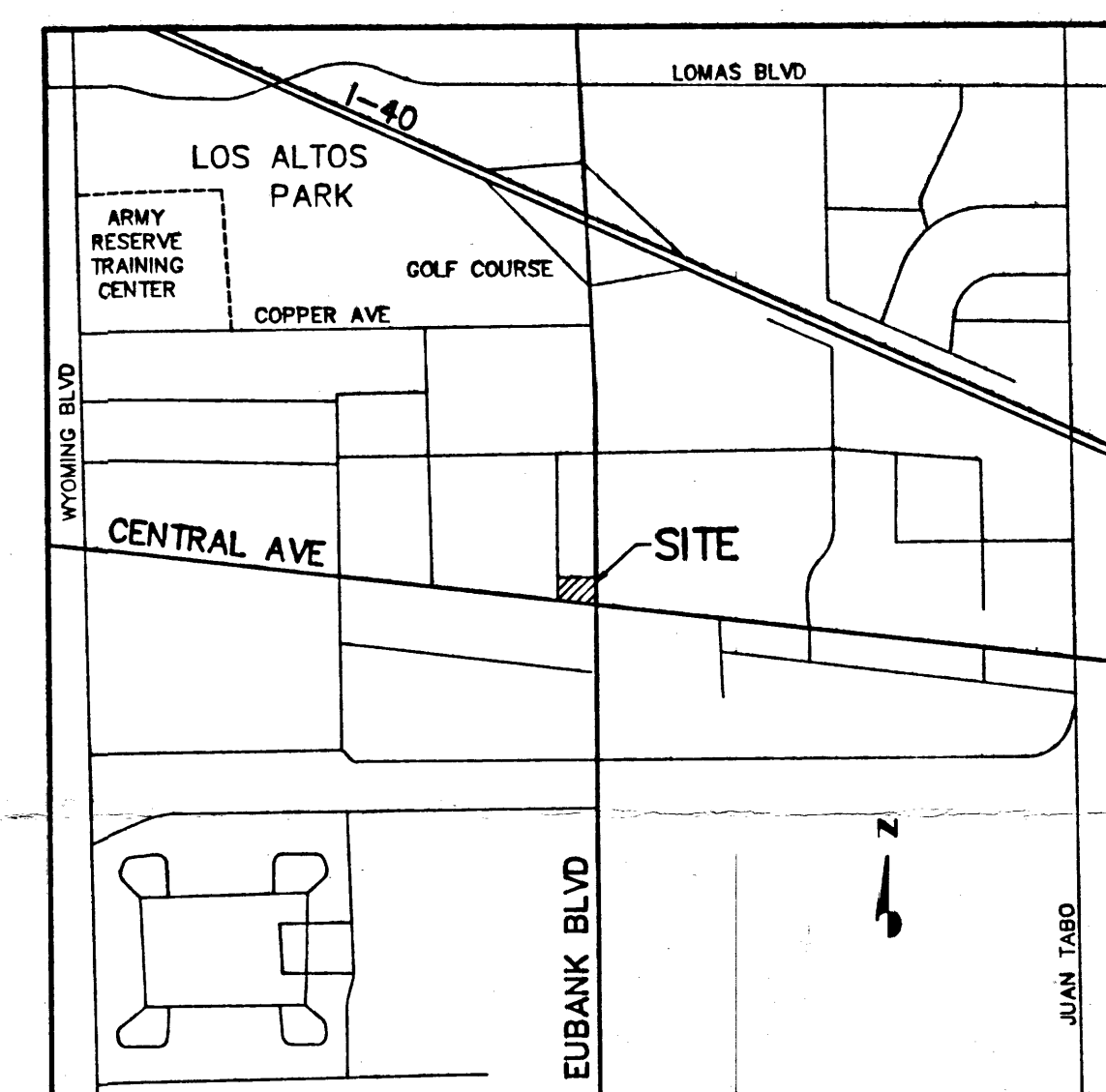
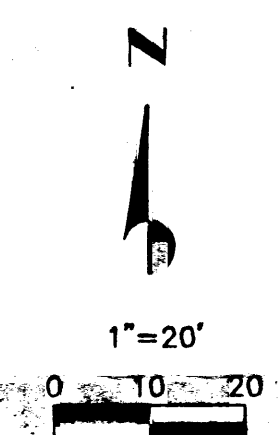
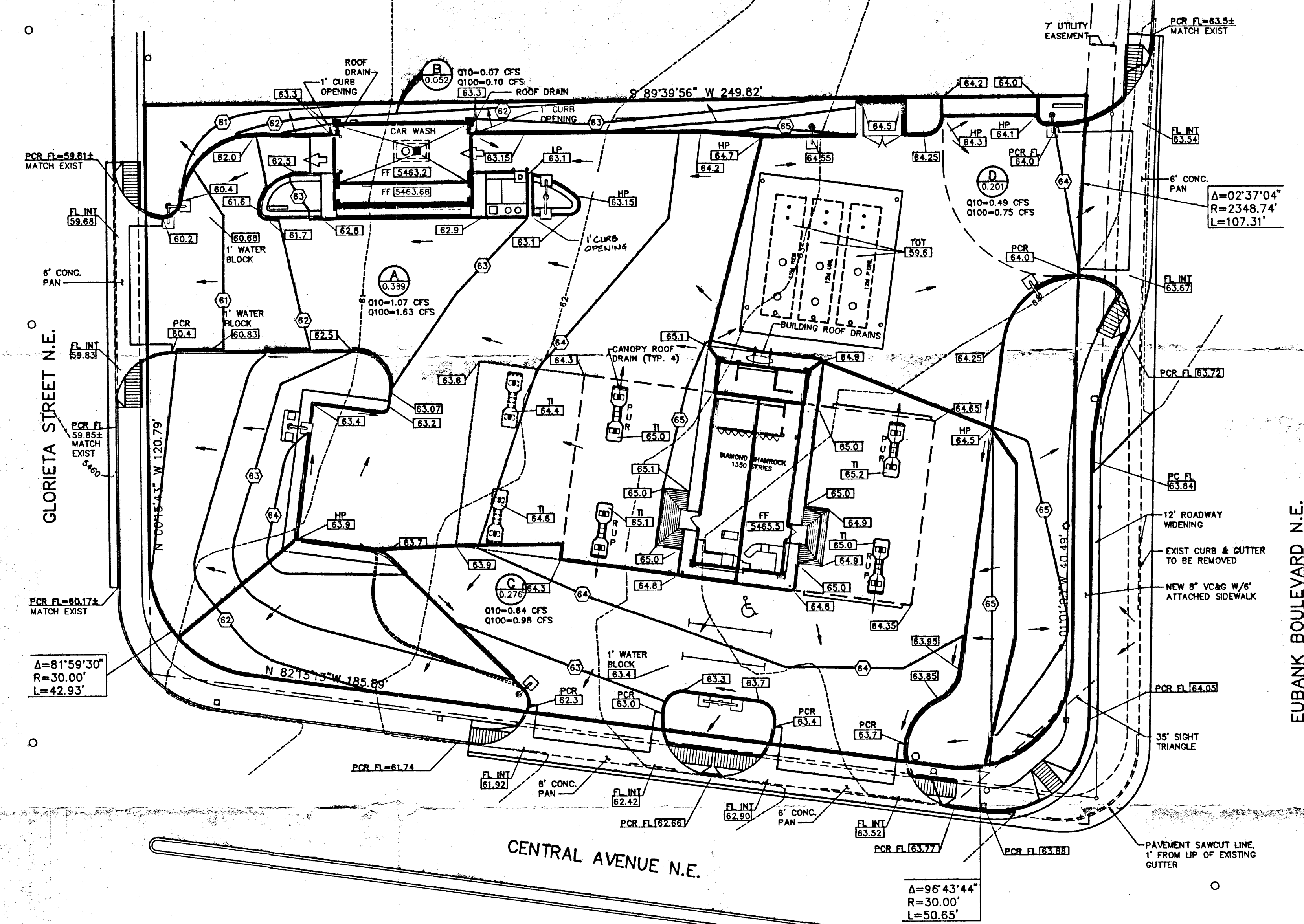




