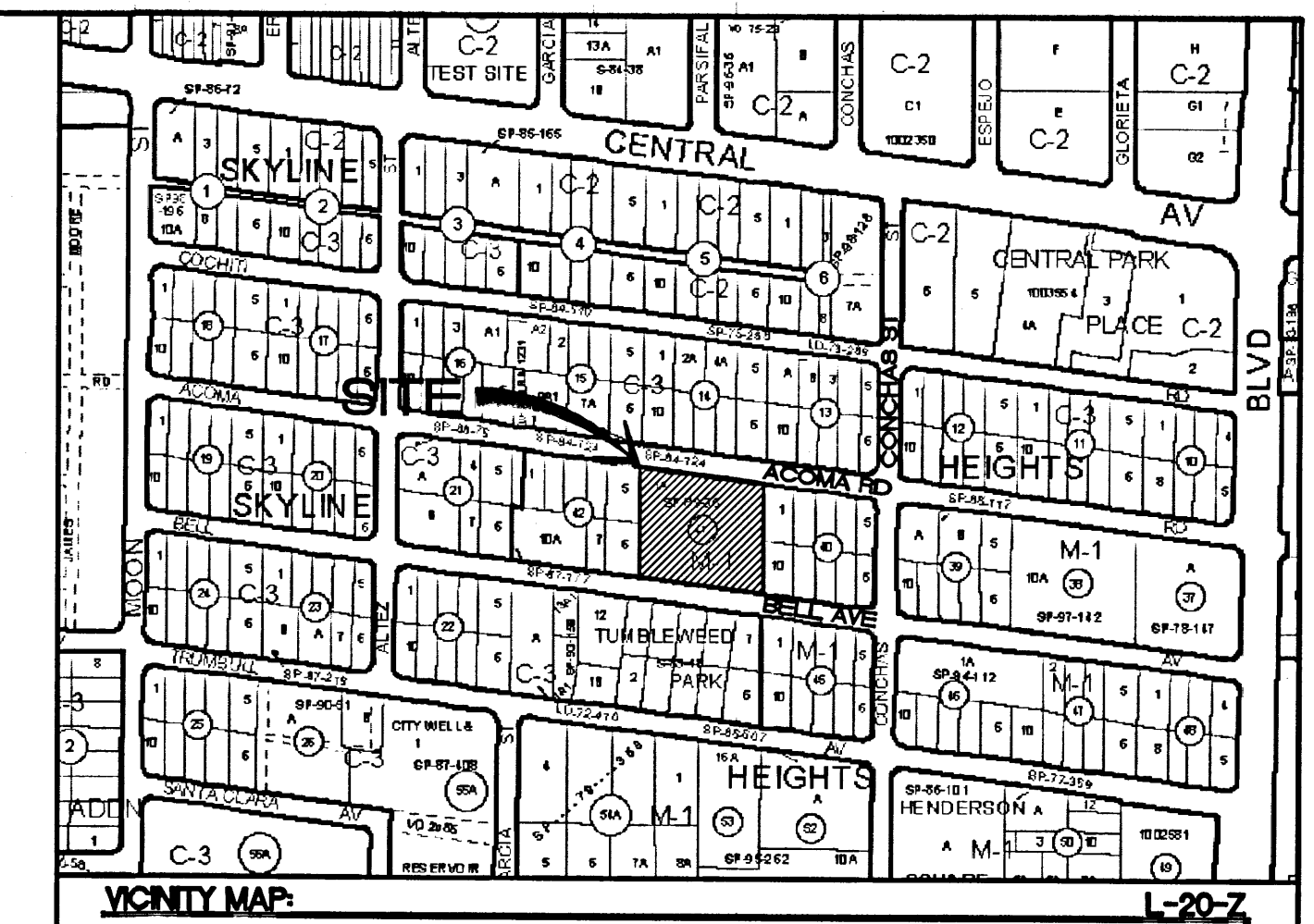


# QUARTER POINTS

FL	ELEV.	FL	ELEV.
1	5448.23	4	5448.94
2	5448.36	5	5448.79
3	5448.56	6	5448.77

# KEYED NOTE:

- (A) HEADER CURB PER COA STD DWG #2415B
- (A1) 0" CURB FACE
- (A2) 6" TO 0" CURB TRANSITION
- (B) NEW CONCRETE SIDEWALK
- (C) MOTORCYCLE SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- (D) TRASH ENCLOSURE PER COA SPECIFICATIONS
- (E) HANDICAP PARKING SIGN PER COA SPECIFICATIONS (SEE DETAIL THIS SHEET)
- (F) EXIST. SIDEWALK TO REMAIN
- (G) 6" VALLEY GUTTER PER COA STD DWG #2420
- (H) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET 5
- (I) CURB AND GUTTER
- (J) 12" WIDE SIDEWALK CULVERT PER COA STD DWG #2236, IE=5449.36. SEE GRADING PLAN FOR S019 PERMIT REQUIREMENTS.
- (K) NEW ENTRANCE WITH UNIDIRECTIONAL HC RAMP PER COA STD DWG #2426 12:1 MAX SLOPE W/ TRUNCATED DOMES PER DETAIL THIS SHEET
- (L) NEW CURB & GUTTER PER COA STD DWG #2415A, NEW SIDEWALK (MATCH EXIST. WIDTH & ELEVATION).
- (M) EXIST. DRIVEWAY CUT TO REMAIN FOR SERVICE ENTRANCE
