

SITE LOCATION
ADVANCE AUTO PARTS IS LOCATED AT 10026 CENTRAL AVENUE S.E. IN ALBUQUERQUE, NM. THE BOUNDARY IS RECTANGULAR IN SHAPE AND BOUNDED BY VACANT COMMERCIAL TO THE WEST, EXISTING BUSINESS TO THE EAST, CENTRAL AVENUE TO THE NORTH AND COCHITI ROAD TO THE SOUTH.

EXISTING ON SITE CONDITIONS
THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING ASPHALT PAVED PARKING AREA. THE SITE IS ACCESSED FROM CENTRAL AVENUE S.E. ON THE NORTH SIDE OF THE SITE. THE PROPERTY HAS ONE DRAINAGE BASINS, WHICH IS IDENTIFIED AS BASIN A. THIS REPORT FOCUSES ON THE PRE AND POST HYDROLOGY. BASIN A DRAINS TO WEST ONTO THE NEIGHBORING LOT VIA SURFACE FLOWS. THE DRAINAGE DATA ON THIS PAGE SUMMARIZES THE EXISTING PEAK DISCHARGE AND RUNOFF VOLUME FOR BASIN A.

PROPOSED CONDITIONS
THE PROPOSED DEVELOPMENT OF THE SITE WILL CONSIST OF 6889 SQUARE FOOT BUILDING, ASSOCIATED CONCRETE FLATWORK, SIDEWALKS, ASPHALT PARKING LOT, AND LANDSCAPING. THE PROPOSED IMPROVEMENTS ARE ALL LOCATED IN PROPOSED DRAINAGE BASIN A. A SMALL PORTION OF OF BASIN A WILL FREE DISCHARGE INTO CENTRAL AVENUE VIA SURFACE FLOW. THE REMAINDER OF BASIN A, INCLUDING THE PROPOSED BUILDING WILL DISCHARGE INTO INTO THE WATER HARVEST AREA (RETENTION) ALONG THE SOUTH PORTION OF THE PROPERTY. THE DRAINAGE DATA ON THIS PAGE SUMMARIZES THE PROPOSED PEAK DISCHARGE AND RUNOFF VOLUME FOR BASIN A.

OFFSITE FLOWS
THERE ARE NO OFFSITE FLOWS THAT DRAIN ONTO THE SITE.

CONCLUSION
RUNOFF VOLUME AND FLOW RATE INCREASED AS A RESULT OF CHANGES IN LAND TREATMENTS FOR BASIN A BY 0.15 ACRE FEET AND THE PEAK FLOW RATE HAS INCREASED BY 2.39 CFS.

THE PROPOSED GRADING IMPROVEMENTS WILL INCLUDE SIDEWALK CULVERTS, VALLEY GUTTERS, CURB AND GUTTERS AND CURB CUTS ALLOWING STORMWATER INTO AND OUT OF THE PROPOSED WATER HARVESTING AREA. THIS WATER HARVESTING AREA WILL BE USED TO MANAGE THE FIRST FLUSH AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. THE VOLUME OF THE FIRST FLUSH FOR THE SITE (0.44--0.1 INCHES * IMPERVIOUS AREA)= 1283 cf. THE WATER HARVEST AREA VOLUME = 1437 cf (@ SPILLWAY INVERT) > 1283 cf. THEREFOR MANAGES THE FIRST FLUSH. (SEE CALCULATIONS BELOW). ALL POSSIBLE IMPERVIOUS AREAS WILL BE DISCHARGED THROUGH THE PROPOSED WATER HARVEST AREA.

GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY WAYJOHN SURVEYING, INC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- ACS MONUMENT "5_K20" BENCH MARK ELEV. 5429.99 (NAVD 1988)

TBM SET PK NAIL ELEV. 5451.72.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- APPROX. HALF OF SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (SOUTH EASTERN 2/5 OF 4TH STREET FRONTAGE). THE REMAINING WESTERN AND NORTHERN PORTION OF THE PROPERTY IS LOCATED IN ZONE X (500 YEAR) DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 0332G.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."

- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.

- THE CONTRACTOR SHALL SUBMIT A SEED MIX DESIGN TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO STARTING THE SEEDING ON THE PROJECT. THE SEED MIX DESIGN SHALL BE A SEED MIX RECOMMENDED BY THE NRCS FIELD OFFICE REPRESENTATIVE THAT IS APPROPRIATE FOR THE PROJECT LOCATION. ALL DISTURBED AREAS WITH SLOPES LESS THAN 3:1 SHALL RECEIVE CLASS "A" SEEDING. ALL DISTURBED AREAS WITH SLOPES EQUAL TO OR GREATER THAN 3:1 SHALL RECEIVE STEEP SLOPE SEEDING. THE STEEP SLOPE SEEDING SHALL CONSIST OF SEEDING IN CONJUNCTION WITH A 100% COCONUT FIBER BLEND EROSION BLANKET (NORTH AMERICAN GREEN C125) OR APPROVED EQUAL. ALL MATERIALS, EQUIPMENT AND LABOR ASSOCIATED WITH THE PROPER CONSTRUCTION OF THE STEEP SLOPE SEEDING WILL BE CONSIDERED INCIDENTAL AND NO SEPARATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THIS MATERIAL OR WORK. THE COCONUT FIBER EROSION BLANKET AND ASSOCIATED SEEDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND APPROVED BY THE PROJECT ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

SPECIAL ORDER 19

DRAINAGE FACILITIES WITHIN THE CITY
RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 - HOUR BASIS.

WATER HARVEST VOLUMES

WATER HARVEST AREA 1 proposed				
Pond Rating Table				
Side Slope 2:1				
Depth	Area	Volume	Cum Volume	
(ft)	(sq ft)	(ac-ft)	(ac-ft)	
46	62	0.001	0.000	0.000
47	396	0.009	0.005	0.005
48	935	0.021	0.015	0.021
48.5	1224	0.028	0.012	0.033
49	1521	0.035	0.016	0.049
			spillway	
			top of pond	

