

CITY OF ALBUQUERQUE



June 20, 2014

George Sanders, R.A.
Sanders & Associates
5921 Lomas NE, Suite B
Albuquerque, NM 87110.

Re: Office Warehouse for McClintic RDM 9700 Trumbull, Traffic Circulation Layout
Engineer's Stamp dated 6-17-14 (L20-D051)

Dear Mr. Sanders,

The TCL submittal received 6-18-14 is approved for Building Permit. The plan is stamped and signed as approved. The variances for the sidewalk and the curb and gutter have been approved by the Transportation department as well. The Certificate of Occupancy will not be released until the required sidewalk easement has been approved and recorded. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Racquel Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

C: File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 04/2009)

PROJECT TITLE: 9700 TRUMBULL AVENUE SE ZONE MAP: L-20/D051
DRB#: NA EPC#: NA WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT A, BLOCK 26, SKYLINE HEIGHTS
CITY ADDRESS: 9700 TRUMBULL AVE SE

ENGINEERING FIRM: LORENZ DESIGN & CONSULTING CONTACT: DENNIS LORENZ
ADDRESS: 2501 RIO GRANDE BLVD. NW PHONE: 888-6088
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87104

OWNER: TRUMBULL M&M LLC CONTACT: _____
ADDRESS: 9701 TRUMBULL AVE SE PHONE: _____
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

ARCHITECT: SANDERS & ASSOCIATES CONTACT: G. SANDERS
ADDRESS: 5921 LOMAS NE, SUITE B PHONE: 255-5040
CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

SURVEYOR: TERRA SURVEYS CONTACT: C. MEDINA
ADDRESS: PO BOX 2532 PHONE: 792-0513
CITY, STATE: CORRALES, NEW MEXICO ZIP CODE: 87043

CONTRACTOR: UNKNOWN CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 6-18-2014 BY: DENNIS A. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 17, 2014

Racquel Michel, PE
Senior Engineer, Planning Department
Development Review Services
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87103

**SUBJECT: TRAFFIC CIRCULATION LAYOUT
OFFICE WAREHOUSE FOR McCLINTIC RDM (L20-D051)**
9700 Trumbull Avenue SE
Albuquerque, New Mexico 87123

Dear Racquel:

As agent for McClintic RDM, we hereby submit for review and approval 2 copies of the revised Traffic Circulation Layout for the subject project. The comments listed in the May 28, 2014 letter issued by Cynthia Beck have been addressed as follows:

1. The Plan is in compliance with DPM and ADA standards.
2. Applicable City standards are referenced where necessary.
3. The proposed 6-foot wide pedestrian way has been modified to connect the new building entry to the rear entry of existing Building "A". A striped pedestrian link is also provided from the existing front entry of Building "A" to Trumbull.
4. The distance between Buildings "A" and "B" is dimensioned.
5. The project entry will be modified to provide ADA accessibility per DPM. Detail 4 is provided to detail a 3-foot wide ADA pedestrian path around the existing driveway, within a 4-foot wide public sidewalk easement.
6. The Grant of Easement document for the public sidewalk easement will be forwarded to you when available.
7. We request a variance of the requirement to construct permanent street improvements within Santa Clara Avenue SE along the property frontage. The City of Albuquerque has utilized Santa Clara over the last 50 years to serve the Ridgecrest Pump and Reservoir Station. Well collector waterlines and 2 storm drains have been constructed during this period. The City elected to provide an asphalt street section without concrete curb, gutters or sidewalks. Underground utilities were not provided to serve the adjoining properties. As the corridor developed the properties took service from other perimeter right of ways. Several properties have been allowed to use the roadway for primary access without providing permanent improvements. This property utilizes Trumbull Avenue for primary access. The Santa Clara entry will be gated and

will serve as access for employees and deliveries. Construction of permanent concrete curbs, gutter and sidewalks will likely create drainage and driveability issues, and will not benefit the public.

8. See Comment #7.
9. A complete Landscape Plan will be submitted with the Building Permit Application.
10. A duplicate electronic submittal in PDF format has been made under separate cover.