- (N) BICYCLE RACK, SEE ARCHITECTURAL PLANS FOR DETAILS



# LEGAL DESCRIPTION:

LOT 1-A, BLOCK 41 SKYLINE HEIGHTS

# LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- ADA ACCESSIBLE ROUTE

1'-6"x1'x18" GA. REFLECTIVE PORCELAIN ENAMEL STANDARD "HANDICAP PARKING" SIGN WITH IDENTIFICATION SYMBOL BOLT TO STEEL TUBE WITH 3/8" CADDIUM PLATED BOLTS, NUTS, & WASHERS.

8"x1'x18" GA. REFLECTIVE PORCELAIN ENAMEL SIGNAGE STATING "VAN ACCESSIBLE" AT VAN SPACES ONLY

2" DIA. x 188 GALV. STEEL PIPE

WHEN SIGN IS IN PAVED AREAS, USE 4" PIPE BOLLARD FILLED W/ CONCRETE AND PAINTED TRAFFIC YELLOW

1'-6" DIA. CONC. BASE 3000 PSI

# HANDICAP SIGN

NTS

# MOTORCYCLE PARKING SIGN

NTS

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

# NOTES:

- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.
- SUBMIT SPEC'S TO CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

TRAFFIC CIRCULATION LAYOUT APPROVED  
Signed: [Signature] 05/05/10  
Date

DOME SECTION  
BD - BASE DIAMETER 0.8" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

