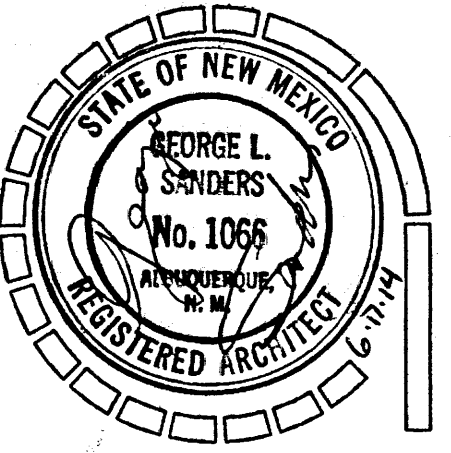




LEGAL DESCRIPTION
TRACT A BLOCK 26 SKYLINE HEIGHTS. FILED MARCH 1, 1990 BOOK 90C PAGE 54

ZONING:
C-3

PARKING REQUIREMENTS

EXISTING BUILDING A			
4000 S.F. MANUFACTURING	1 SPACE PER 1000 S.F.	4 SPACES	
4000 S.F. WAREHOUSE	1 SPACE PER 2000 S.F.	2 SPACES	
200 S.F. OFFICE	1 SPACE PER 200 S.F.	1 SPACE	

EXISTING BUILDING B			
2569 S.F. WAREHOUSE	1 SPACE PER 2000 S.F.	1.28 SPACES	

PROPOSED BUILDING C			
400 S.F. OFFICE	1 SPACE PER 200 S.F.	2 SPACES	
11,600 S.F. MANUFACTURING	1 SPACE PER 1000 S.F.	11.6 SPACES	

TOTAL PARKING SPACES REQUIRED 21.88

REG. CAR SPACES PROVIDED 21 SPACES
HANDICAP SPACES PROVIDED 1 SPACE
MOTORCYCLE 1 SPACE PER 20 TOTAL = 2 SPACES REQ. 2 SPACES PROVIDED
BICYCLE: 1 SPACE PER 20 CARS TOTAL: 2 REQ. 2 PROVIDED

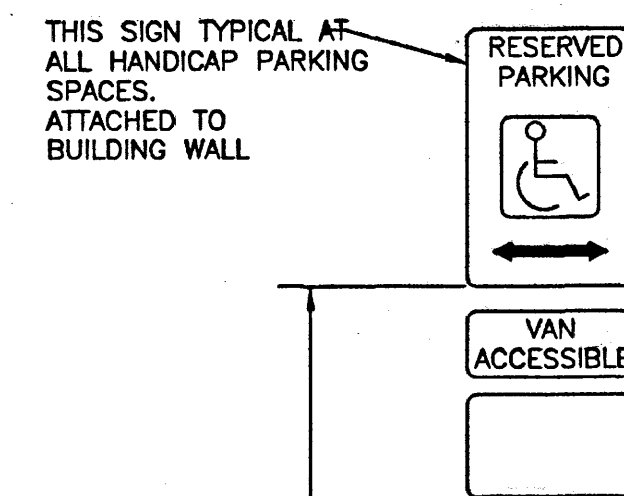
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

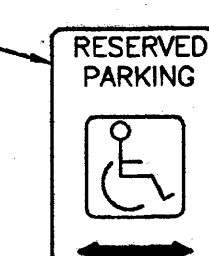
TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 9/6/2014

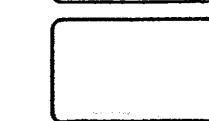
NOTE:
"LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA."