I trust all comments have been addressed to your satisfaction. If not, please call me with your concerns. Compliance with the zoning criteria, specifically the East Gateway Sector Development Plan, will be addressed to David Kilpatrick, Zoning Enforcement.

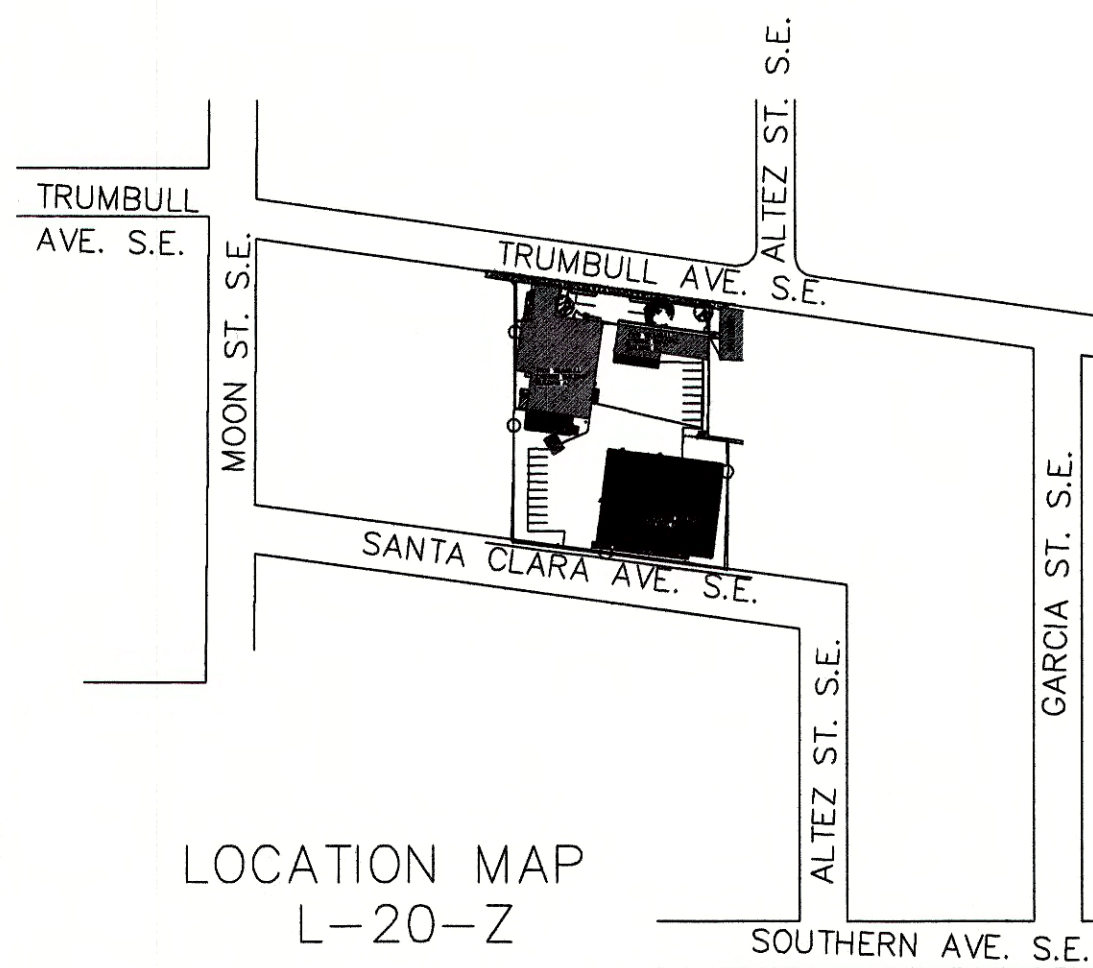