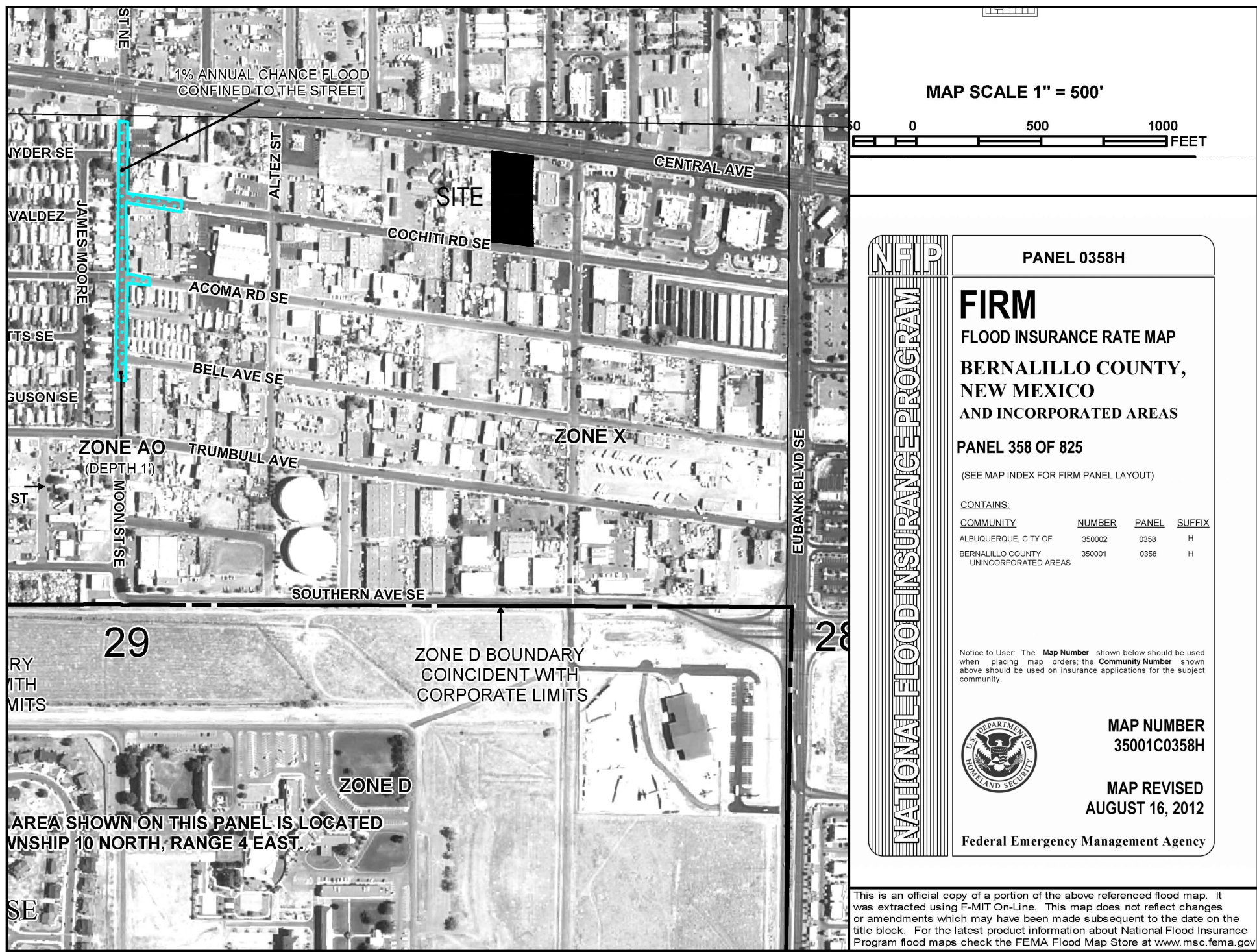
DRAINAGE DATA

Precipitation Zone 3 - 100-year Storm										P(360) =		2.6 in		P(1440) =		3.1 in	
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)								
		A	B	C	D												
Existing Conditions																	
A	1.20	0.62	0.00	0.44	0.14	1.09	0.109	0.115	3.38								
Total	1.20								3.38								
Proposed Conditions																	
A	1.20	0.00	0.00	0.16	1.04	2.22	0.222	0.265	5.77								
Total	1.20								5.77								

Precipitation Zone 3 - 10-year Storm P(360) = 1.73 in P(1440) = 2.07 in									
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(10-6) (af)	V(10-24) (af)	Q(10) (cfs)
		A	B	C	D				
Existing Conditions									
A	1.20	0.62	0.00	0.44	0.14	0.50	0.050	0.054	1.71
Total	1.20								1.71
Proposed Conditions									
A	1.20	0.00	0.00	0.16	1.04	1.38	0.138	0.167	3.85
Total	1.20								3.85

C1 VICINITY MAP

ZONE ATLAS MAP H-17-C



A1 FLOOD ZONE MAP

FLOOD ZONE MAP: 35001C0358H



Advance Auto Parts
10026 CENTRAL AVE. SE
ALBUQUERQUE, NM 87117
STORE # -

REVISIONS		DESCRIPTION	
REV	DATE		

DATE	GROSS SQ. FT.
4-1-16	6,889 SF.

PROJECT: e AA 16_002
DRAWN BY: Clint Wilsey
CHECK BY: Clint Wilsey

VERSION Q4- 83x83

ALL REPORTS, PLANS, SPECIFICATIONS, FIELD DATA, NOTES AND OTHER DOCUMENTS, INCLUDING ALL DOCUMENTS ON ELECTRONIC MEDIA, PREPARED BY THE DESIGN PROFESSIONAL AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. DISSEMINATION MAY NOT BE MADE WITHOUT PRIOR CONSENT OF THE DESIGN PROFESSIONAL. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE, ARE HEREBY SPECIFICALLY RESERVED.