THIS SIGN TYPICAL AT ALL HANDICAP PARKING SPACES. ATTACHED TO BUILDING WALL

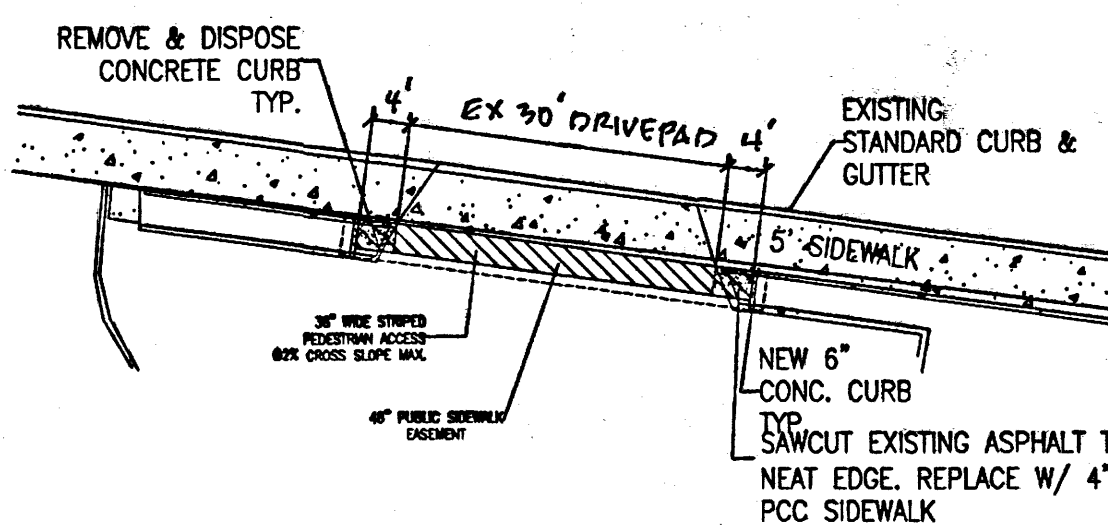


THIS SIGN TYPICAL AT ALL VAN ACCESSIBLE PARKING SPACES



PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

1 HC SIGN DETAIL
NOT TO SCALE



REMOVE & DISPOSE CONCRETE CURB TYP.

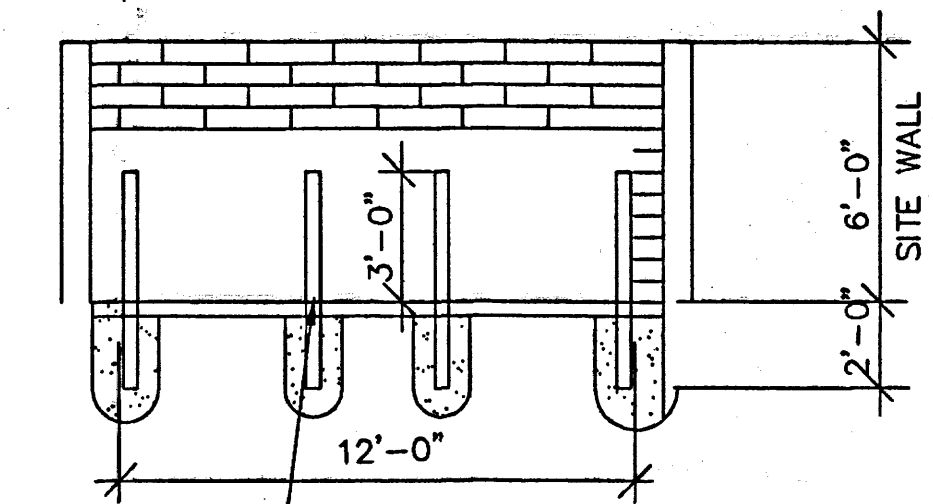
EXISTING STANDARD CURB & GUTTER

NEW 6" CONC. CURB

SAWCUT EXISTING ASPHALT TO NEAT EDGE. REPLACE W/ 4" PCC SIDEWALK

4 ACCESS AT EXISTING DRIVEPAD
NTS

2 ENCLOSURE PLAN
NOT TO SCALE

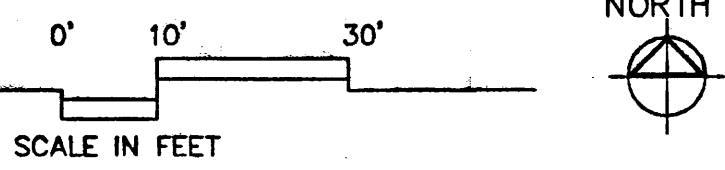


3 ENCLOSURE SECTION
NOT TO SCALE

CONCRETE FILLED PIPE, 4" O.D. ENCASED IN 6" CONCRETE ALL AROUND EMBEDDED 2'-0"