Sincerely,

LORENZ DESIGN & CONSULTING, LLC

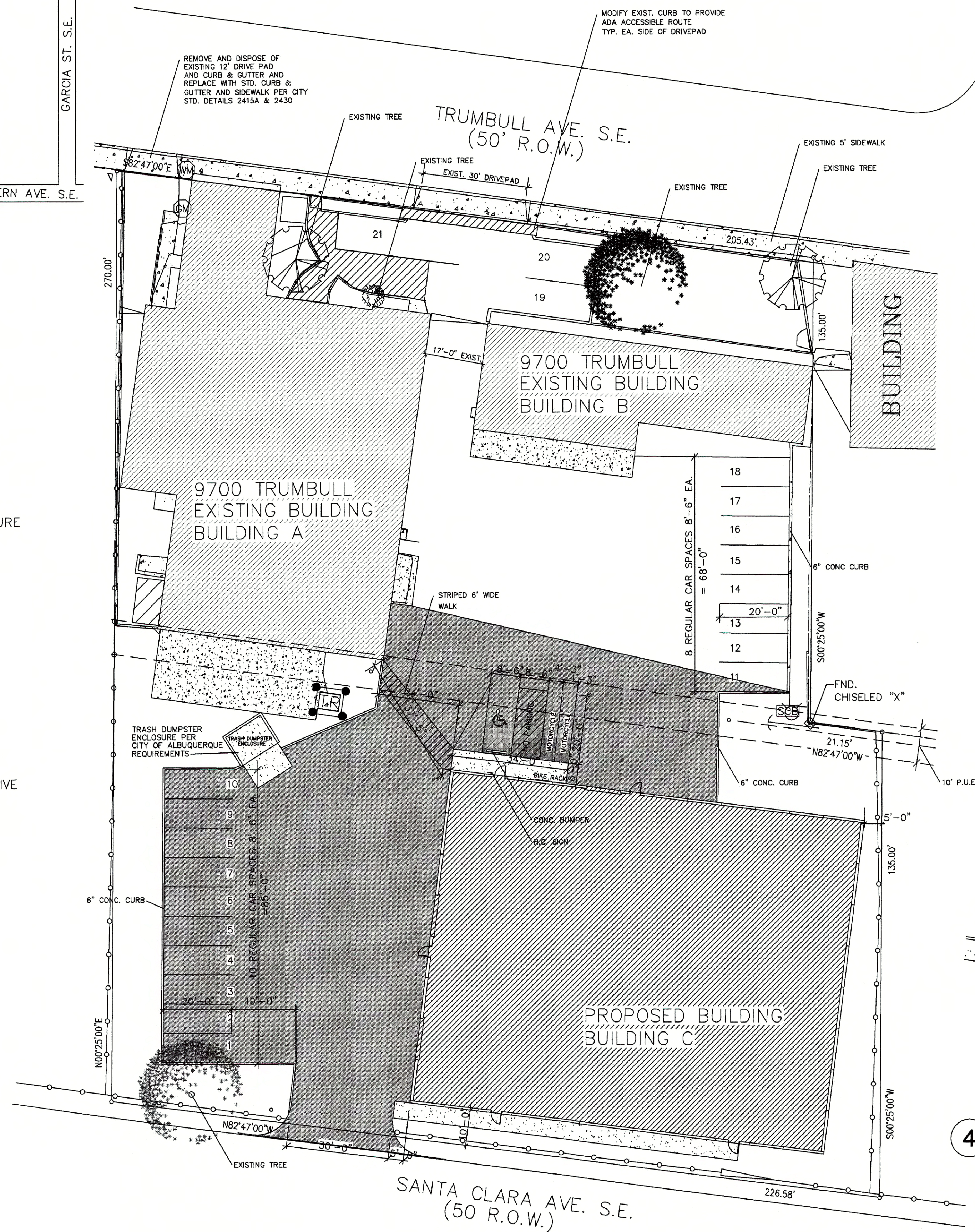
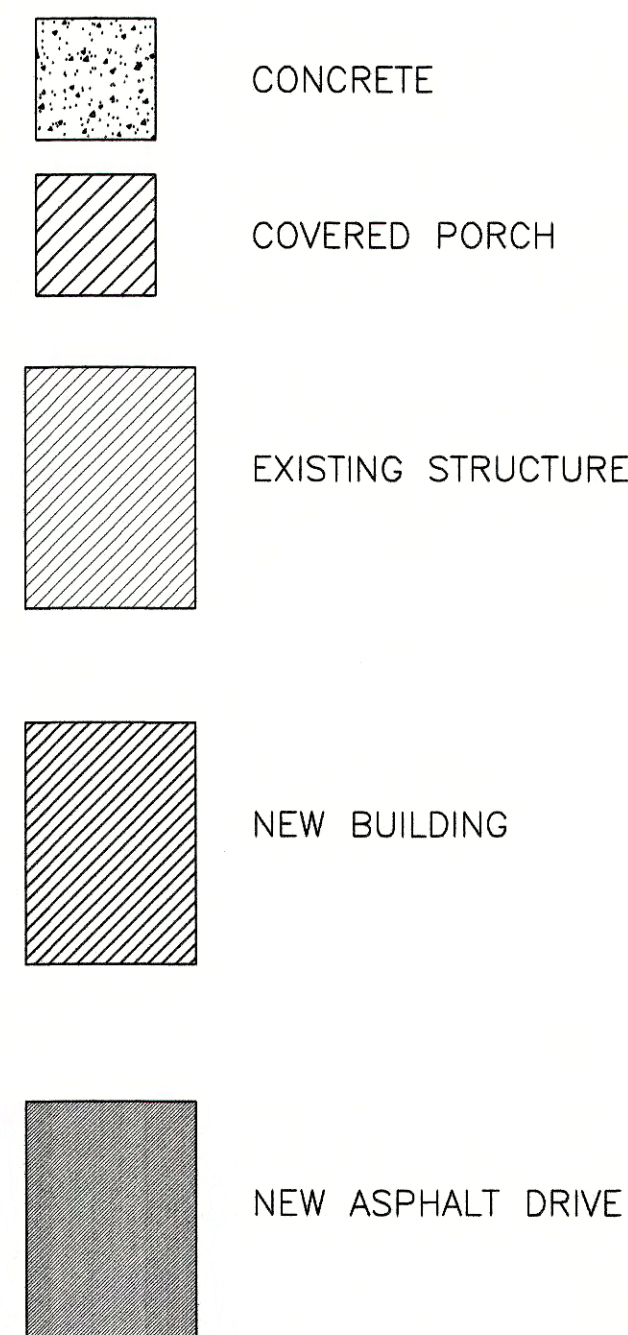