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GRADING AND
DRAINAGE
REPORT

C-100

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LEGEND:

38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	=====	GRADE BREAK-HIGH POINT
MATCH (95.19)	MATCH EXISTING ELEVATIONS	----	SWALE
TCO	TOP OF CONCRETE	-----SD-----	STORM DRAIN LINE
FL	FLOW LINE, CURB		
INV	INVERT		
FG	FINISH GRADE	-----5895-----	PROPOSED MAJOR CONTOUR
TBC	TOP OF BASE COURSE	-----5895-----	PROPOSED MINOR CONTOUR
TC	TOP OF CURB	-----5895-----	EXISTING MAJOR CONTOUR
TG	TOP OF GRATE	-----5895-----	EXISTING MINOR CONTOUR
	FLOW ARROW		

KEYED NOTES:

- MATCH NEW TOP OF CONCRETE VALLEY GUTTER WITH EXISTING ASPHALT PAVEMENT AT THE LIP OF EXISTING CURB. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS AND LOCATION PRIOR TO CONSTRUCTION.
- NEW HEAVY DUTY ASPHALT PAVEMENT SECTION. SEE SECTION DETAILS ON ARCHITECTURAL PLANS AND IN THE GEOTECHNICAL REPORT.
- NEW CONCRETE SIDEWALK. AS PER COA STANDARD DWG 2430. CONTRACTOR SHALL SUBMIT A JOINT PATTERN TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- NEW TYPE A HANDICAP RAMP. SEE DETAIL C1 ON SHEET C-501.
- NEW WATER HARVEST AREA 1. TOP=49.2, INV=46.0. REQ'D. VOL.=1283 CY PROVIDED VOL. @ 48.8=1437 CF. SIDE SLOPE 2:1 WITH FILTER FABRIC AND 6" OF 2-3" COBBLE STONES. SEE DETAIL B4 ON SHEET C-501.
- NEW CONCRETE DRIVEPAD. AS PER COA STANDARD DETAIL 2236, CONTRACTOR SHALL USE SEC DD ALT FOR ADA COMPLIANCE.
- NEW EMERGENCY SPILLWAY, NEW 2'-24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP. INV=48.8, TOP=EXIST SIDEWALK (FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION) INV. SLOPE AT 2% MIN. AS PER COA STANDARD DETAIL 2236.
- NOT USED
- NEW 24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP. INV=52.5, TOP=EXISTING SIDEWALK (FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION) INV. SLOPE AT 2% MIN. AS PER COA STANDARD DETAIL 2236.
- 36" WIDE CURB CUT.
- NEW 36" CONCRETE VALLEY GUTTER. SEE DETAIL ON SHEET C-501.
- NEW CURB AND GUTTER. SEE ARCHITECTURAL PLANS FOR DETAIL.
- NEW THICKENED EDGE ON CONCRETE SIDEWALK. SEE ARCHITECTURAL PLANS FOR DETAIL.
- NEW BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- MATCH EXISTING TOP BACK OF CURB WITH TOP OF CONCRETE ELEVATION. AND SLOPE @ 2% UP MAXIMUM.
- NEW 24" WIDE SIDEWALK CULVERT WITH STEEL PLATE TOP TO RECEIVE ROOF DOWNSPOUT. (IN)=53.0 TOP (OUT)=52.89 INV(IN)=52.5 INV (OUT)=52.39. CONTRACTOR SHALL FIELD VERIFY WITH ROOFING CONTRACTOR TO LOCATION OF ROOF DOWNSPOUT PRIOR TO CONSTRUCTION. AS PER COA STANDARD DETAIL 2236.
- SAWCUT EXISTING SIDEWALK TO NEAREST CONSTRUCTION JOINT AND MATCH WITH NEW CONCRETE SIDEWALK.
- NEW 5'x5'x18" THICK LOOSE RIP RAP PAD. SEE SHEET C-501 FOR DETAILS.
- NEW CONCRETE HEADER CURB. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW CONCRETE SWALE. SEE DETAIL B1 ON SHEET C-501 FOR DETAILS.
- 5' TRANSITION FROM CONCRETE SWALE TO CONCRETE SIDEWALK CULVERT.
- ROOF DRAIN LOCATION.
- LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW CONCRETE SIDEWALK/FLATWORK. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW CURB AND GUTTER. MATCH EXISTING CURB AND GUTTER SECTION AND ELEVATIONS.
- EXISTING SIDEWALK TO REMAIN.
- NEW HEAVY DUTY CONCRETE PAVEMENT SECTION. SEE SECTION DETAILS ON ARCHITECTURAL PLANS AND IN THE GEOTECHNICAL REPORT.
- NEW LOOSE RIP RAP RUNDOWN. SEE DETAIL ON SHEET C-501.
- NEW STAIRS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- NEW HANDICAP RAMP WITH HANDRAILS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONTRACTOR SHALL TRANSITION FROM TOP OF WATER HARVEST AREA TO NEW OPENING ON 2'-24" SIDEWALK CULVERTS WITH STEEL PLATE.