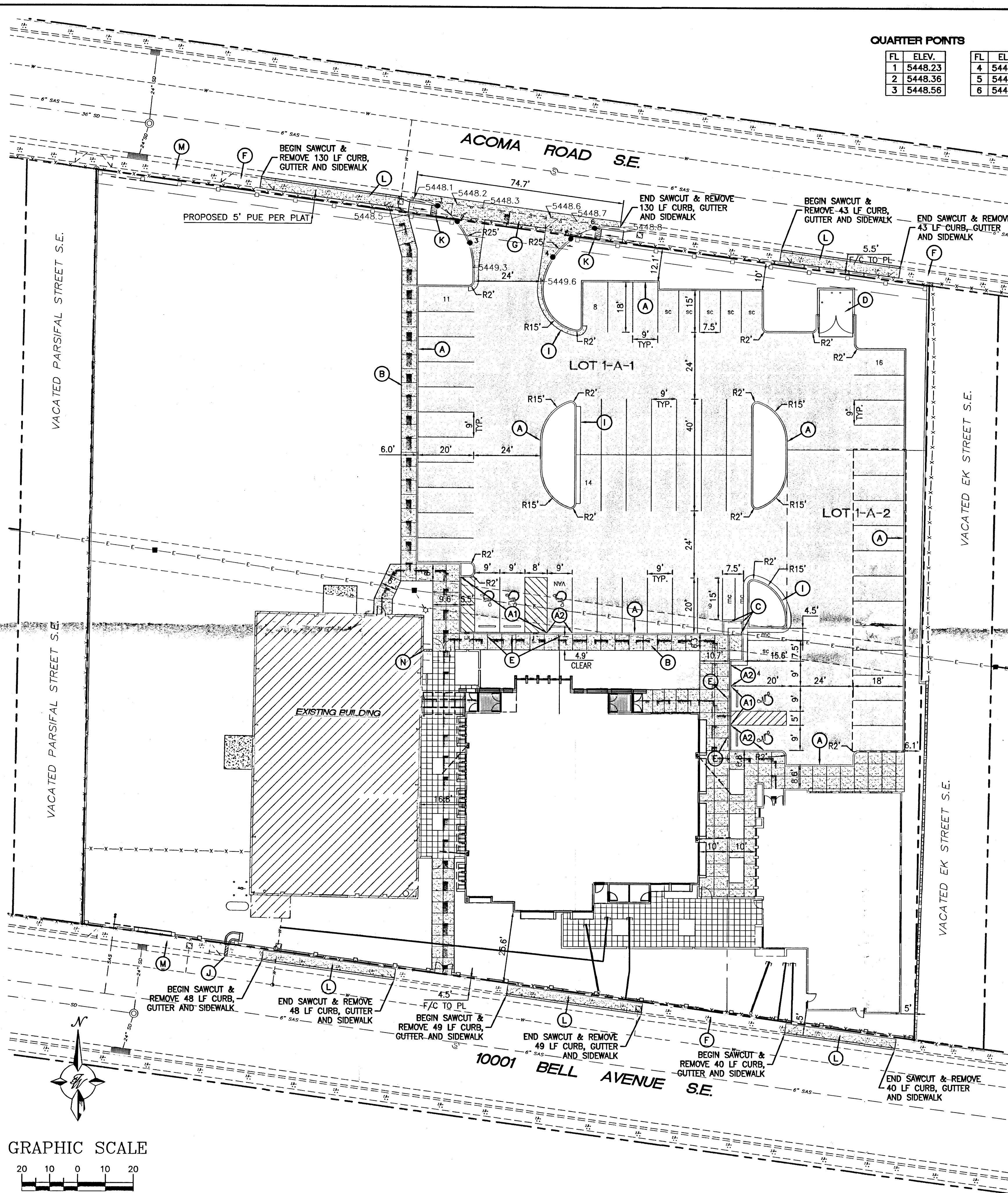
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRG/Permit approval and Work Order required.

# RECEIVED

MAY 05 2010  
HYDROLOGY SECTION

DOME SPACING  
CC - CENTER TO CENTER SPACING 2.35'  
BB - BASE TO BASE SPACING 1.48" MIN

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	LABORER'S UNION 10001 BELL AVE TRAFFIC CIRCULATION LAYOUT TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 terrawestllc.com	DRAWN BY DY DATE 4/22/10 2954-TCL SHEET # 1 JOB # 29054
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EXISTING BUILDING:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
15/2 = 7 SPACES