Dennis A. Lorenz, PE

P\14-001\RM06172014

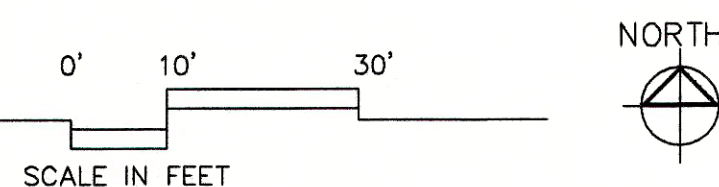


LEGEND

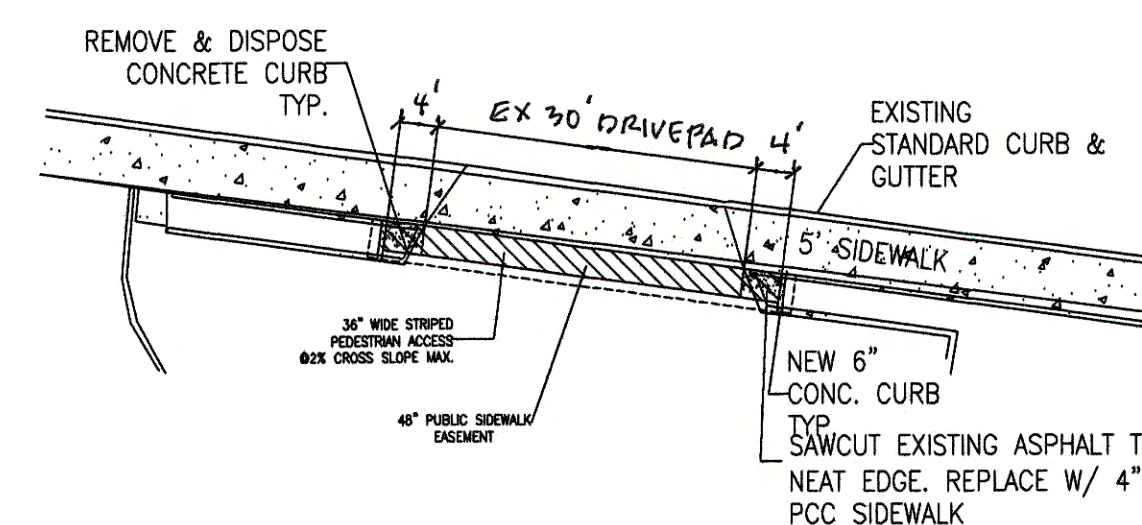


SITE PLAN

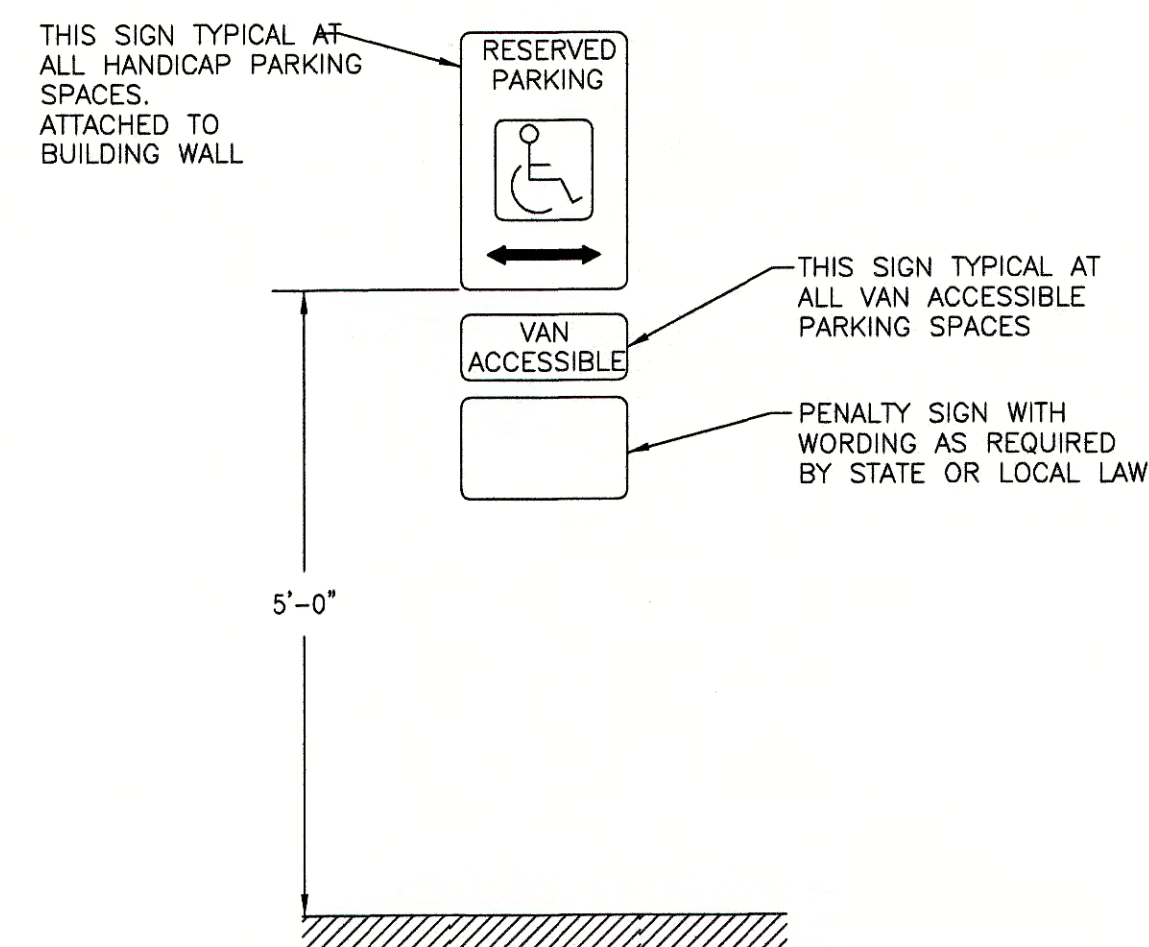
SCALE: 1" = 20'-0"