NOTE TO CONTRACTOR: ALL EXISTING UTILITIES THAT ARE BEING AFFECTED BY NEW IMPROVEMENTS ON THIS PROJECT SHALL ADJUST THEM TO GRADE. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES AS NECESSARY FOR ALL ADJUSTMENTS TO EXISTING UTILITIES.



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STORE #

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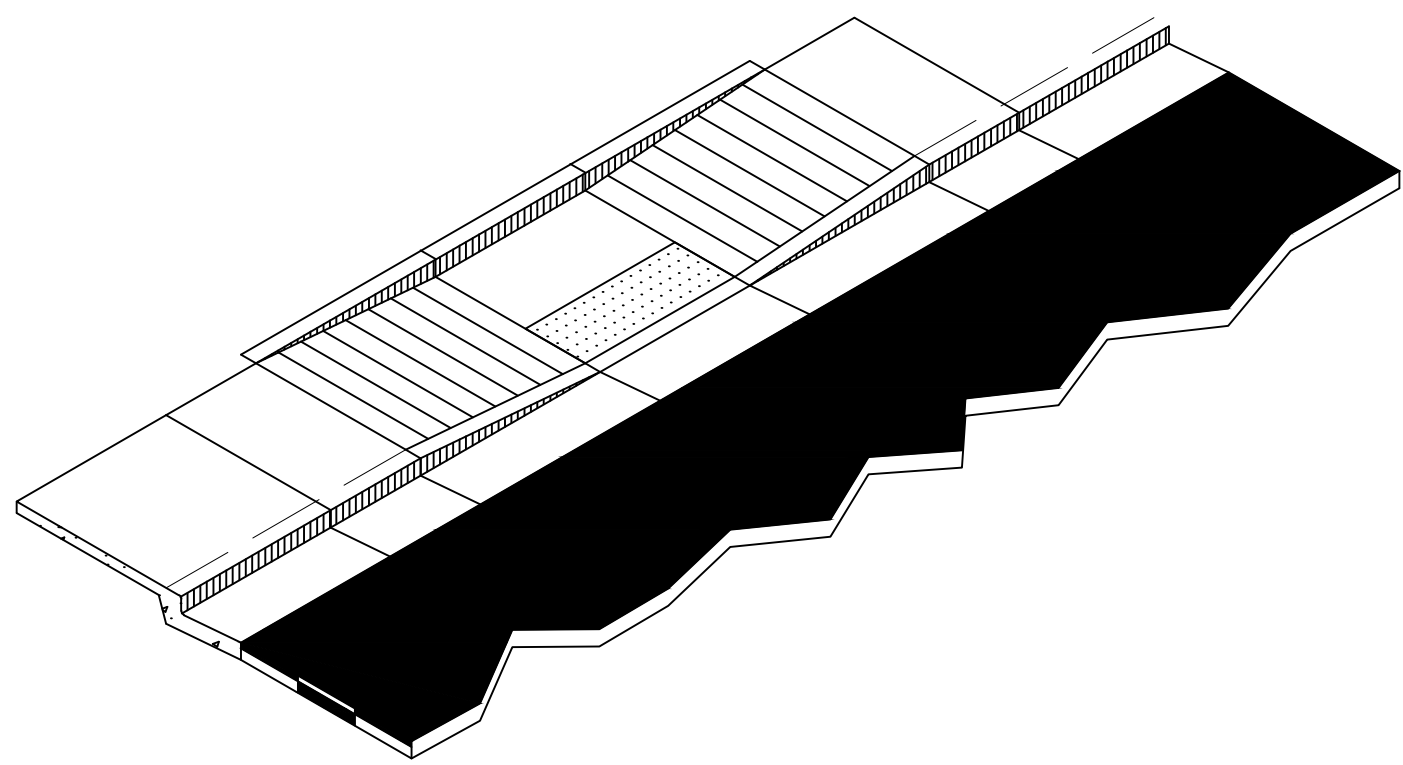
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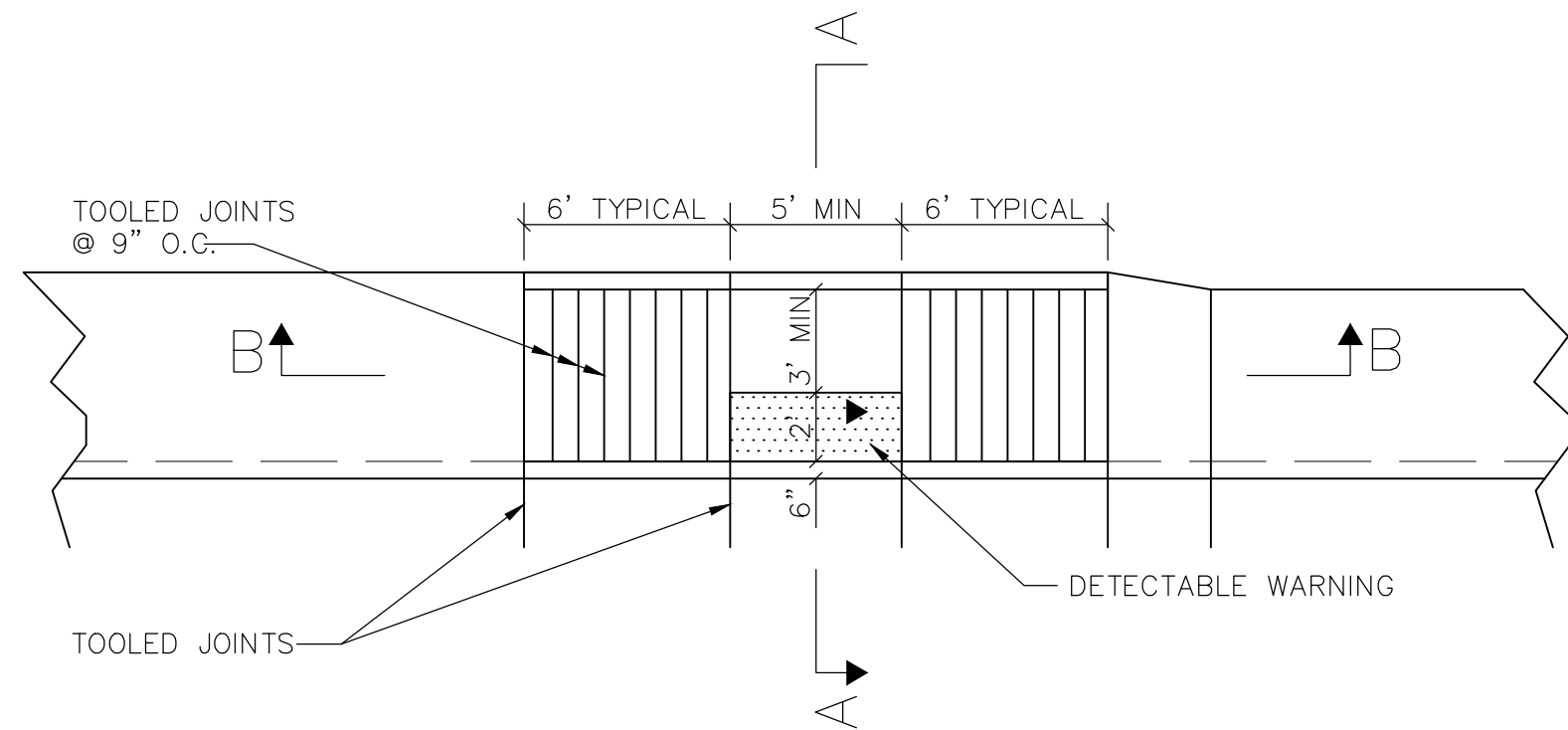
GRADING AND DRAINAGE PLAN