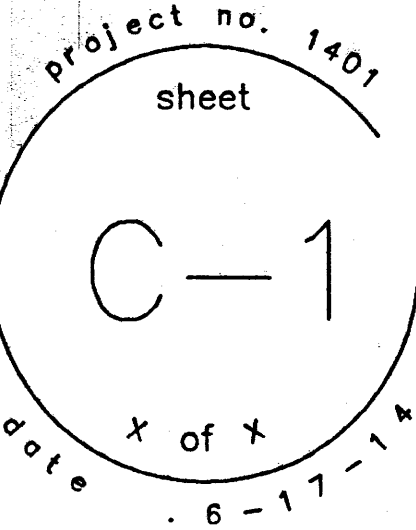
SITE PLAN

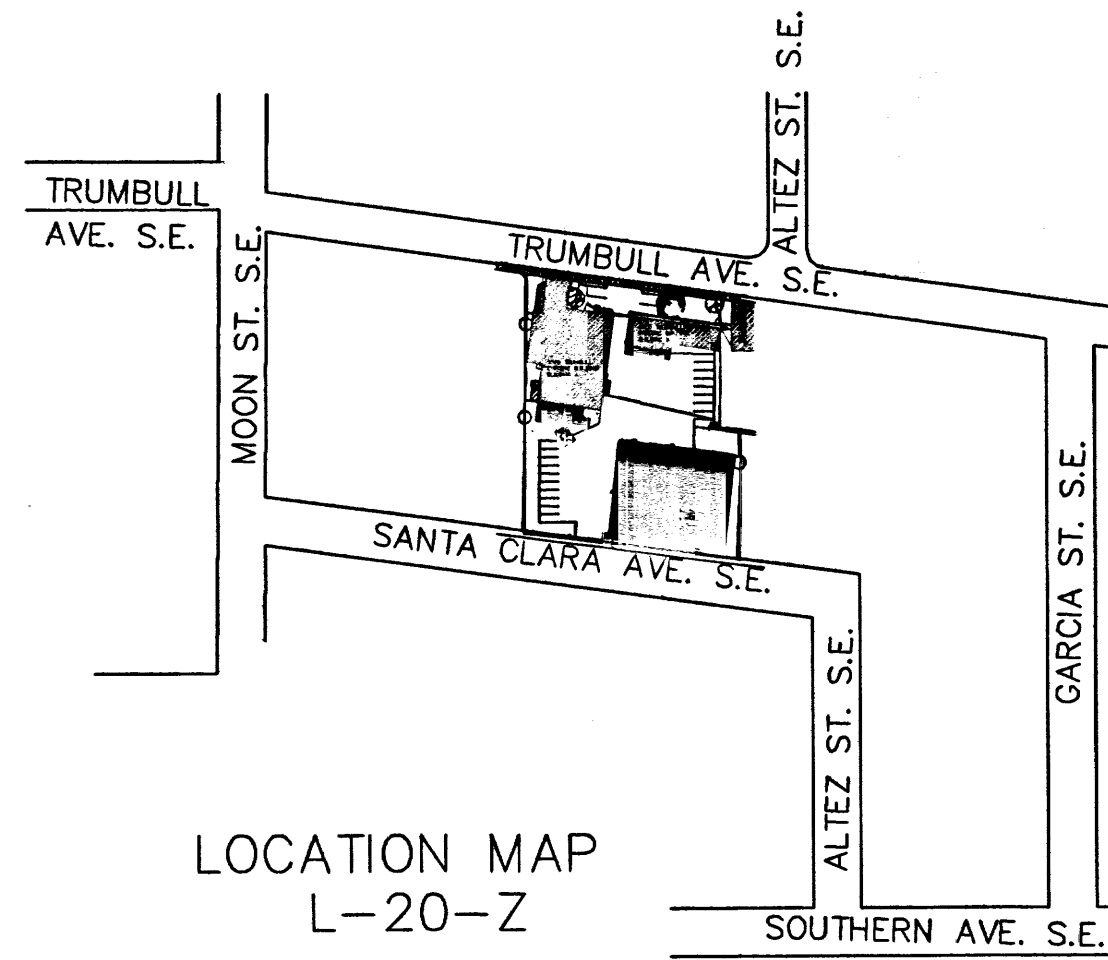
SCALE: 1" = 20'-0"