VICINITY MAP
SCALE: 1"=2000'



- LEGEND**
- 64 — PROPOSED CONTOUR
 - - - 64 - - - EXISTING CONTOUR
 - 64.0 PROPOSED SPOT ELEVATION
 - 64.0 EXISTING SPOT ELEVATION
 - A BASIN DESIGNATION
 - 0.00 BASIN AREA IN ACRES
 - △ DESIGN POINT
 - Q10 10 YEAR RUNOFF IN CFS
 - Q100 100 YEAR RUNOFF IN CFS
 - DRAINAGE BASIN BOUNDARY LINE
 - FLOW ARROW
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - TI TOP OF ISLAND
 - TOT TOP OF TANK
 - HP HIGH POINT
 - LP LOW POINT

BENCHMARK
STATION 5+21 (R), ELEVATION = 5486.535

SITE DEVELOPER - MR. JIM REED
DIAMOND SHAMROCK
9702 BROCKBANK
DALLAS, TX 75220
(214) 357-7386

REVISIONS		Des. By	Dm. By	Date
No.	Description			
1	REVISED PER CITY COMMENTS	DLJ	CJH	9/24/91

**DIAMOND SHAMROCK**
9830 COLONNADE BLVD.,
SAN ANTONIO, TEXAS 78230

**Galloway, Romero & Associates**
Design Engineering Planning
14202 East Evans Avenue
Aurora, Colorado 80014
Tel. (303) 745-7446
Fax. (303) 745-7480



