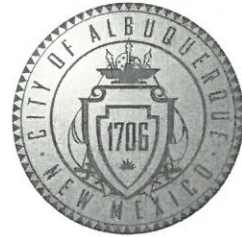


# CITY OF ALBUQUERQUE



January 25, 2017

Clint Wilsey, RA  
66 Architect, LLC  
3535 Princeton NE  
Albuquerque, NM 87107

**Re: Advance Auto  
10026 Central Ave. SE  
60-Day Temporary Certificate of Occupancy- Transportation Development  
Architect's Stamp dated 05-19-16 (L20-D056A)  
Certification dated 01-19-17**

Dear Mr. Wilsey,

Based upon the information provided in your submittal received 01-20-17, Transportation Development has no objection to the issuance of a 60-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. There are two accesses on the South side of the site, one on the West side and one on the East side. The accesses must have access agreements with the neighbor properties or they will need to be closed.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

LWP via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** \_\_\_\_\_  
**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

\_\_\_\_ HYDROLOGY/ DRAINAGE  
\_\_\_\_ TRAFFIC/ TRANSPORTATION  
\_\_\_\_ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

\_\_\_\_ ENGINEER/ ARCHITECT CERTIFICATION  
  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ CLOMR/LOMR  
  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

\_\_\_\_ BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATE OF OCCUPANCY  
  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
  
\_\_\_\_ PRE-DESIGN MEETING  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: \_\_\_\_ Yes \_\_\_\_ No

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_

# 66Architect

January 19, 2017

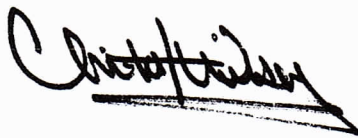
2041 S. Plaza St. NW  
Albuquerque, NM 87104  
Ph. 505.280.0043  
clint.wilsey@gmail.com

## TRAFFIC CERTIFICATION

I, Clinton J. Wilsey, NMPE OR NMRA 005139, OF THE FIRM 66Architect, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED TCL 6-23-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Clint Wilsey OF THE FIRM 66Architect, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON January 12, 2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR certificate of occupancy.

*Revisions that occurred during construction include relocating one parking space from the west side of the building (adjacent the building) to the south side row of parking (adjacent the building). Total parking count did NOT change.*