OFFICE AREA:  
4,209 SF / 200 = 22 SPACES

UNION HALL:  
3,508 SF / 200 = 18 SPACES

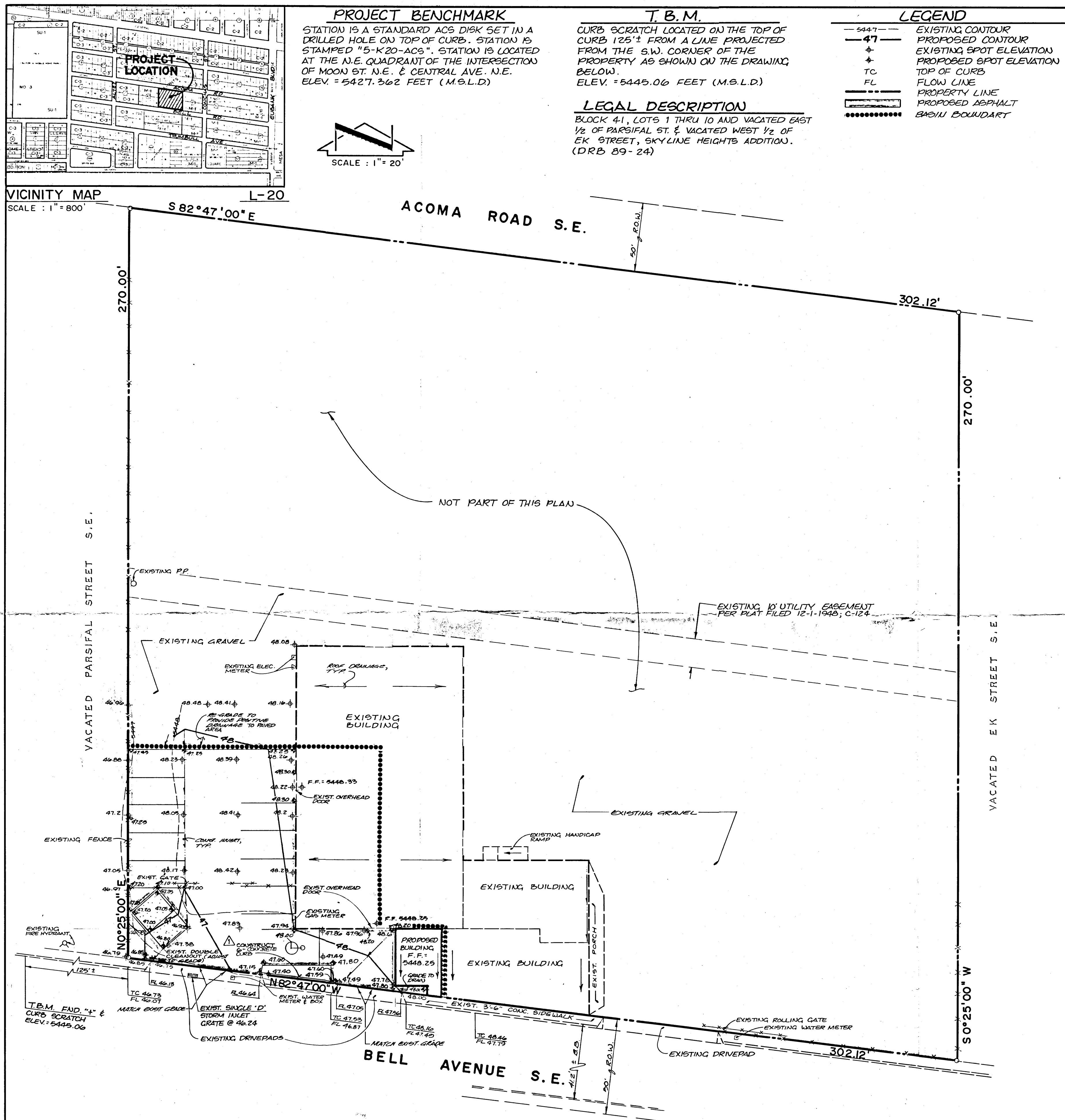
CLASSROOMS:  
(1) SPACE PER EVERY (2) STUDENTS AND EMPLOYEE STATION  
30/2 = 15 SPACES

PARKING REQUIRED:  
62 SPACES  
HANDICAP SPACES REQUIRED: 3  
MOTORCYCLE SPACES REQUIRED: 3

PARKING PROVIDED:  
62 SPACES TOTAL  
STANDARD SPACES PROVIDED: 51  
SMALL CAR SPACES PROVIDED: 6  
HANDICAP SPACES PROVIDED: 5  
MOTORCYCLE SPACES PROVIDED: 3

BICYCLE RACK PROVIDED:  
ONE BICYCLE SPACE PER EACH 20 PARKING SPACES  
62 PARKING SPACES PROVIDED:  
62/20 = 4  
BICYCLE SPACES REQUIRED: 4  
BICYCLE SPACES TO BE PROVIDED: 4  
(SEE KEYED NOTE IN THIS SHEET FOR LOCATION)





# **DRAINAGE PLAN**

The following items concerning the Miller Van Lines Grading and Drainage Plan are contained hereon:

1. Vicinity Map
2. Grading Plan
3. Calculations

The proposed improvements, as shown by the Vicinity Map, are located on the north side of Bell Avenue S.E. between Altez Street S.E. and Conchas Street S.E. At present, the site is developed commercially. Much of the surrounding area is also developed commercially, thereby making this a modification to an existing site within an infill area. As shown by Plate L-20 of the Albuquerque Master Drainage Study, this site does not lie within a designated flood hazard zone, however, downstream flooding is identified within Moon Street N.E. approximately 1.5 blocks to the west of the site. At present, the site drains from east to west onto the existing vacated Parsifal Street S.E. with a small portion draining onto Bell Avenue S.E. From that point, runoff flows west along the north edge of Bell Avenue S.E. to existing storm drain inlets located at the intersection of Bell Avenue S.E. and Altez Street S.E. where existing storm inlets remove runoff from the street. Bell Avenue S.E. and Acoma Road S.W. are fully developed public streets, which for the most part, are topographically lower than the project site. Because of this, offsite flows are not anticipated from the streets. The site to the west is also topographically lower than the site, therefore, no offsite flows are anticipated. No offsite flows are anticipated from the east because the existing building routes runoff away from the project site.

The Grading Plan shows 1) existing and proposed grades indicated by spot elevations and contours at 1'0" intervals, 2) continuity between existing and proposed grades, 3) the limit and character of the existing improvements, and 4) the limit and character of the proposed improvements. As shown by this plan, the proposed improvements consist of the construction of an addition to the existing building, along with adjacent paving and landscaping. Runoff generated by the proposed improvements will be routed from north to south onto Bell Avenue S.E. via the existing driveways. From that point, the runoff will flow west to the intersection of Bell Avenue S.E. and Altez Avenue S.E. Based upon the fact that the site is an infill area, the proximity of downstream facilities, the elimination of runoff discharged onto the adjacent site, and the minor increase in runoff, the free discharge of runoff from this site is appropriate.

The Calculations which appear hereon analyze both the existing and developed conditions for the 100-year, 6-hour rainfall event. The Rational Method has been used to quantify the peak rate of discharge and the SCS Method has been used to quantify the volume of runoff. Both Methods have been used in accordance with the City of Albuquerque Development Process Manual, Volume II, and the Mayor's Emergency Rule adopted January 14, 1986. As shown by these calculations, the proposed improvements will increase the total discharge from this site by approximately 0.04 cfs.

## **CALCULATIONS**

### **Ground Cover Information**

From SCS Bernalillo County Soil Survey,  
Plate 32: EMB - Embudo gravelly fine sandy loam  
Hydrologic Soil Group: B  
Existing Pervious CN = 70 (DPM Plate 22.2 C-2)  
Pasture or Range Land: fair condition  
Developed Pervious CN = 61 (DPM Plate 22.2 C-2)

### **Time of Concentration/Time to Peak**

$T_c = 0.0078 L^{0.77} / S^{0.385}$  (Kirpich Equation)

$T_p = T_c = 10$  min.

### **Point Rainfall**

$P_6 = 2.4$  in. (DPM Plate 22.2 D-1)

### **Rational Method**

Discharge:  $Q = C i A$

where C varies  
 $i = P_6 (6.84) T_c^{-0.51} \approx 5.07$  in/hr  
 $P_6 = 2.4$  in (DPM Plate 22.2D-1)  
 $T_c = 10$  min (minimum)  
 $A =$  area, acres

### **SCS Method**

Volume:  $V = 3630(DRO) A$

Where DRO = Direct runoff in inches  
 $A =$  area, acres

### **Existing Condition**

$A_{total} = 7,970$  sf = 0.18 Ac  
Roof area = 1,950 sf (0.24)  
Gravel area = 6,020 sf (0.76)  
 $C = 0.87$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = C i A = (0.87) (5.07) (0.18) = 0.8$  cfs  
 $A_{imp} = 1,950$  sf; % impervious = 24 %  
Composite CN = 70 (DPM Plate 22.2 C-3)  
DRO = 0.45 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO) A = 294$  cf

### **Developed Condition**

$A_{total} = 7,970$  sf = 0.18 Ac  
Roof area = 2,310 sf (0.29)  
Paved area = 5,450 sf (0.68)  
Landscaped area = 210 sf (0.03)  
 $C = 0.92$  (Weighted average per Emergency Rule, 1/14/86)  
 $Q_{100} = C i A = (0.92) (5.07) (0.18) = 0.8$  cfs  
 $A_{imp} = 7,760$  sf; % impervious = 97 %  
Composite CN = 97 (DPM Plate 22.2 C-3)  
DRO = 2.1 in (DPM Plate 22.2 C-4)  
 $V_{100} = 3630 (DRO) A = 1,370$  cf

