

Zone	Treatment			100-YR (2-YR, 10-YR)
	A	B	C	
1	1.29 [0.00, 0.24]	2.03 [0.03, 0.78]	2.87 [0.47, 1.49]	4.37 [1.89, 2.89]
2	1.59 [0.00, 0.38]	2.58 [0.00, 0.95]	3.14 [0.00, 1.71]	4.70 [1.86, 3.14]
3	1.87 [0.00, 0.58]	2.80 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.58]
4	2.20 [0.05, 0.87]	3.72 [0.85, 1.45]	5.73 [1.00, 2.26]	5.25 [2.17, 3.57]

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

FIGURE A-1

Map showing the San Mateo River area, including the Rio Grande, San Mateo River, and El Estero. Sampling locations are marked with numbered circles (1, 2, 3, 4). A scale bar indicates 4 miles. A legend shows a circle with a dot for 'Range 4 1/2 or 5' and a circle with a cross for 'Range 4 1/2 or 5'.

Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

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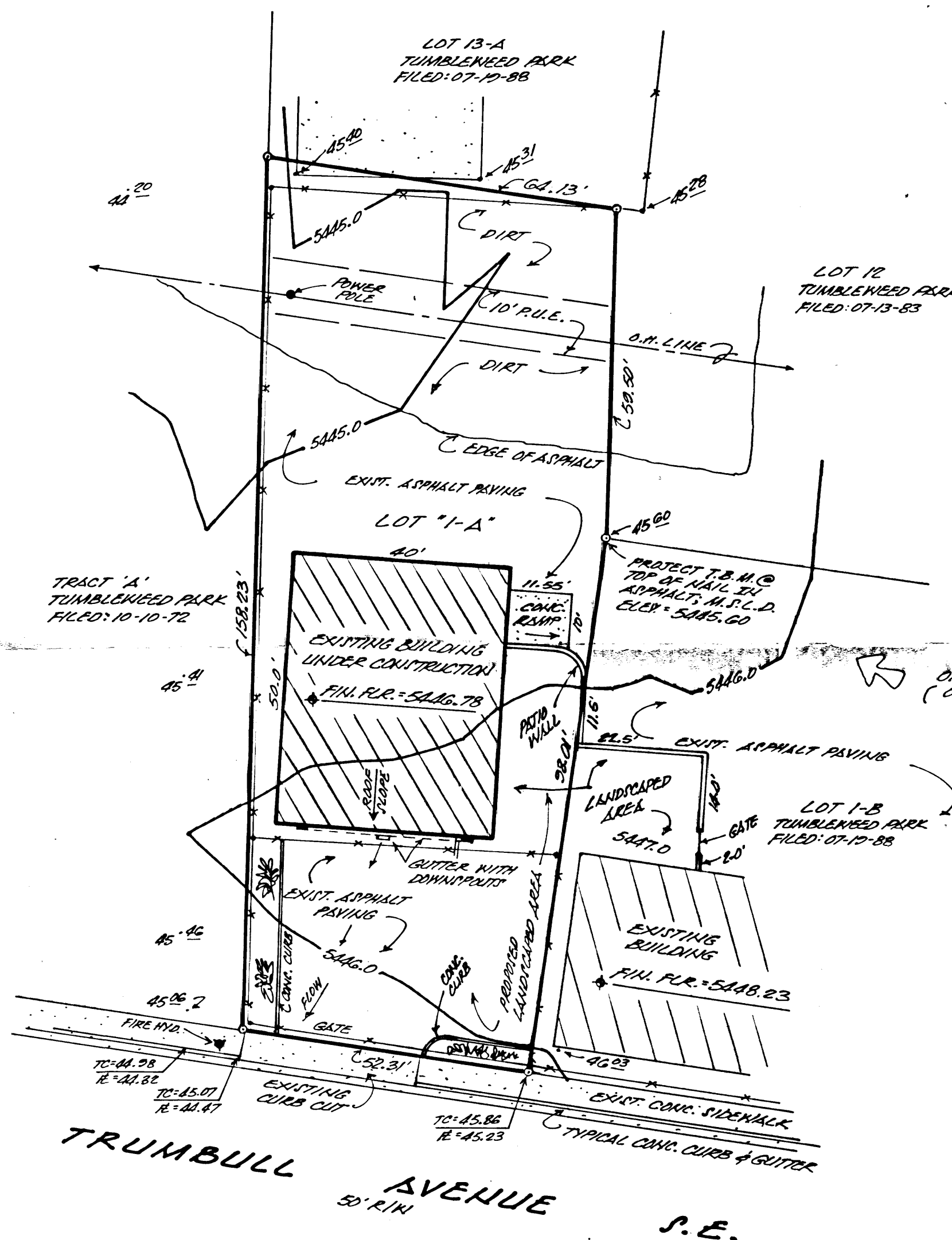
Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes of 20 percent or greater.
D	Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