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



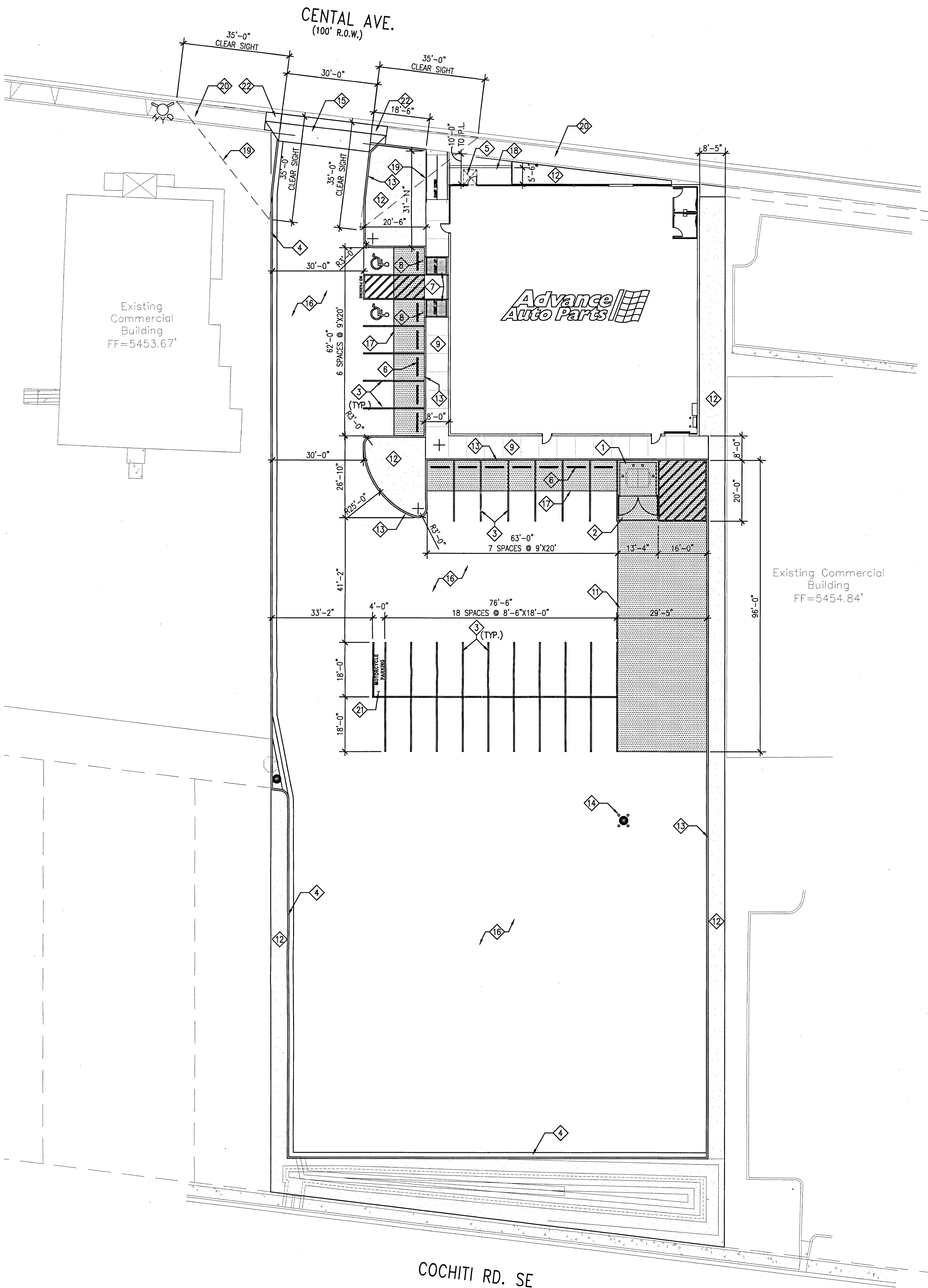
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