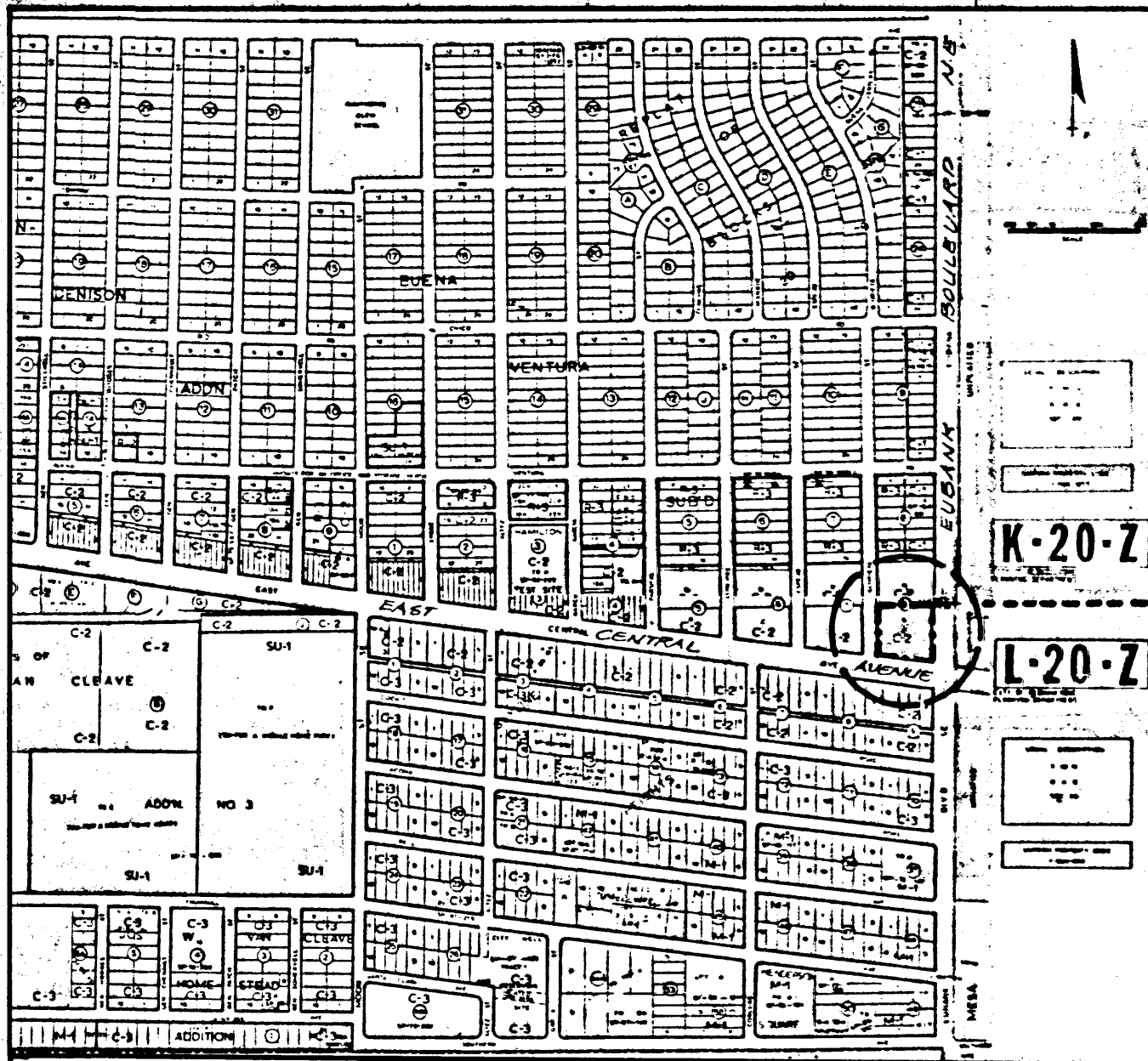
GRADING & DRAINAGE PLAN

CENTRAL AVENUE N.E. &
EUBANK BOULEVARD N.E.
ALBUQUERQUE, NEW MEXICO

Designed By: DWG Date: APRIL, 1991
Drawn By: CJH Scale: 1"=20'
Checked By: DWG Disk File: DSEUBCEN

SEP 25 1991
2 OF 2

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VICINITY MAP

SUBDIVISION DATA

Case No. 91-162
 Zone Atlas Index No. K-L 120
 Gross Subdivision Acreage 1.4752
 Total No. of Lots Created 2
 Total Mileage of Full-Width Streets Created 0
 Date of Survey May 1991

Portions of Lot G is due to the right of way taking along Eubank Blvd. N.E.

Lots G-1 and G-2 subject to cross access easement and is for the benefit and use and is to be maintained by said lots.

GENERAL NOTES

- 1) Bearings based on N.M. State Plane Grid, Central Zone.
- 2) Bearings and distances in parenthesis, (), per plat of BUENA VENTURA, filed September 11, 1941 in Volume C1, folio 8.
- 3) All corners identified as "set" are set with 1/2" rebar/cap stamped L.S. 6446.
- 4) Plat shows all easements of record.

DISCLOSURE STATEMENT - The purpose of this replat is to divide One (1) existing lot into Two (2) new lots.

Prior to development, City of Albuquerque Water and Sanitary Sewer Services to Lots G-1 & G-2 must be verified and coordinated with the Public Works Department, City of Albuquerque, via a request for a water and sanitary sewer availability statement.