C-101

ME MILLER ENGINEERING CONSULTANTS
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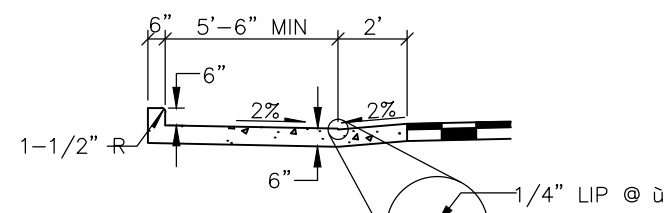
ISOMETRIC VIEW



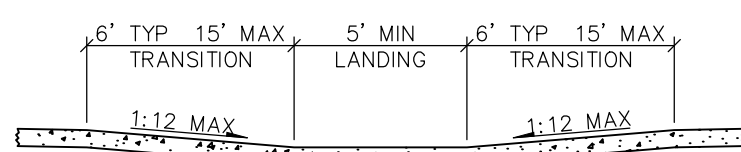
C1 TYPE A HANDICAP RAMP DETAIL
SCALE: NOT TO SCALE

GENERAL NOTES

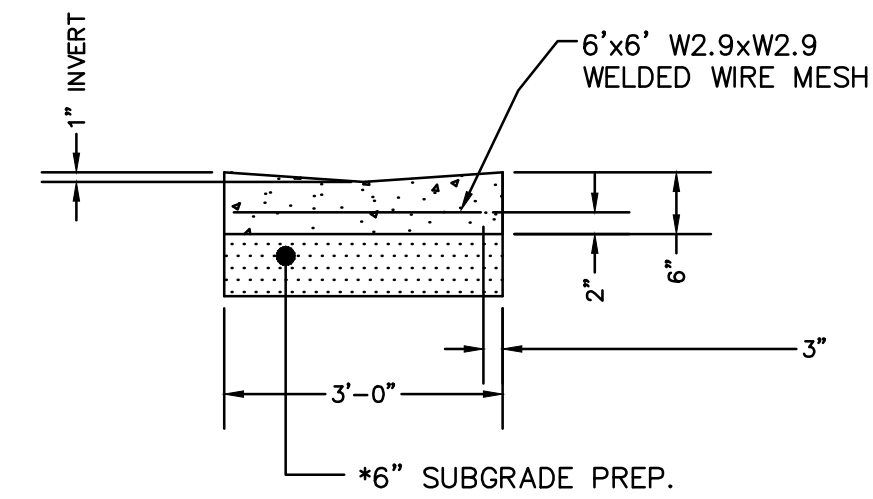
1. AVOID PLACING DRAINAGE STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, JUNCTION BOXES OR OTHER OBSTRUCTIONS IN FRONT OF RAMP ACCESS AREAS.
2. RAMP SLOPES SHALL NOT BE STEEPER THAN 2%. THE TRANSITIONS SHALL HAVE A MAXIMUM SLOPE OF 1:12.
3. DETECTABLE WARNINGS SHALL BE ARMOR-TILE TACTILE SYSTEMS, CAST-IN-PLACE SYSTEMS, BRICK RED OR APPROVED EQUAL. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.