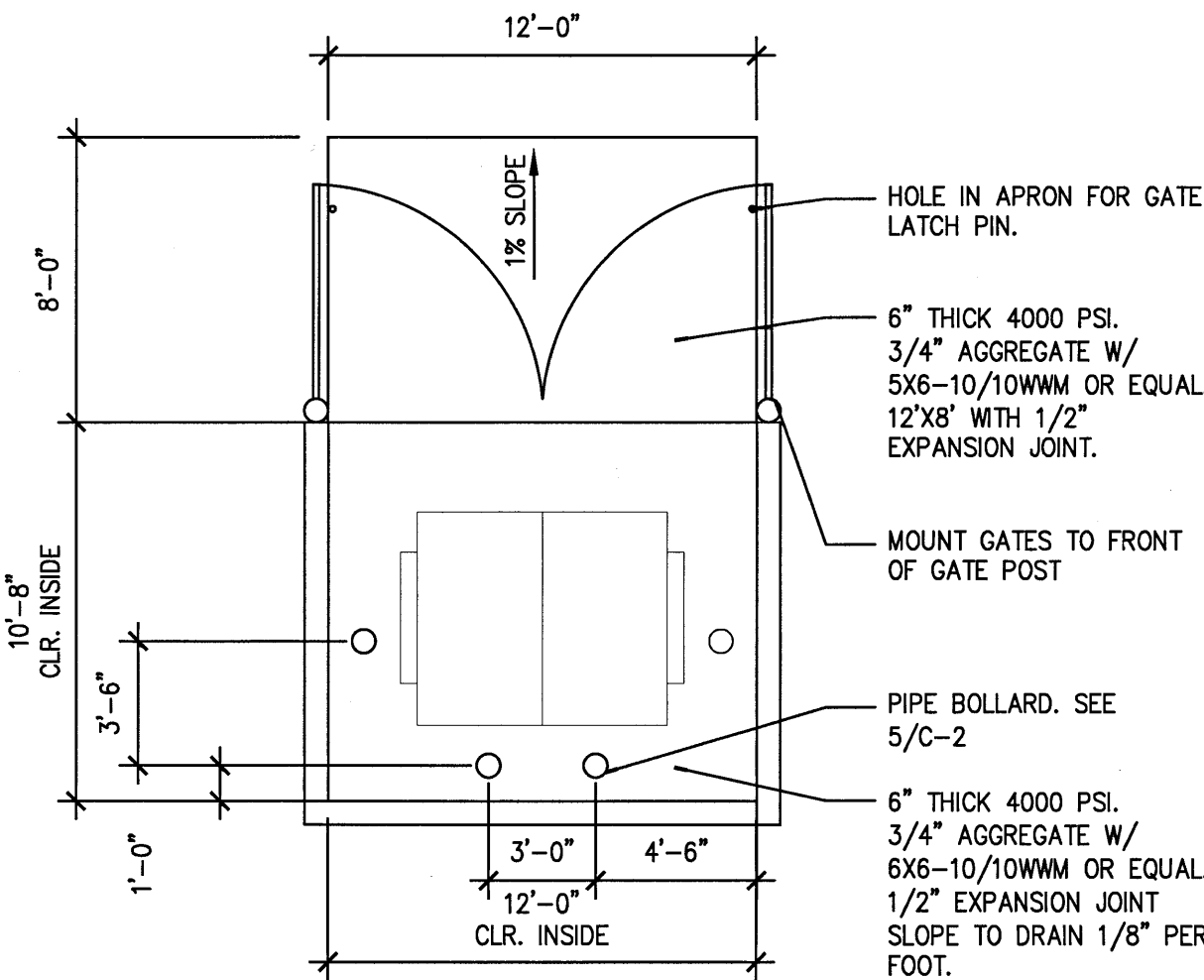
1-19-17  
Date



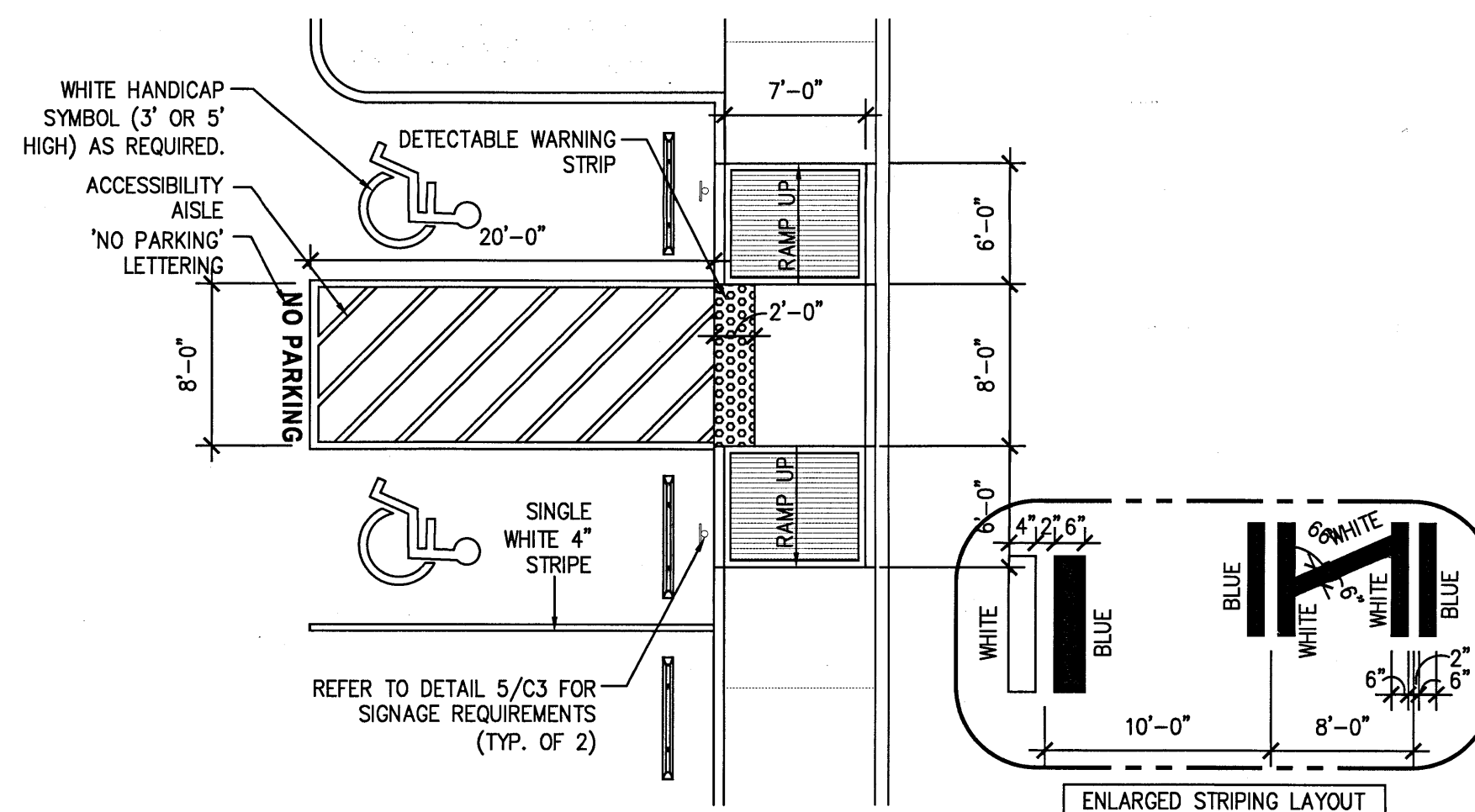