CURVE TABLE

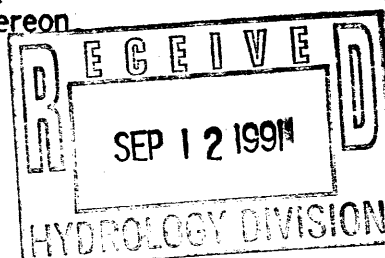
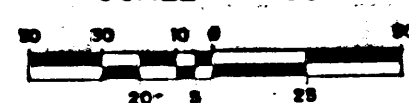
CURVE NUMBER	DELTA	RADIUS	ARC	TANGENT	CHORD
C-1	96° 43' 44"	30.00'	50.65'	33.75'	S. 49° 22' 55" W., 44.84'
C-2	81° 59' 30"	30.00'	42.93'	26.07'	N. 41° 15' 28" W., 39.36'
C-3	04° 47' 24"	2348.74'	196.36'	98.24'	S. 03° 24' 45" W., 196.30'
C-4	02° 37' 04"	2348.74'	107.31'	53.66'	S. 02° 19' 35" W., 107.30'
C-5	02° 10' 20"	2348.74'	89.05'	44.53'	S. 04° 43' 17" W., 89.04'
C-6	04° 48' 30"	2341.74'	196.52'	98.32'	S. 03° 25' 18" W., 196.46'
C-7	01° 22' 02"	2388.74'	57.00'	28.50'	N. 02° 53' 07" E., 57.00'
C-8	02° 08' 07"	2388.74'	89.02'	44.52'	N. 04° 38' 11" E., 89.02'
C-9	90° 00' 00"	2.50'	3.93'	2.50'	S. 45° 20' 04" E., 3.54'
C-10	00° 58' 33"	2348.74'	40.00'	20.00'	S. 02° 57' 51" W., 40.00'
C-11	58° 37' 12"	20.00'	20.46'	11.23'	S. 57° 08' 03" W., 19.58'

LEGAL DESCRIPTION AND FREE CONSENT

The undersigned owner(s) of the land hereon shown do hereby consent to the Replat of the land hereon shown: A certain tract of land being a Westerly portion of Lot G, Block 8, as shown and designated on the plat of BUENA VENTURA, said plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on September 11, 1941, in Volume C1, Folio 8, said tract lying situate within the Northeast quarter (N.E. 1/4) of Section 29, T. 10 N., R. 4 E., N.M.P.M., within the Albuquerque City Limits, Bernalillo County, New Mexico and being more particularly described as follows:

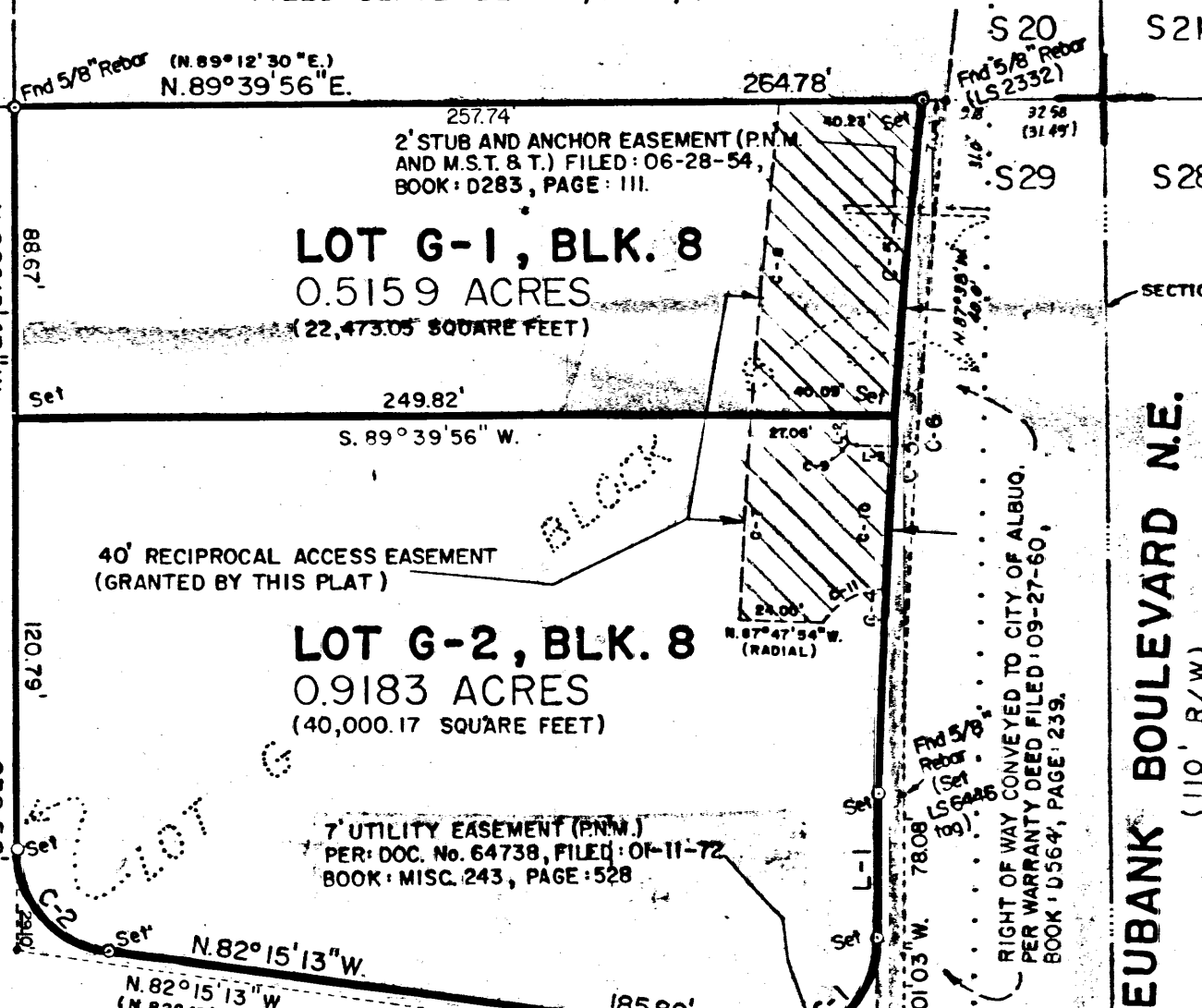
Beginning at the Northwest corner of said tract herein described, being a point on East right of way line of GLORIETA STREET, N.E., and also being the same point as the Northwest corner of said Lot G, Block 8; thence, from said point of beginning, N. 89° 39' 56" E., leaving said East right of way line, 264.78 to the Northeast corner of said tract herein described, being a point on a curve on the present West right of way line of EUBANK BOULEVARD, N.E.; thence, Southwesterly along, adjoining and adjacent to said present West right of way line, along a curve to the left through a central angle of 04° 48' 30" having a radius of 2341.74 feet and an arc length of 196.52 feet (chord = S. 03° 25' 18" W., 196.46') to a point of tangency; thence, S. 01° 01' 03" W., continuing along, adjoining and adjacent to said West right of way line, 78.08 feet to the Southeast corner of said tract herein described, being a point on the North right of way line of EAST CENTRAL AVENUE; thence, N. 82° 15' 13" W., along, adjoining and adjacent to said North right of way line, 252.69 feet to the Southwest corner of said tract herein described, being a point on said East right of way line of GLORIETA STREET, N.E.; thence, N. 00° 15' 43" W., along, adjoining and adjacent to said East right of way line, 238.56 feet to the Northwest corner, the point of beginning and containing an area 1.5041 acres, more or less, (65519.99 square feet, more or less) and is with the free consent and in accordance with the desires of the undersigned owner(s) and proprietor(s) thereof, and hereby dedicates additional right of way and grants easement(s), as shown hereon.

SCALE: 1" = 50'



A WESTERLY PORTION OF
 LOT H, BLOCK 8, BUENA VENTURA
 FILED: SEPTEMBER 11, 1941, (C1-008)

GLORIETA STREET N.E.
 (60' R/W)



EAST CENTRAL AVENUE
 (100' R/W)

LINE TABLE

LINE NO.	BEARING	DISTANCE
L-1	S. 01° 01' 03" W.	40.49'
L-2	S. 00° 20' 04" E.	5.00'
L-3	N. 89° 39' 56" E.	10.02'

T. 10 N., R. 4 E., N.M.P.M.

91075236

A PLAT OF
 LOT G-1 AND G-2, BLOCK 8
 BUENA VENTURA
 LYING SITUATE WITHIN SECTION
 T. 10 N., R. 4 E., N.M.P.M.
 ALBUQUERQUE, BERNALILLO COUNTY
 NEW MEXICO
 MAY 1991

State of New Mexico
 County of Bernalillo
 This instrument was filed for record on
 24 SEP 1991
 9C
 196

STATION "S-L21 RESET"
 X = 415,713.56
 Y = 1,481,483.67
 CENTRAL ZONE
 GRND. TO GRID = 0.99964667
 DELTA ALPHA = (-) 00° 09' 43"

STATION "KOAT-TVTT"
 X = 440,206.79
 Y = 1,533,471.33

CITY/COUNTY APPROVALS:

Property Management
 City Surveyor
 City Water Resources
 City Engineer
 A.H.A.E.C.A.
 Traffic Engineer
 Parks and Recreation
 City Planning Director

Date
 020391
 Date
 9-10-91
 Date
 9-10-91
 Date
 9-10-91
 Date
 9-10-91
 Date
 9-10-91
 Date
 9-10-91

SP-91-145

ACKNOWLEDGEMENT

STATE OF OREGON
 COUNTY OF CLATSOP
 The foregoing instrument was acknowledged before me this 26th day of August, 1991, by Dean W. Pollman.
 My Commission Expires: 3/15/93
 Notary Public
 Owner(s) DEAN W. POLLMAN
 Date 8/26/91