### **Comparison**

$\Delta Q_{100} = 0.84 - 0.8 = 0.04$  cfs (increase)  
 $\Delta V_{100} = 1,370 - 294 = 1,076$  cf (increase)

## **CONSTRUCTION NOTES:**

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 765-1234, FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THEREON, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

## **EROSION CONTROL MEASURES**

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.



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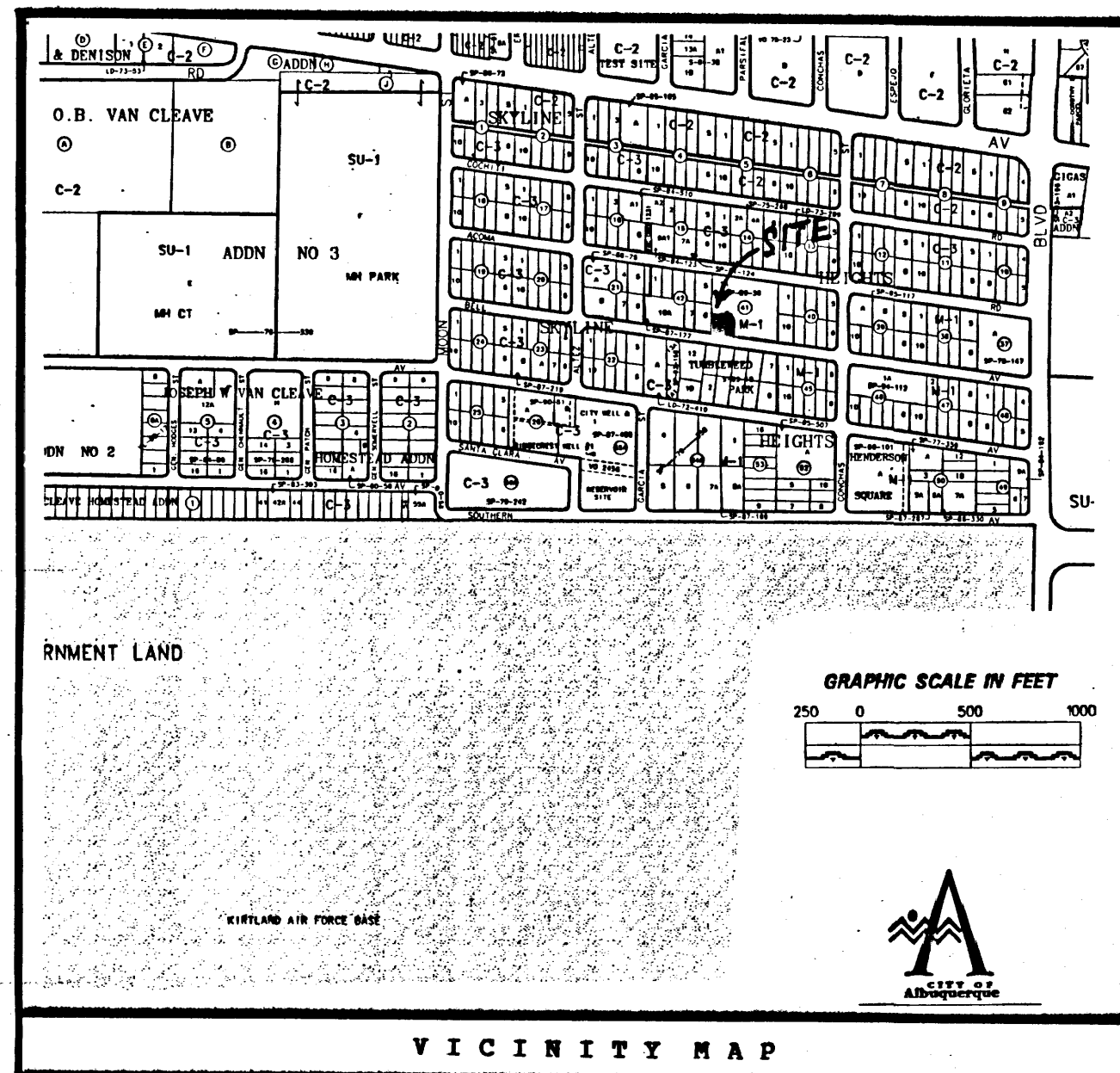