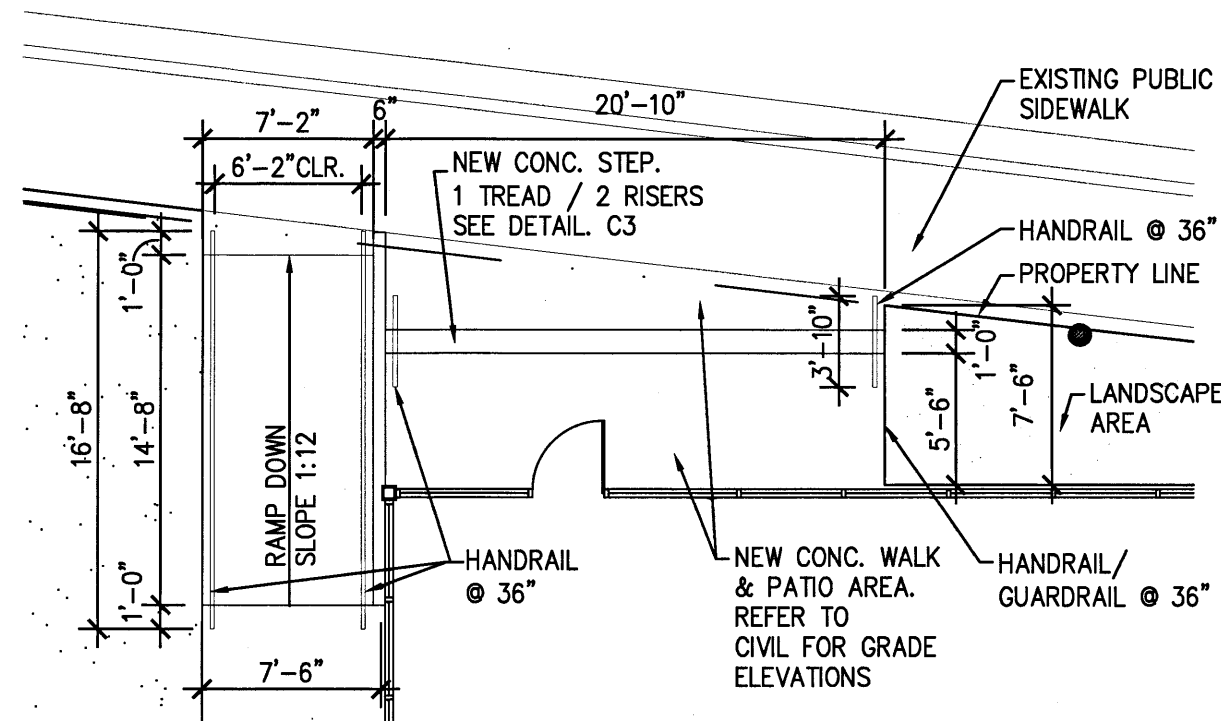
1 SITE PLAN  
C1 SCALE: 1" = 20'-0"