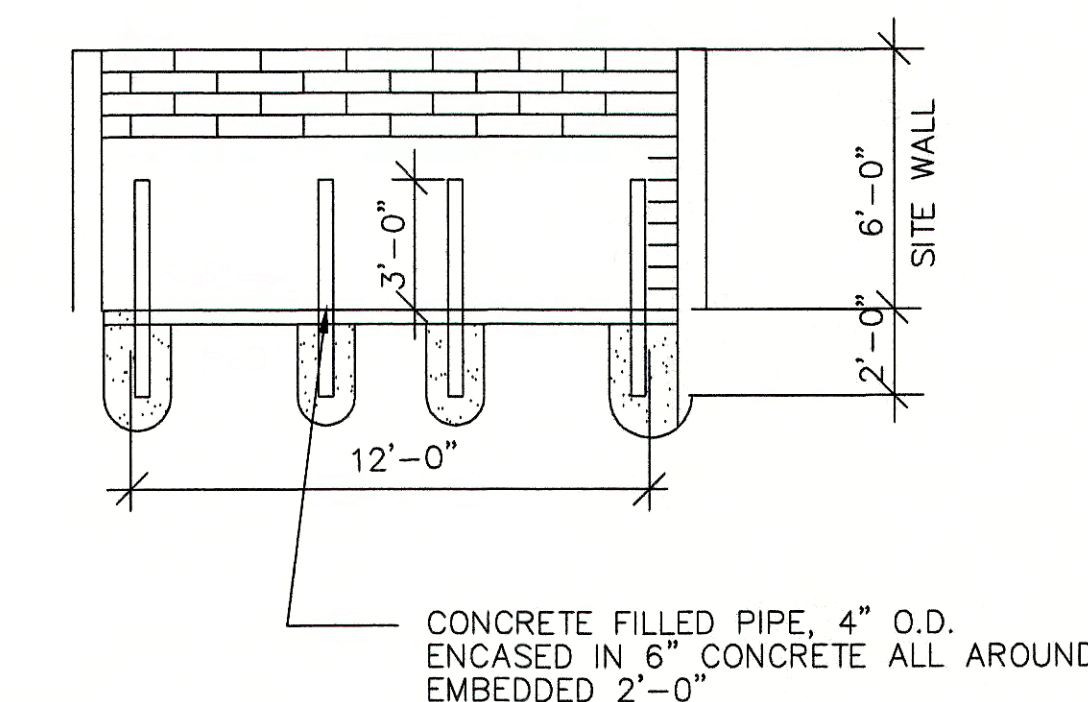
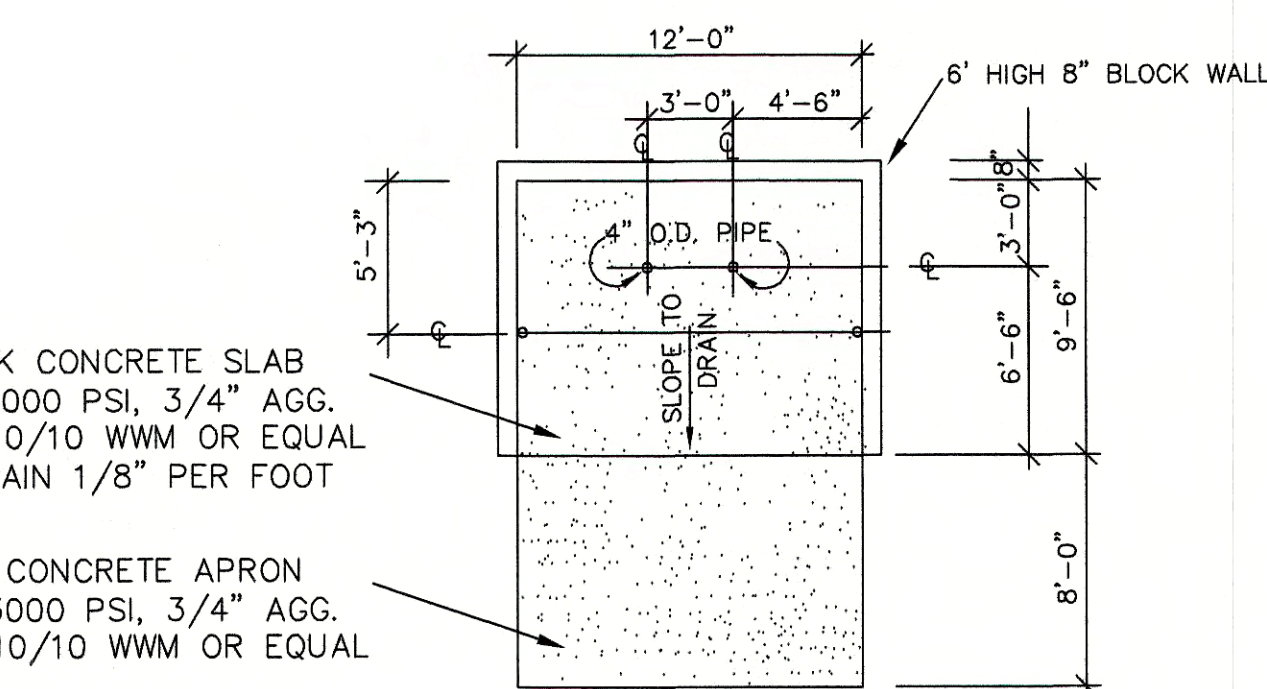
4 ACCESS AT EXISTING DRIVEPAD NTS