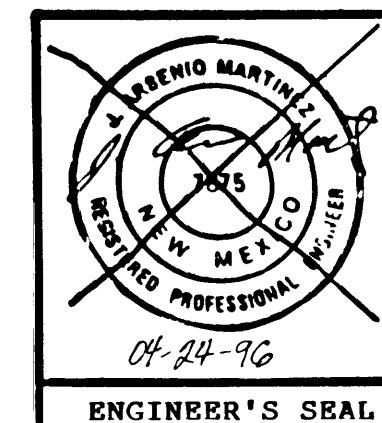
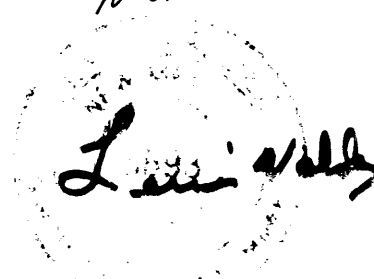
- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DITCHES, SLOTTED DROPPED CURBS, DROPPED CURBS, DROPPED CURBS, DROPPED CURBS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PRIVATE PROPERTIES OR PUBLIC RIGHT-OF-WAYS.
- 2.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREET RIGHT-OF-WAYS THAT HAVE BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.



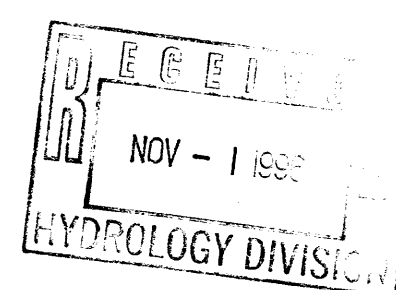
EXISTING SPOT ELEVATION = 45.06
 EXISTING CONTOUR ELEVATION = 5446.0
 TOP OF CURB ELEVATION = TC=45.07
 CURB FLOWLINE ELEVATION = EL=44.47
 EXISTING FENCE LINE = X X X X X
 EXISTING FINISHED FLOOR ELEVATION = FIN.FLR.=5446.78