JEFF MORTENSEN & ASSOCIATES, INC.  
811 DALLAS, N.E. - ALBUQUERQUE, N.M. 87110  
ENGINEERS & TELEPHONE (505) 265-5611

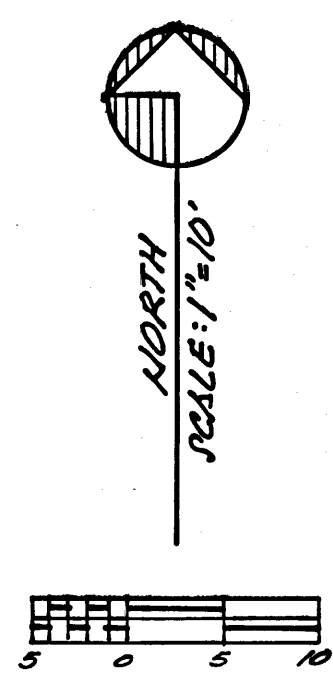
## **GRADING AND DRAINAGE PLAN MILLER VAN LINES**

DESIGN BY	L.P.U.	No.	Date	By	Revision	JOB NO.
DRAWN BY	S.G.H.	1	2/89	L.P.U.	RELOCATE 6" CURB	880334
APPROVED BY	J.G.M.					DATE
						1 - 89
						SHEET
						1 OF 1





L-20-Z



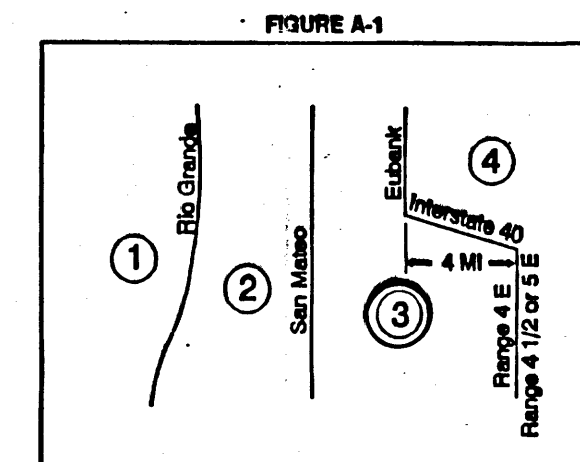
Zone	Intensity	100-YR [2-YR, 10-YR]
1	4.70	[1.84, 3.14]
2	8.05	[2.04, 3.41]
3	6.38	[2.21, 3.95]
4	6.81	[2.34, 3.83]

Zone	Treatment				100-YR [2-YR, 10-YR]
	A	B	C	D	
1	1.29 [0.00, 0.24]	2.00 [0.03, 0.78]	2.87 [0.47, 1.49]	4.37 [1.85, 2.89]	
2	1.58 [0.00, 0.38]	2.29 [0.08, 0.95]	3.14 [0.80, 1.71]	4.70 [1.86, 3.14]	
3	1.87 [0.00, 0.58]	2.80 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]	
4	2.20 [0.05, 0.87]	3.73 [0.58, 1.48]	5.25 [1.00, 2.28]	6.81 [2.17, 3.57]	

#### A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40



DPM SECTION 22.2 - HYDROLOGY  
January, 1993 Page A-4

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unfired arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

#### LEGEND:

EXISTING TOP OF CURB ELEVATION = 70.86.84  
EXISTING CURB FLOW LINE ELEVATION = 65.70  
EXISTING SPOT ELEVATION = 67.2  
EXISTING CONTOUR = 67.0  
PROPOSED SPOT ELEVATION = 67.5  
PROPOSED CONTOUR = 68.0  
EXISTING FENCE LINE =

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT FOR STORM RUN-OFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTIES.
- 2.) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREETS.
- 3.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

#### CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 200-1990 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