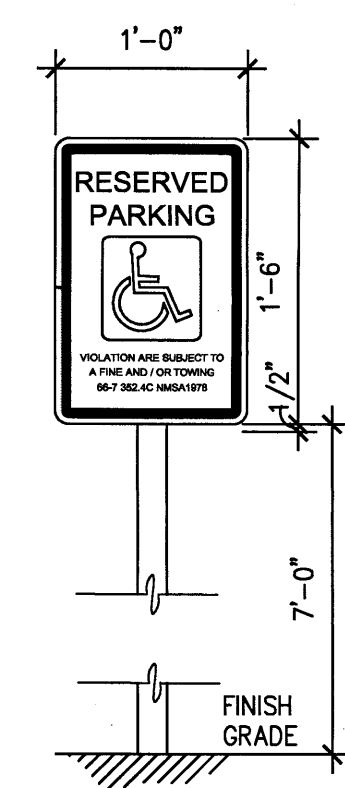
9 TYPICAL PAD LAYOUT  
C2 SCALE: 3/16" = 1'-0"



2 ENLARGED RAMP/STAIR PLAN  
C1 SCALE: 1/8" = 1'-0"



4 ENLARGED RAMP/STAIR PLAN  
C1 SCALE: 1/8" = 1'-0"

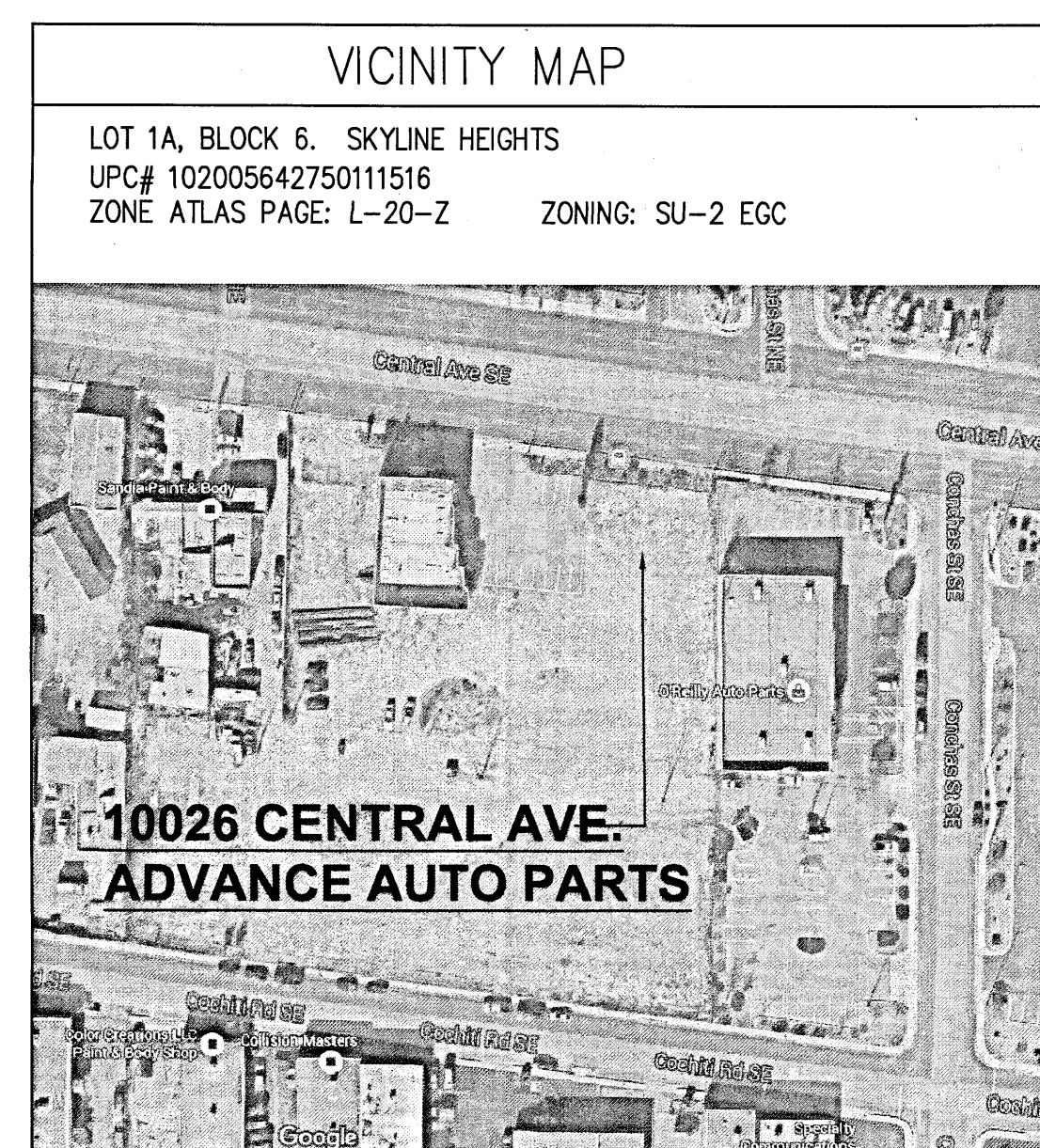


5 HANDICAP SIGNAGE  
C3 SCALE: 1" = 1'-0"

| SITE DATA                                                    |                     |          |
|--------------------------------------------------------------|---------------------|----------|
| <b>SITE AREA</b>                                             |                     |          |
| TOTAL LOT SQ. FT. = 52,442 SF./CONSTRUCTION AREA = 52,442 SF |                     |          |
| TOTAL LOT ACRES = 1.20 ACRES/CONSTRUCTION AREA = 1.20 ACRES  |                     |          |
| BUILDING 6,889 SF                                            | 13% OF TOTAL AREA   |          |
| PAVEMENT 36,461 SF                                           | 69% OF TOTAL AREA   |          |
| GREEN/OPEN SPACE 9,091 SF                                    | 17% OF TOTAL AREA   |          |
| <b>BUILDING SETBACKS</b>                                     |                     |          |
| FRONT 0'-10" MAX                                             | REQUIRED 0'-10" FT. | PROVIDED |
| REAR 15' MIN                                                 | ±260' FT.           |          |
| SIDE 0'-10" MAX                                              | 8'-5" FT.           |          |
| SIDE 0'-10" MAX                                              | 58'-6" FT.          |          |
| <b>MAXIMUM BUILDING HEIGHT</b> 65 FT. MAX                    |                     |          |
| <b>PARKING</b>                                               |                     |          |
| 1 PER 200F @ 6889                                            | = 34 SPACES         |          |
| W/10% PARKING REDUCTION FOR PROXIMITY TO BUS STOP            | = 31 SPACES REQ'D   |          |
| TOTAL PROVIDED                                               | 31 SPACES           |          |
| HANDICAP PARKING                                             | 2 SPACES            |          |
| MOTORCYCLE PARKING                                           | 1 SPACE             |          |