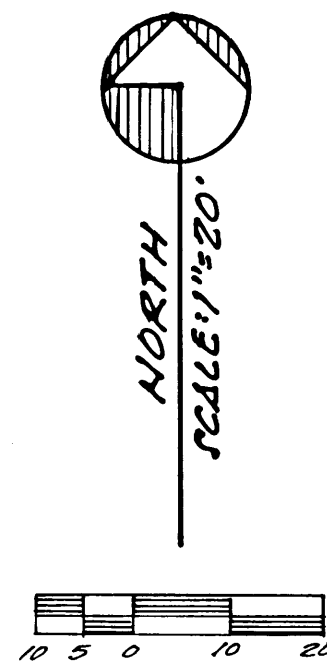
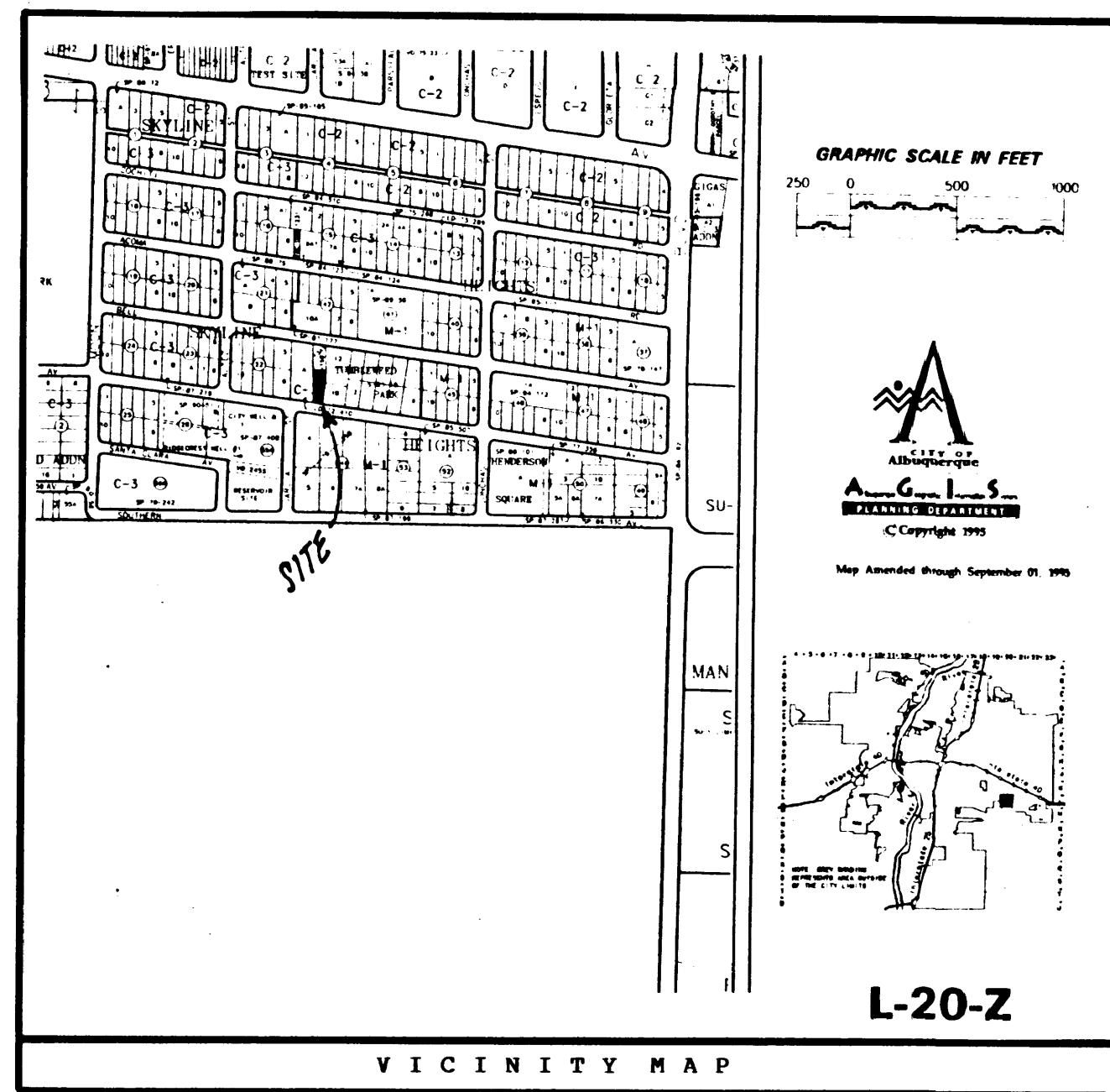
I, LEVI J. VALDEZ, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 5693, DO HEREBY CERTIFY THAT AN ACTUAL ON THE GROUND FIELD SURVEY OF THE "AS-BUILT" CONDITIONS OF THE SUBJECT SITE WAS PERFORMED, BASED ON SAID FIELD SURVEY, THE SUBJECT SITE IS CONSIDERED TO BE IN "SUBSTANTIAL COMPLIANCE TO THE APPROVED PLAN FOR SAID SITE BOTH IN GRADE AND INTENT.

10-31-96



"AS-BUILT" DRAINAGE PLAN
FOR NEW BUILDING LOCATED AT
9909 TRUMBULL AVE. S.E.
ALBUQUERQUE, NEW MEXICO
APRIL, 1956





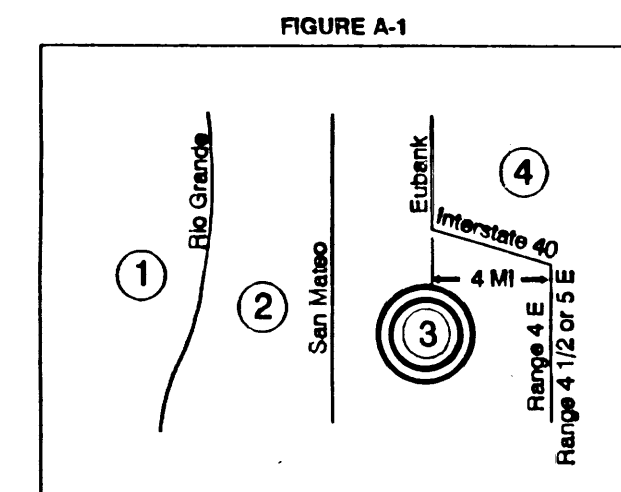
Zone	Intensity	100-YR [2-YR, 10-YR]
1	4.70	[1.84, 3.14]
2	6.05	[2.04, 3.41]
3	6.38	[2.21, 3.65]
4	6.61	[2.34, 3.83]

