

CITY OF ALBUQUERQUE



January 23, 2017

Verlyn Miller, PE
Miller Engineering Consultants
3500 Comanche NE Bldg. F
Albuquerque, NM 87110

**Re: Advance Auto Parts
10026 Central Ave. SE
Request for Permanent C.O. - Accepted
Engineer's Stamp dated: 5-19-16 (L20D056A)
Certification dated: 12-22-16**

Dear Mr. Miller,

Based on the Certification received 1/11/2017, the site is acceptable for release of a permanent Certificate of Occupancy by Hydrology.

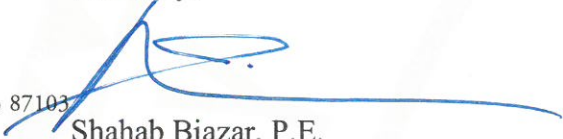
PO Box 1293

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

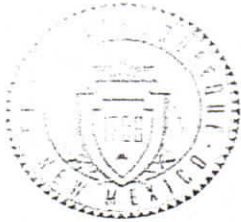
New Mexico 87103


Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

www.cabq.gov

TE/SB

C: email, Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.;
Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: ADVANCED AUTO PARTS/10026 CENTRAL Building Permit #: _____ City Drainage #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOTS 2, 3 & 9, 10 BLOCK 6 & LOTS 4 AND 5 BLOCK 5 SKYLINE HEIGHTS
City Address: 10026 CENTRAL AVE. SE ALBUQUERQUE, NM 87117
Engineering Firm: MILLER ENGINEERING CONSULTANTS, INC Contact: JOHN JACQUEZ
Address: 3500 COMMERCIAL NE, BLDG F, ALBUQUERQUE NM 87107
Phone: 505-988-1500 Fax: 505-988-3800 E-mail: JJACQUEZ@MECA.M.COM
Owner: ADVANCED AUTO PARTS Contact: _____
Address: 10026 CENTRAL AVE. SE ALBUQUERQUE NM 87117
Phone: SEE AGENT Fax: _____ E-mail: _____
Architect: CLARK ARCHITECT, LLC Contact: CLINT WILSON
Address: 2041 S. PLUM ST. NW ALBUQUERQUE, NM 87114
Phone: 505-280-0043 Fax: 505-280-0043 E-mail: CLINTWILSON@GMAIL.COM
Other Contact: _____ Contact: _____
Address: _____
Phone: _____ Fax: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY DRAINAGE
☐ TRAFFIC TRANSPORTATION
☐ MS4 EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR LOMR

- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR LOMR

☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? ☐ Yes ☐ No

DATE SUBMITTED 1-11-2017 By John Jacques

COX STAFF ELECTRONIC SUBMITTAL RECEIVED: _____

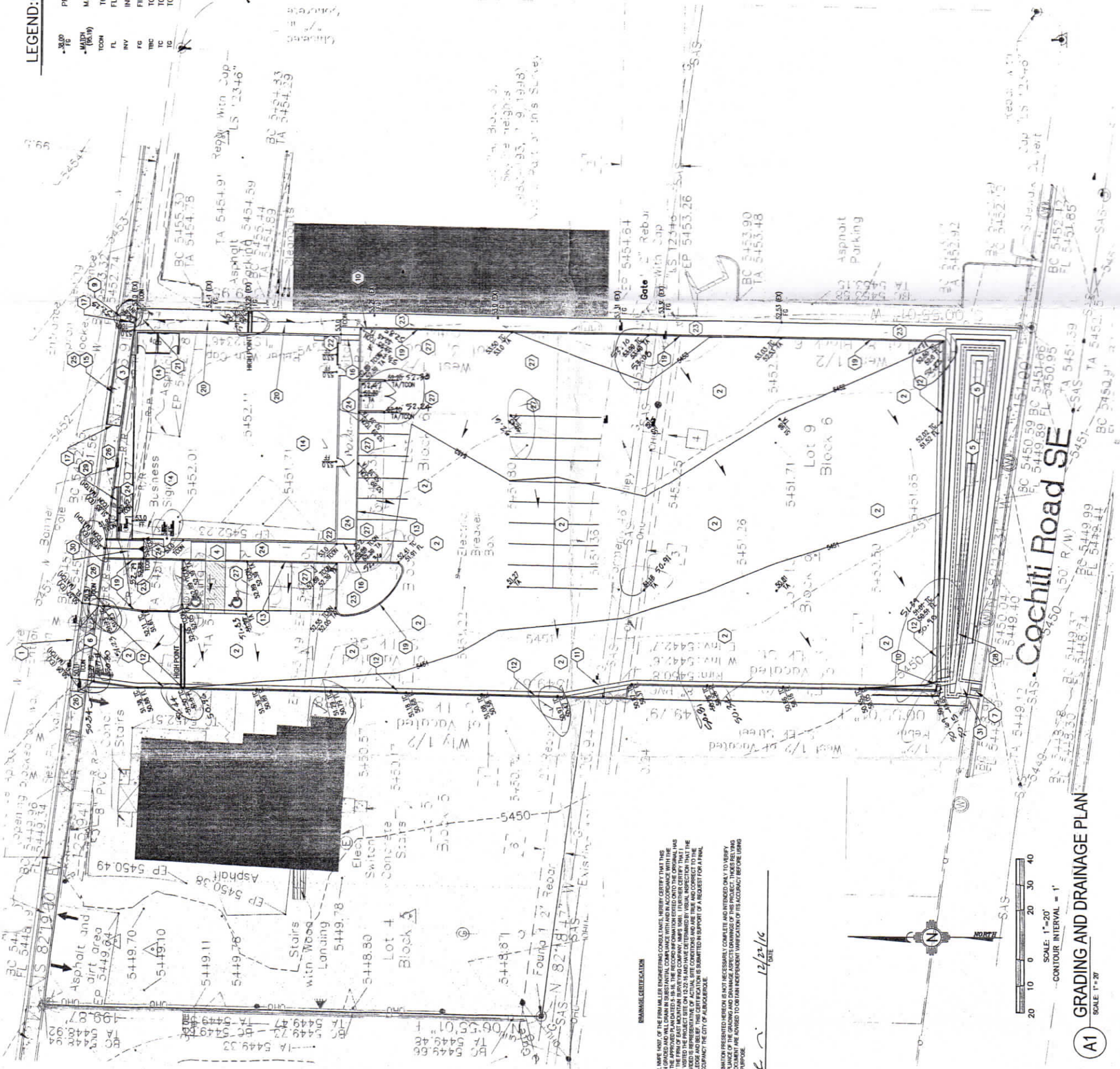
LEGEND:

- PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH EXISTING ELEVATIONS
- TOP OF CONCRETE
- FLOW LINE, CURB
- INVERT
- FINISH GRADE
- TOP OF BASE COURSE
- TOP OF CURB
- TOP OF GRADE
- FLOW ARROW
- GRADE BREAK-HIGH POINT
- SWALE
- STORM DRAIN LINE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR

KEYED NOTES:

- MATCH NEW TOP OF CONCRETE VALLEY GUTTER WITH EXISTING ASPHALT PAVEMENT. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS AND LOCATION PRIOR TO CONSTRUCTION.
- NEW HEAVY DUTY ASPHALT PAVEMENT SECTION. SEE SECTION DETAILS ON ARCHITECTURAL PLANS AND IN THE GEOTECHNICAL REPORT.
- NEW CONCRETE SIDEWALK, AS PER COA STANDARD DWG 2430. CONTRACTOR SHALL SUBMIT A MATCH LINE DRAWING TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- NEW TYPE A HANDICAP RAMP, SEE DETAIL C1 ON SHEET C-501.
- NEW WATER HARVEST AREA 1. TOP=49.2, INV=46.0. RECD. VOL.=1283 CY PROVIDED VOL. @ 48.8=1437 CF. SIDE SLOPE 2:1 WITH FILTER FABRIC AND 6" OF 2-3" COBBLE STONES. SEE DETAIL B4 ON SHEET C-501.
- NEW CONCRETE DRIVEPAD, AS PER COA STANDARD DETAIL 2256. CONTRACTOR SHALL USE SEC DO ALT FOR ADA COMPLIANCE.
- NEW EMERGENCY SPILLWAY, NEW 2'-24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP. INV=48.8, TOP=EXIST SIDEWALK (FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION) INV. SLOPE AT 2% MIN. AS PER COA STANDARD DETAIL 2236.
- NOT USED
- NEW 24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP. INV=52.5, TOP=EXISTING SIDEWALK (FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION) INV. SLOPE AT 2% MIN. AS PER COA STANDARD DETAIL 2236.
- 36" WIDE CURB CUT.
- NEW 36" CONCRETE VALLEY GUTTER. SEE DETAIL C1 ON SHEET C-501.
- NEW CURB AND GUTTER. SEE ARCHITECTURAL PLANS FOR DETAIL.
- NEW THICKENED EDGE ON CONCRETE SIDEWALK. SEE ARCHITECTURAL PLANS FOR DETAIL.
- NEW BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- MATCH EXISTING TOP BACK OF CURB WITH TOP OF CONCRETE ELEVATION. AND SLOPE @ 2% UP MAXIMUM.
- NEW 24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP TO RECEIVE ROOF DOWNSPOUT. (IN)=53.0 TOP (OUT)=52.89 INV(IN)=52.5 INV (OUT)=52.39. CONTRACTOR SHALL FIELD VERIFY WITH ROOFING CONTRACTOR TO LOCATION OF DOWNSPOUT PRIOR TO CONSTRUCTION. AS PER COA STANDARD DETAIL 2236.
- SAWTOOTH EXISTING SIDEWALK TO NEAREST CONSTRUCTION JOINT AND MATCH WITH NEW CONCRETE SIDEWALK.
- NEW 5'x5'x18" THICK LOOSE RIP RAP PAD. SEE SHEET C-501 FOR DETAILS.
- NEW CONCRETE HEADER CURB. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW CONCRETE SWALE. SEE DETAIL B1 ON SHEET C-501 FOR DETAILS.
- 5' TRANSITION FROM CONCRETE SWALE TO CONCRETE SIDEWALK CULVERT.
- ROOF DRAIN LOCATION.
- LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW CONCRETE SIDEWALK/FLATWORK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW CURB AND GUTTER. MATCH EXISTING CURB AND GUTTER SECTION AND ELEVATIONS.
- EXISTING SIDEWALK TO REMAIN.
- NEW HEAVY DUTY CONCRETE PAVEMENT SECTION. SEE SECTION DETAILS ON ARCHITECTURAL PLANS AND IN THE GEOTECHNICAL REPORT.
- NEW LOOSE RIP RAP RUNDOWN. SEE DETAIL ON SHEET C-501.
- NEW STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW HANDICAP RAMP WITH HANDRAILS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONTRACTOR SHALL TRANSITION FROM TOP OF WATER HARVEST AREA TO NEW OPENING ON 2'-24" SIDEWALK CULVERTS WITH STEEL PLATE.

NOTE TO CONTRACTOR: ALL EXISTING UTILITIES THAT ARE BEING AFFECTED BY NEW IMPROVEMENTS ON THIS PROJECT SHALL ADJUST THEM TO GRADE. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AS NECESSARY FOR ALL ADJUSTMENTS TO EXISTING UTILITIES.



DRAINAGE CERTIFICATION

I, VERINA MILLER, being duly sworn, depose and say that the information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. I have not been compensated for my services as a consultant and I am not an independent contractor. I am not a party to this project and I am not a party to any other project. I am not a party to any other project.

VERINA MILLER
12/22/16
DATE



A1 GRADING AND DRAINAGE PLAN

SCALE 1"=20'



Advance Auto Parts
10026 CENTRAL AVE. SE
ALBUQUERQUE, NM 87117

STORE #

REVISIONS	DESCRIPTION	DATE	REV

DATE	4-1-16
DRAWN BY	VERINA MILLER
CHECKED BY	VERINA MILLER
PROJECT NO.	14307
PROJECT NAME	10026 CENTRAL AVE. SE
PROJECT LOCATION	ALBUQUERQUE, NM 87117
PROJECT AREA	10026 CENTRAL AVE. SE
PROJECT TOTAL	9,889 SF.

VERINA MILLER
14307
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER

66ARCHITECT, LLC
Carl Wilsey, Architect
carl.wilsey@gmail.com
505.280.0043

GRADING AND DRAINAGE PLAN

C-101