1 HC SIGN DETAIL NOT TO SCALE



2 ENCLOSURE PLAN NOT TO SCALE



3 ENCLOSURE SECTION NOT TO SCALE

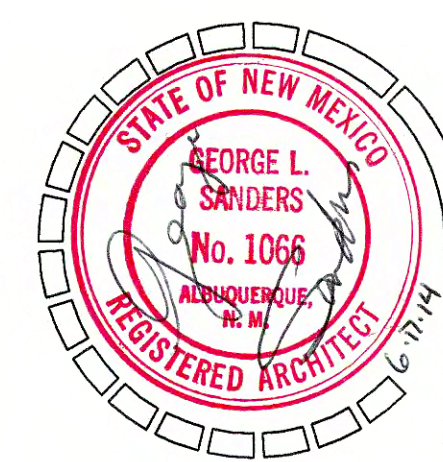
LEGAL DESCRIPTION
TRACT A BLOCK 26 SKYLINE HEIGHTS. FILED MARCH 1, 1990 BOOK 90C PAGE 54

ZONING:
C-3

PARKING REQUIREMENTS

EXISTING BUILDING A			
4000 S.F. MANUFACTURING	1 SPACE PER 1000 S.F.	4 SPACES	
4000 S.F. WAREHOUSE	1 SPACE PER 2000 S.F.	2 SPACES	
200 S.F. OFFICE	1 SPACE PER 200 S.F.	1 SPACE	
EXISTING BUILDING B			
2569 S.F. WAREHOUSE	1 SPACE PER 2000 S.F.	1.28 SPACES	
PROPOSED BUILDING C			
400 S.F. OFFICE	1 SPACE PER 200 S.F.	2 SPACES	
11,600 S.F. MANUFACTURING	1 SPACE PER 1000 S.F.	11.6 SPACES	
TOTAL PARKING SPACES REQUIRED		21.88	
REG. CAR SPACES PROVIDED		21 SPACES	
HANDICAP SPACES PROVIDED		1 SPACE	
MOTORCYCLE 1 SPACE PER 20 TOTAL = 2 SPACES REQ.		2 SPACES PROVIDED	
BICYCLE: 1 SPACE PER 20 CARS TOTAL: 2 REQ. 2 PROVIDED			

NOTE:
"LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA."



OFFICE / WAREHOUSE FOR MCCLINTIC RDM
9700 TRUMBULL S.E.
ALBUQUERQUE, NEW MEXICO
SANDERS & ASSOCIATES ARCHITECTS, P.C. 5921 LOMAS BLVD. N.E. SUITE B ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