#### PROJECT BENCH MARK:

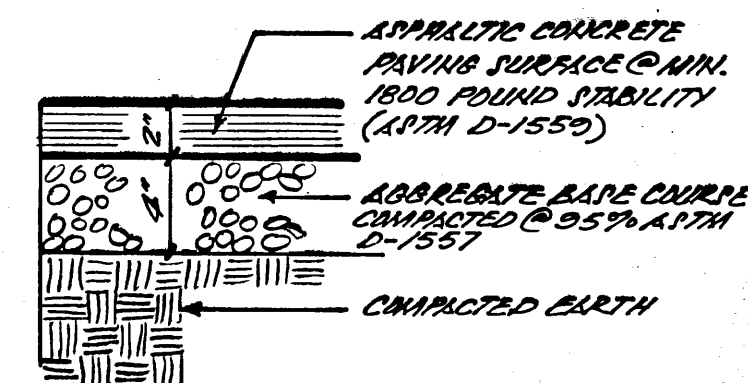
STATION IS A STANDARD ACS DISK SET AT TOP OF CURB AT THE NORTHEAST CORNER OF THE INTERSECTION OF MOON STREET N.E. AND CENTRAL AVENUE; "ACS STATION '5-K20' ", M.S.L.D. ELEVATION = 5427.362.

#### PROJECT T.B.M.:

A CROSS "X" MARK LOCATED AT TOP OF CURB OPPOSITE THE SOUTHWEST PROPERTY CORNER OF THE SUBJECT SITE, M.S.L.D. ELEVATION = 5446.73.

#### LEGAL DESCRIPTION:

BLOCK 41, LOTS ONE (1) THRU TEN (10), AND VACATED EAST 1/2 OF PARISAL STREET S.E. AND WEST 1/2 OF EX STREET S.E., SKYLINE HEIGHTS ADDITION, (BEING A SOUTHWESTERLY PORTION THEREOF); (DRB CASE NO. 89-24).



TYPICAL PAVEMENT SECTION

#### DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE PLAN HEREON, THE SUBJECT SITE IS LOCATED ON THE NORTH SIDE OF BELL AVENUE S.E. BETWEEN ALTEZ STREET S.E. AND CONCHAS STREET S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1.) CONSISTS OF A DIRT SURFACED AREA THAT IS TO BE PAVED, 2.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 358 OF 825), 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 5.) WILL HAVE NO ADVERSE AFFECT TO DOWNSTREAM PROPERTIES WITH THE FREE DISCHARGE OF THE PROPOSED FLOWS.

#### CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED JANUARY 1993.

PROJECT SITE AREA: 2,616.0 SQUARE FEET ( 0.06 ACRE ).

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: 5.38

#### EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.06	X 3.45	= 0.21
"Q <sub>p</sub> " = 0.21 CFS			

#### PROPOSED PAVED CONDITIONS:

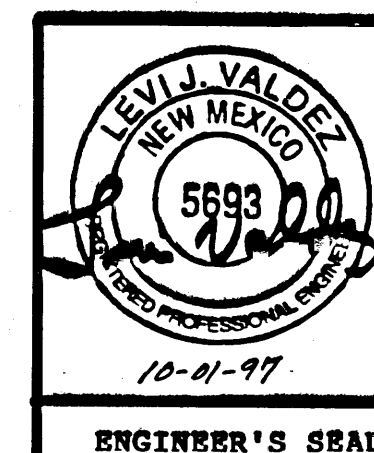
TREATMENT	AREA/ACRES	FACTOR	CFS
D	0.06	X 5.02	= 0.30
"Q <sub>p</sub> " = 0.30 CFS			

\*\*\* INCREASE = 0.09 CFS

#### GENERAL NOTES:

- 1.) TOPOGRAPHY SURVEY INFORMATION PROVIDED BY TORRES SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT PROPERTY OTHER THAN MAY BE SHOWN ON THE PLAN HEREON.
- 3.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY FOR THIS PROPOSED GRADING AND PAVING PLAN.

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HYDROLOGY SECTION



A PROPOSED GRADING & PAVING PLAN  
FOR  
MILLER VAN LINES  
(10,000 BELL AVE. S.E.)  
ALBUQUERQUE, NEW MEXICO  
SEPTEMBER, 1997