#### SITE ARCHITECTURAL KEY NOTES:

- DUMPSTER ENCLOSURE. SEE DETAIL 9/C2
- INSTALL NEW 6" THICK CONCRETE LOADING PAD OF 4000 PSI BROOM FINISHED CONCRETE W/ 3/4" AGGREGATE W/ 6"x6"x W2.1/2.1 WMM STEEL REINFORCEMENT. SLOPE AWAY FROM BUILDING 1/8" PER FOOT FOR POSITIVE DRAINAGE. REFER TO DETAIL 9/C2. PLACE OVER 4" COMPACTED BASE COURSE OVER 12" OF STRUCTURAL FILL. REFER TO GEOTECHNICAL REPORT.
- ASPHALT PAVEMENT PARKING LINES 4" WIDE PAINTED WHITE WITH TWO (2) COATS OF SHERWIN WILLIAMS "HOTLINE" FAST DRYING TRAFFIC MARKING PAINT. HANDICAP PARKING & HANDICAP SYMBOL TO BE PAINTED COLOR & SIZE AS REQUIRED BY THE GOVERNING ACCESSIBILITY CODE. CONCRETE PAVED PARKING LINES FOR ACCESSIBLE SPACES SHALL BE THE SAME AS ABOVE EXCEPT USE BLUE OR YELLOW PAINT. REFER TO DETAILS 1/C3 AND 2/C3 FOR ADDITIONAL INFORMATION.
- CONSTRUCT 6" HIGH CONC. CURB & GUTTER CONTINUOUS AROUND SITE. BACKFILL TO TOP OF CURB. REFER TO DETAIL 3/C2. PROVIDE CATCH & SPILL WHERE APPLICABLE.
- 54"x60" CLEAR APPROACH AREA
- ANCHOR DOWN CONCRETE WHEEL STOPS 30" FROM FACE OF CONCRETE WALK/SIDEWALK. REFER TO DETAIL 10/C2.
- PROVIDE HANDICAP RAMP WHEN PAVING IS NOT FLUSH WITH ENTRY SIDEWALK PER FEDERAL & LOCAL ACCESSIBILITY REQUIREMENTS. REFER TO DETAILS ON SHEET C3.
- HANDICAP PARKING SIGN FOR SPACES ADJACENT TO BUILDING ENTRANCE. REFER TO DETAIL 5/C3.
- NEW BROOM FINISHED CONCRETE SIDEWALK SLOPED AWAY FROM BUILDING 1/8" PER FOOT FOR POSITIVE DRAINAGE.
- NEW CONCRETE ADA ACCESSIBLE RAMP. 1:12 SLOPE MIN. W/ HANDRAILS @ 36" ON EA. SIDE. SEE DETAIL 3&4/C1
- 6" PORTLAND CEMENT CONCRETE OVER 4" COMPACTED BASE COURSE OVER 12" STRUCTURAL FILL REFER TO GEOTECHNICAL REPORT
- LANDSCAPING
- CONCRETE CURB, REFER TO DETAIL 7/C2 FOR ADDITIONAL INFORMATION.
- PROVIDE BOLLARDS AT ALL EXTERIOR MOUNTED METERING DEVICES. (GAS, WATER, ELECTRIC) AND OVERHEAD UTILITY POLES M.M. (2) TWO AS REQUIRED - SEE DETAIL 5/C2.
- NEW CURB CUT & DRIVE PAD. REFER TO COA STANDARD DWG. 2425
- ASPHALT/CONCRETE PAVEMENT (3" ASPHALTIC CONCRETE OVER 3" AGGREGATE BASE COURSE OVER 12" STRUCTURAL FILL) REFER TO GEOTECHNICAL SPECIFICATIONS.
- 6" CONCRETE APRON WITH 6" X 6" X 1/2" W.W.F. STEEL REINFORCEMENT. USE 4000 PSI CONCRETE MIX. DO NOT USE SLAG OR FLY ASH FOR CEMENTITIOUS MATERIAL. PLACE OVER 4" COMPACTED BASE COURSE OVER 12" OF STRUCTURAL FILL. REFER TO GEOTECHNICAL SPECIFICATIONS
- NEW CONCRETE STAIRS WITH HANDRAILS AT 36" ON EA. SIDE. SEE DETAIL 2&4/C1
- CLEAR SIGHT TRIANGLE PER CITY OF ABO DEVELOPMENT PROCESS MANUAL, CHAPTER 23, SECT. 3, PART. D5 INTERSECTION SIGHT DISTANCE. NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- EXISTING 6" PUBLIC SIDEWALK
- EXISTING FIRE HYDRANT
- MOTORCYCLE PARKING ONLY SIGN
- ACCESSIBLE SIDEWALK RAMP AT NEW DRIVE PAD. REFER TO COA STANDARD DRAWING 2425



TRAFFIC CIRCULATION LAYOUT  
APPROVED  
Signature: [Signature] Date: 4/23/16

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

**Advance Auto Parts**  
STORE # 103009  
10026 CENTRAL AVE. SE  
ALBUQUERQUE, NM 87117

| REV | DATE | DESCRIPTION |
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TRAFFIC CIRCULATION LAYOUT  
TCL