Zone	Treatment				100-YR [2-YR, 10-YR]
	A	B	C	D	
1	1.29 [0.00, 0.24]	2.03 [0.05, 0.76]	2.87 [0.47, 1.49]	4.37 [1.69, 2.85]	
2	1.56 [0.00, 0.38]	2.28 [0.08, 0.95]	3.14 [0.60, 1.71]	4.70 [1.86, 3.14]	
3	1.87 [0.00, 0.58]	2.60 [0.21, 1.19]	3.45 [0.78, 2.00]	5.02 [2.04, 3.39]	
4	2.20 [0.05, 0.87]	2.92 [0.36, 1.45]	3.73 [1.00, 2.26]	5.25 [2.17, 3.57]	

A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

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Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

DRAINAGE COMMENTS AND CALCULATIONS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE NORTH SIDE OF TRUMBULL AVENUE S.E., BETWEEN EUBANK BLVD. S.E. AND MOON STREET S.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (ZONE ATLAS MAP "L-20").

THE SUBJECT SITE, 1.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN, (RE: F.E.-M.A. FLOODWAY MAP 36 OF 50), 2.) COMPRISES AN EXISTING ASPHALT PAVED LOT WITH A BLOCK BUILDING BEING UNDER CONSTRUCTION AT THIS TIME, 3.) ACCEPTS AND WILL CONTINUE TO ACCEPT OFFSITE FLOWS FROM THE ADJACENT PROPERTY TO THE EAST OF THE SUBJECT SITE; SAID ADJACENT LOT IS ALSO OWNED BY THE SAME PROPERTY OWNER, 4.) CONTRIBUTES OFFSITE FLOWS TO THE PROPERTIES WEST OF THE SUBJECT SITE, SAID FLOWS WILL BE DECREASED WITH THE NEW PLAN BECAUSE OF THE NEW BUILDING ROOF FLOWS BEING DIRECTED TOWARDS TRUMBULL AVENUE S.E. THROUGH THE EXISTING DRIVEPAD, AND ALSO BECAUSE OF NEW LANDSCAPED AREA(S) BEING PROVIDED.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2., DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, DATED JANUARY 1993.

SITE AREA: 0.21 ACRE

PRECIPITATION ZONE: THREE (3)

PEAK INTENSITY: "I" = 5.38

LAND TREATMENT METHOD FOR CALCULATION OF "Q_p"

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.06	X 3.45	= 0.21
D	0.15	X 5.02	= 0.75

"Q_p" = 0.96 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.09	X 3.45	= 0.31
D	0.12	X 5.02	= 0.60

"Q_p" = 0.91 CFS *** 0.91 < 0.96 (DECREASE)

OFFSITE FLOWS ACCEPTED AND PASSED THROUGH:

0.25 ACRE X 5.02 = 1.26 CFS

LEGAL DESCRIPTION:

LOT NUMBERED ONE-A (1-A) OF THE PLAT OF LOTS 1-A, 1-B, AND 13-A, TUMBLEWEED PARK, ALBUQUERQUE, NEW MEXICO, (PLAT FILED: 07-19-88).

BENCH MARK REFERENCE:

ACS STATION "SUZAN": M.S.L. DATUM ELEVATION = 5444.49, (PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON).

GENERAL NOTES:

- 1.) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THE SURVEY FOR THIS "AS-BUILT" DRAINAGE PLAN.
- 2.) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN SHOWN ON THE PLAN HEREON.
- 3.) TOPOGRAPHY SURVEY INFORMATION SHOWN ON THE PLAN HEREON WAS OBTAINED FROM THE TOPOGRAPHY SURVEY MAP OF THE SUBJECT SITE BY HARRIS SURVEYING COMPANY, ALBUQUERQUE, NEW MEXICO.
- 4.) ALL IMPROVEMENTS SHOWN ON THE PLAN HEREON ARE "AS-BUILT EXISTING" IMPROVEMENTS.