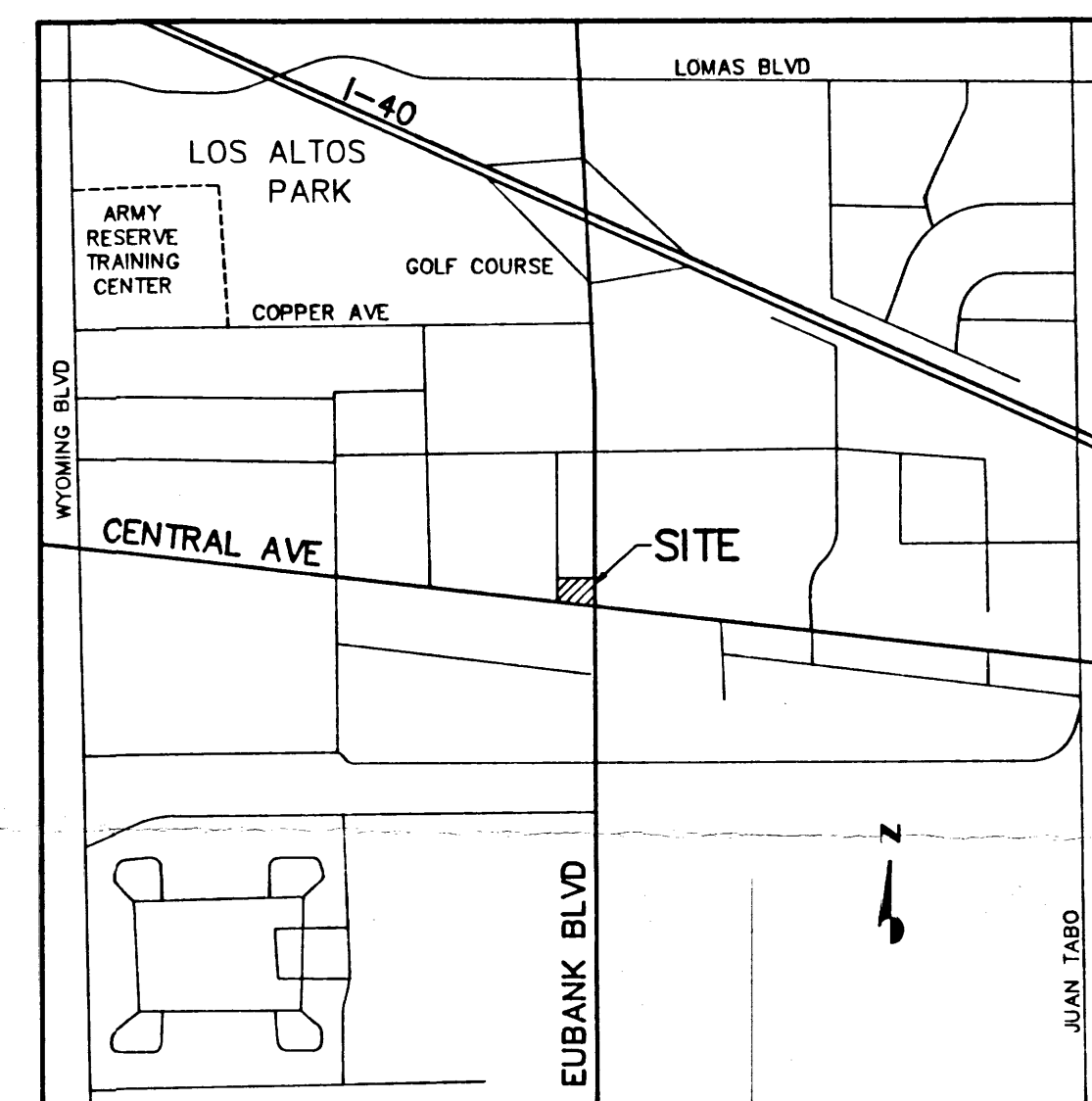
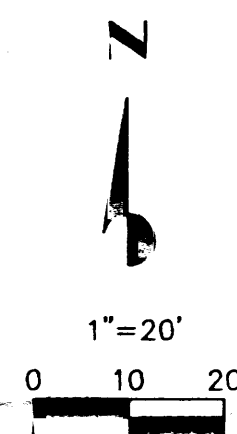
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 1-020-056-520532-11901
 PROPERTY OWNER OF RECORD:
 BERNALILLO COUNTY TREASURER'S OFFICE:
 9-10-91