SCALE IN FEET

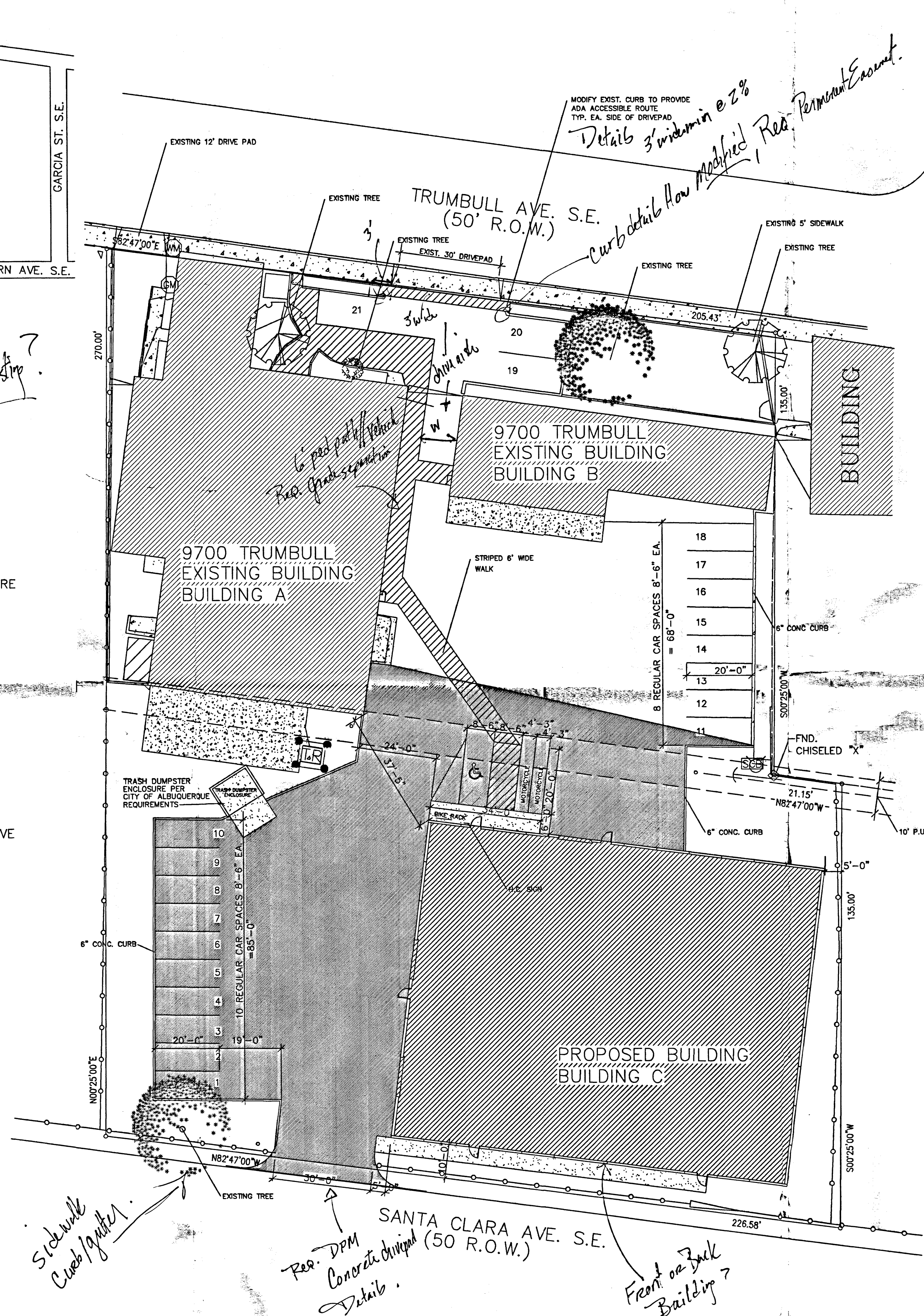
OFFICE / WAREHOUSE FOR MCCLINTIC RDM
9700 TRUMBULL S.E.
ALBUQUERQUE, NEW MEXICO.
SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 255-5040 FAX (505) 255-5040



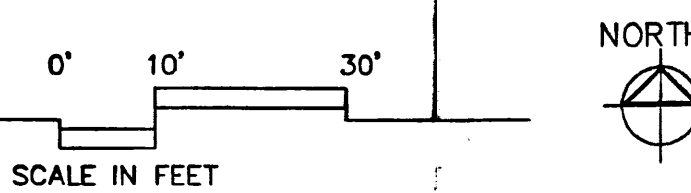


LEGEND *New vs Existing?*

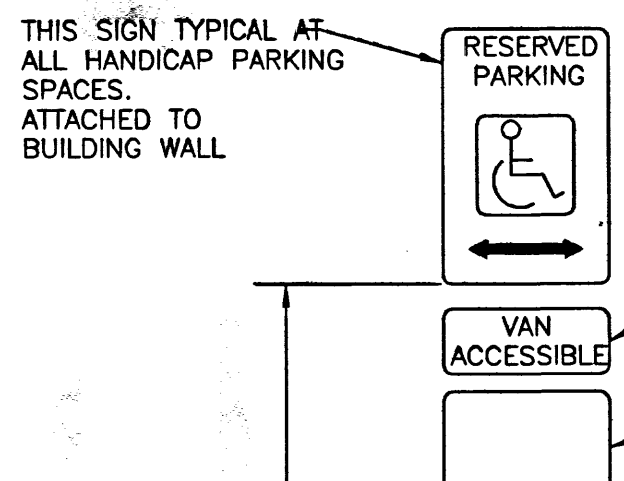
- CONCRETE
- COVERED PORCH
- EXISTING STRUCTURE
- NEW BUILDING
- NEW ASPHALT DRIVE



SITE PLAN
SCALE: 1" = 20'-0"



Landscaping?