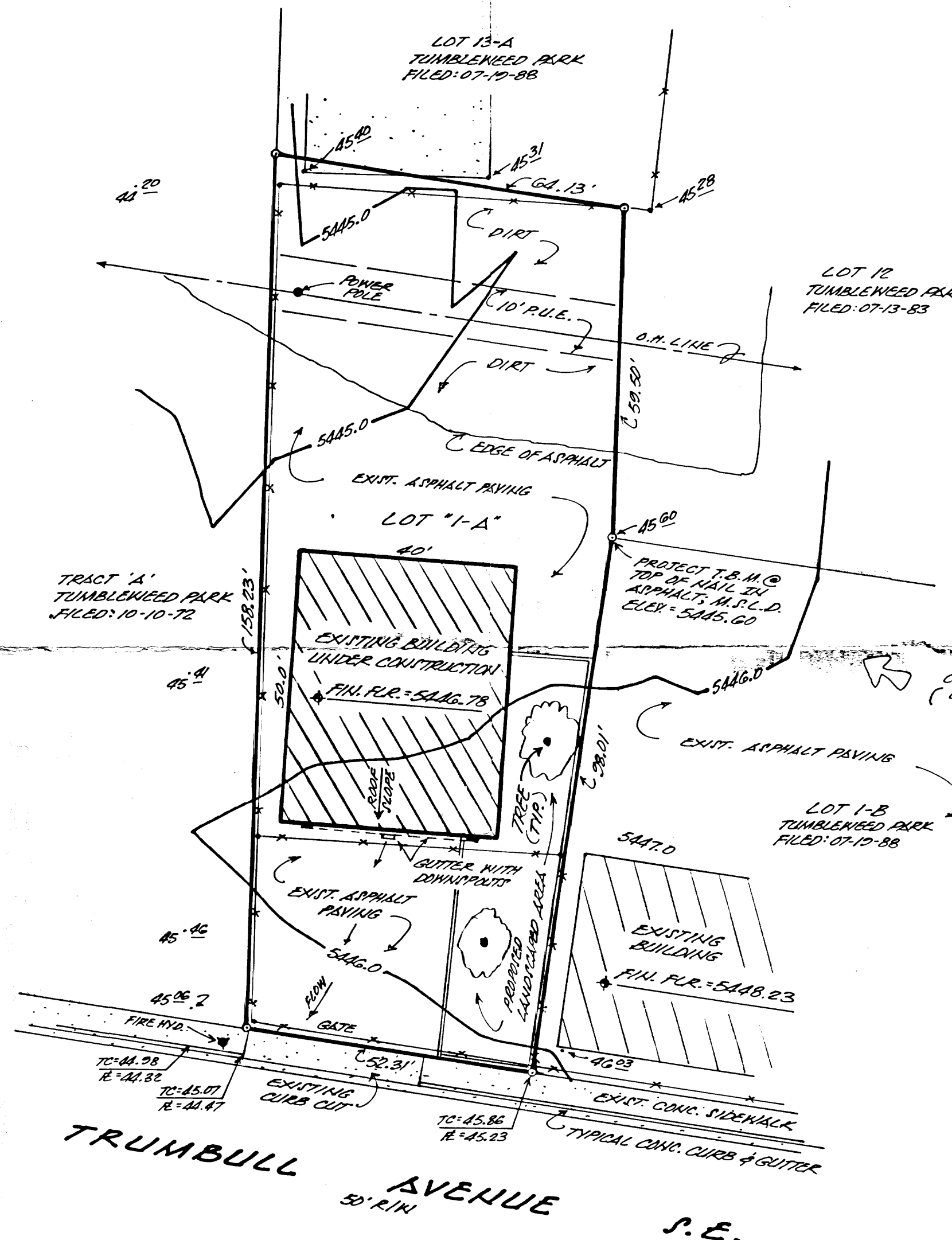
CONSTRUCTION NOTES:

- 1.) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 765-1234 FOR LOCATION OF EXISTING UTILITIES.
- 2.) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3.) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4.) ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL MEASURES:

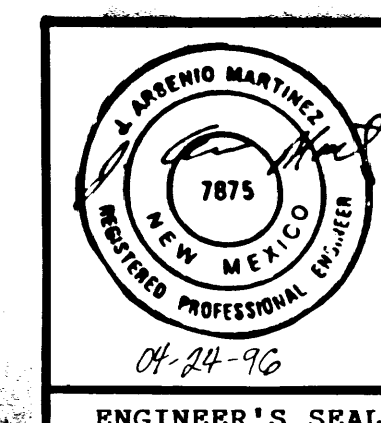
THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL INSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1.) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERM, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PRIVATE PROPERTIES OR PUBLIC RIGHT-OF-WAYS.
- 2.) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT WITHIN PUBLIC STREET RIGHT-OF-WAYS THAT HAVE BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.



LEGEND:

- EXISTING SPOT ELEVATION = 45.65
- EXISTING CONTOUR ELEVATION = 5446.0
- TOP OF CURB ELEVATION = 70' 45.07
- CURB FLOWLINE ELEVATION = 70' 44.47
- EXISTING FENCE LINE = 70' 44.47
- EXISTING FINISHED FLOOR ELEVATION = 70' 44.47



"AS-BUILT" DRAINAGE PLAN
FOR NEW BUILDING LOCATED AT
9909 TRUMBULL AVE. S.E.
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APRIL, 1996