SURVEYOR'S CERTIFICATION

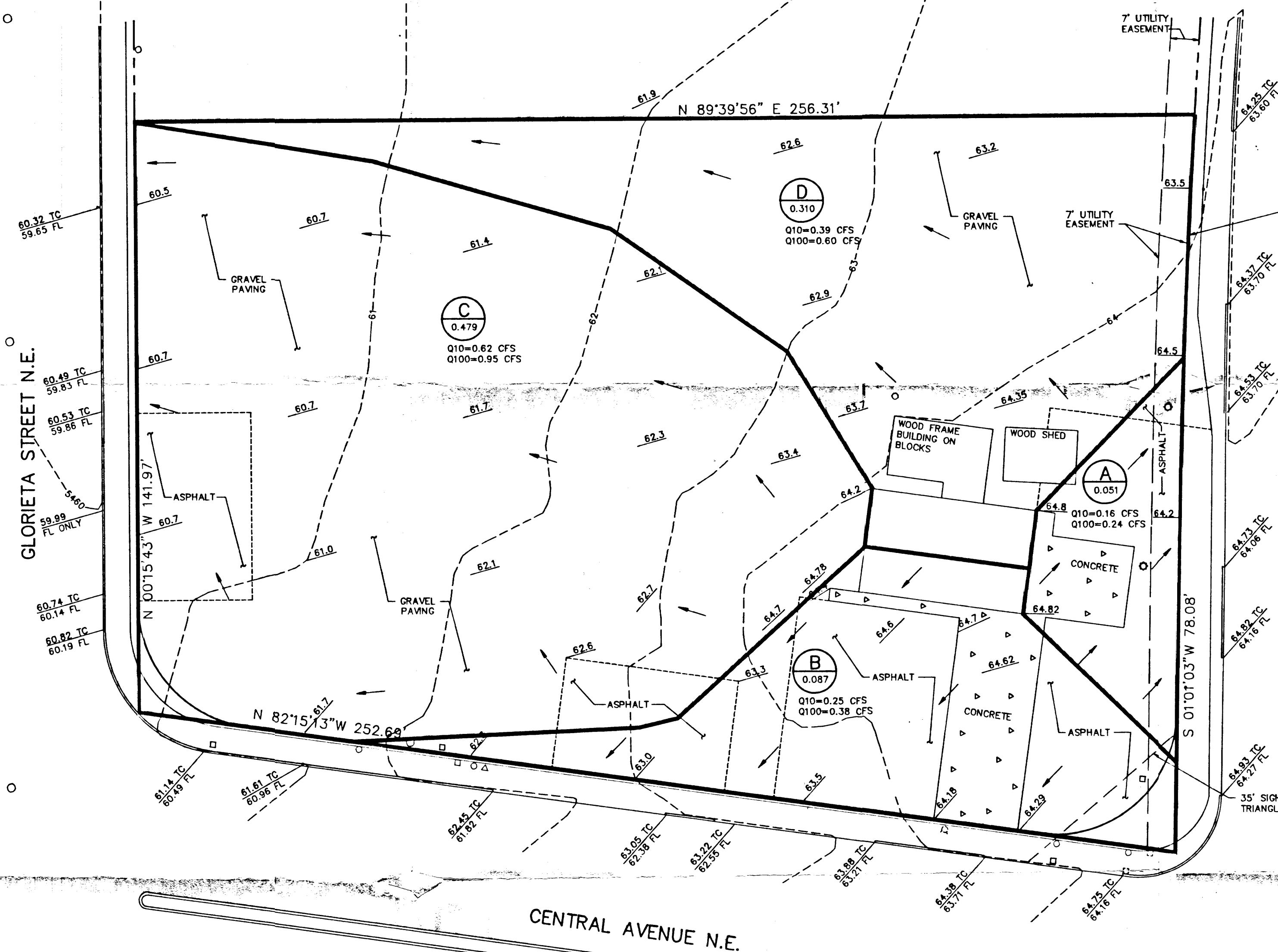
I, Franklin E. Wilson, a registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, meets the minimum requirements of monumentation and surveys of the Albuquerque Subdivision Ordinance, and that it is true and correct to the best of my knowledge and belief.

Franklin E. Wilson, N.M.L.S. No. 6446
 SOUTHWEST SURVEYING CO., INC.
 333 Lomas Blvd., N.E., Albuquerque, New Mexico 87102
 (505) 247 4444
 Date 8/18/91
 3/8/91

T. 10 N., R. 4 E. Sec 29



VICINITY MAP
SCALE: 1"=2000'



EUBANK BOULEVARD N.E.

CENTRAL AVENUE N.E.

LEGEND

- 62 — EXISTING CONTOUR
- 82.0 EXISTING SPOT ELEVATION
- (A) BASIN DESIGNATION
- 0.000 BASIN AREA IN ACRES
- Q10 10 YEAR RUNOFF IN CUBIC FEET PER SECOND
- Q100 100 YEAR RUNOFF IN CUBIC FEET PER SECOND
- DRAINAGE BASIN BOUNDARY
- FLOW ARROW