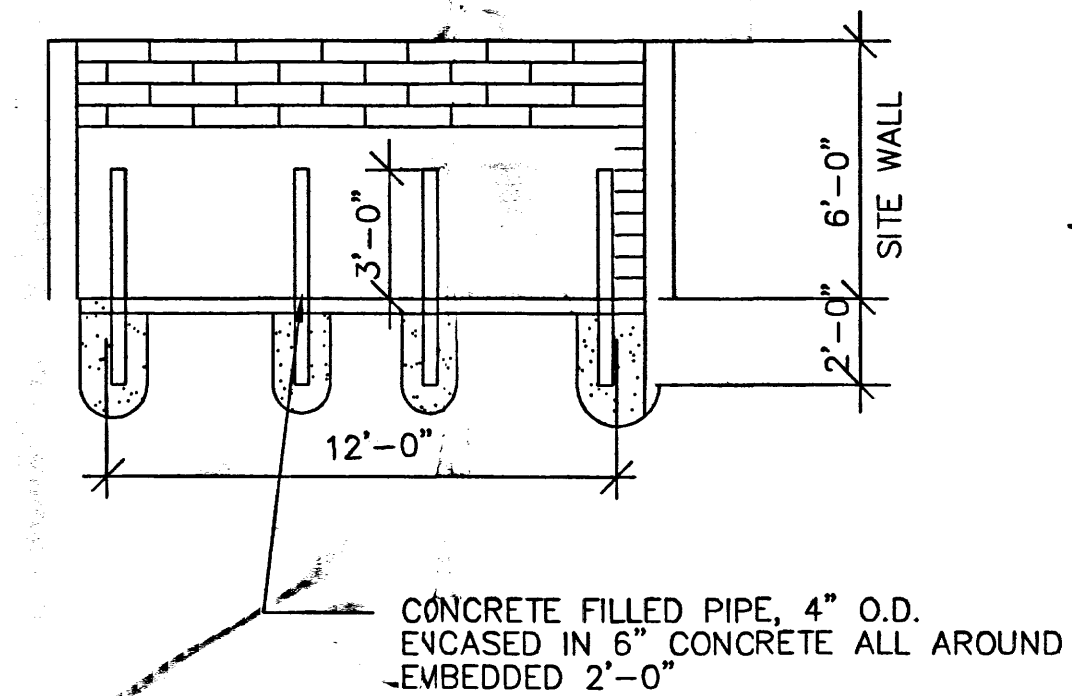


1 HC SIGN DETAIL
NOT TO SCALE

4" THICK CONCRETE SLAB
3000 PSI, 3/4" AGG.
W/ 6X6-10/10 WWM OR EQUAL
SLOPE TO DRAIN 1/8" PER FOOT

6" THICK CONCRETE APRON
3000 PSI, 3/4" AGG.
W/ 6X6-10/10 WWM OR EQUAL

2 ENCLOSURE PLAN
NOT TO SCALE



3 ENCLOSURE SECTION
NOT TO SCALE

LEGAL DESCRIPTION
TRACT A BLOCK 26 SKYLINE HEIGHTS. FILED MARCH 1, 1990 BOOK 90C PAGE 54

ZONING:
C-3

PARKING REQUIREMENTS

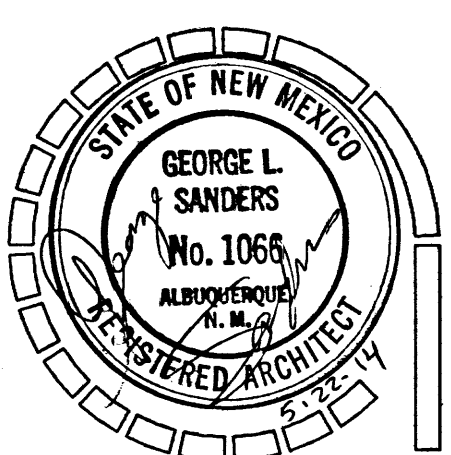
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- No -
Revised 5/28/17
ckp



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