BENCHMARK

STATION 5+121(R), ELEVATION = 5466.535 FEET

SITE DEVELOPER - MR. JIM REED
DIAMOND SHAMROCK
9702 BROCKBANK
DALLAS, TX 75220
(214) 357-7386

REVISIONS		Des. By	Drn. By	Date
No.	Description			

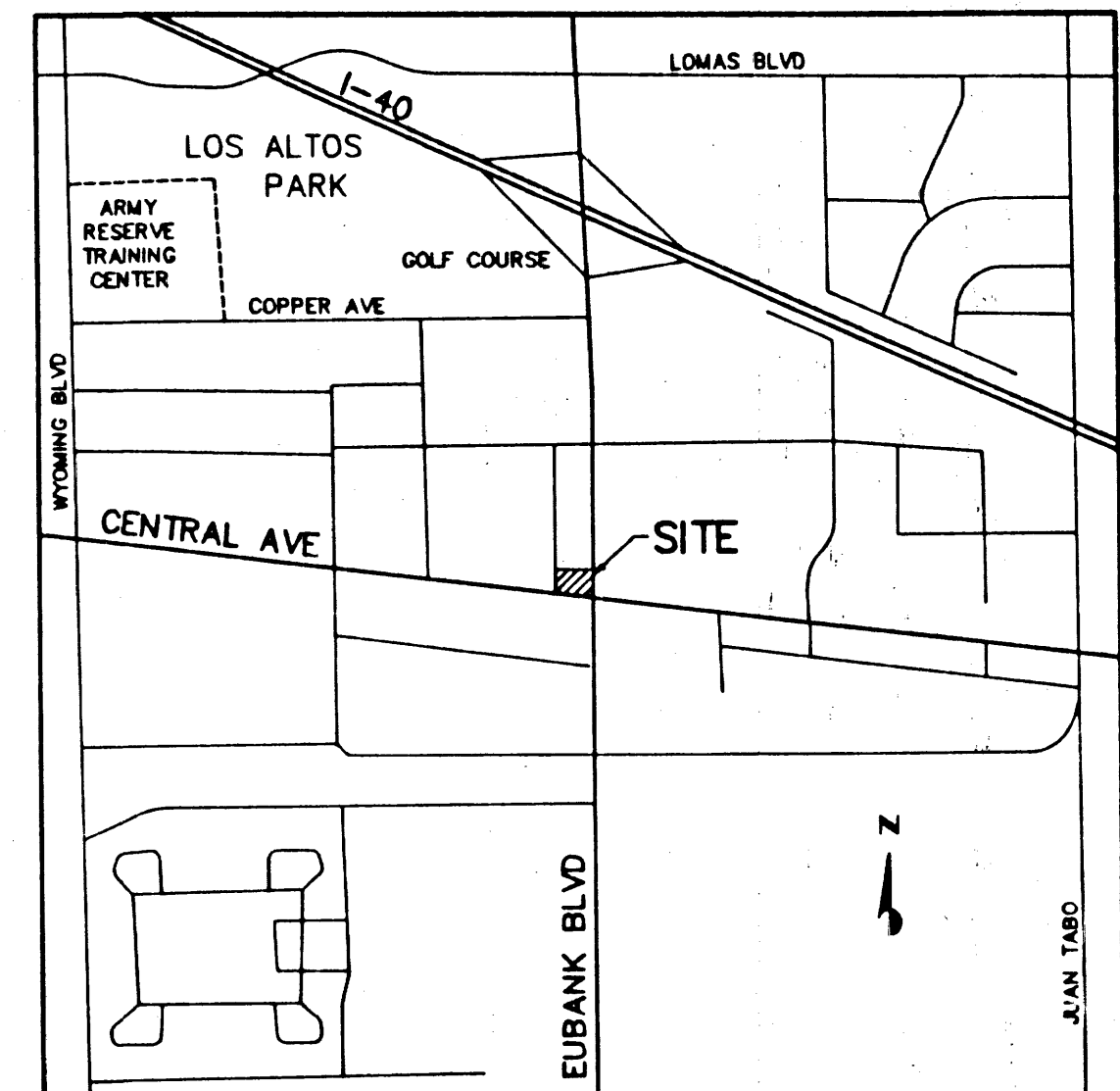
	DIAMOND SHAMROCK 9830 COLONADE BLVD., SAN ANTONIO, TEXAS 78230		Galloway, Romero & Associates Design Engineering Planning 14202 East Evans Avenue Aurora, Colorado 80014 Tel. (303) 745-7448 Fax. (303) 745-7480

	EXISTING DRAINAGE MAP CENTRAL AVENUE N.E. & EUBANK BOULEVARD N.E. ALBUQUERQUE, NEW MEXICO		SEP 25 1991 HYDROLOGY OF N.M.
	Designed By: LLP	Date: SEPT, 1991	
	Drawn By: RDG	Scale: 1"=20'	
	Checked By: LLP	Disk File: DSCNEDM	

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148/300



SCALE: 1"=2000'

- BENCHMARK
STATION 5-L21 (R), ELEVATION = 5466.535

SITE DEVELOPER - MR JIM REED
DIAMOND SHAMROCK
8702 BROCKBANK
DALLAS, TX 75220
(214) 357-7386

[illegible]

DIAMOND SHAMROCK
9830 COLONNADE BLVD.,
SAN ANTONIO, TEXAS 78230

 **Galloway, Romero & Associates**
Design Engineering Planning
14202 East Evans Avenue
Aurora, Colorado 80014
Tel. (303) 745-7448
Fax. (303) 745-7480

2 OF 2

Designed By: DWG	Date: APRIL, 1991
Drawn By: CJH	Scale: 1"=20'
Checked By: DWG	Disk File: DSECENAB

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