SECTION A-A

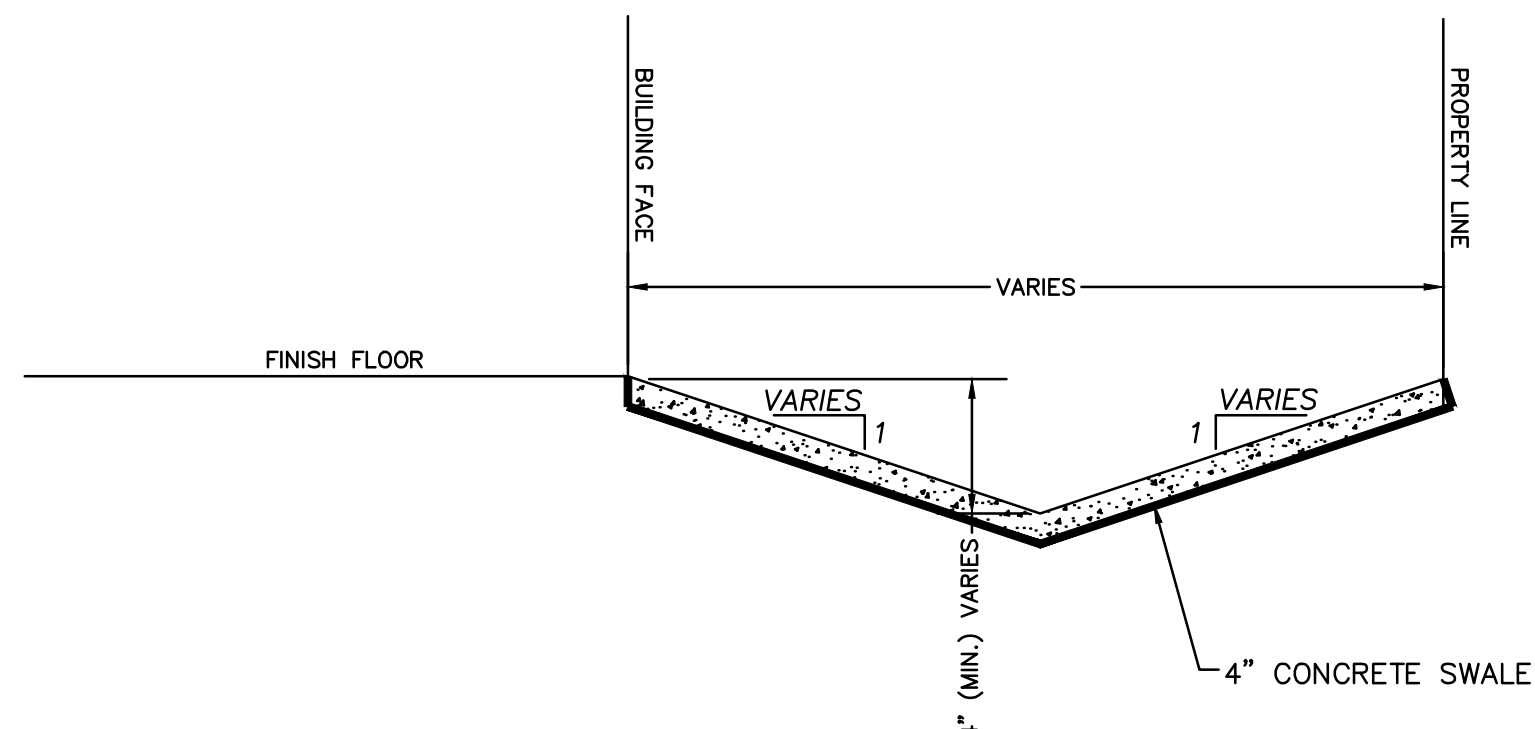


SECTION B-B



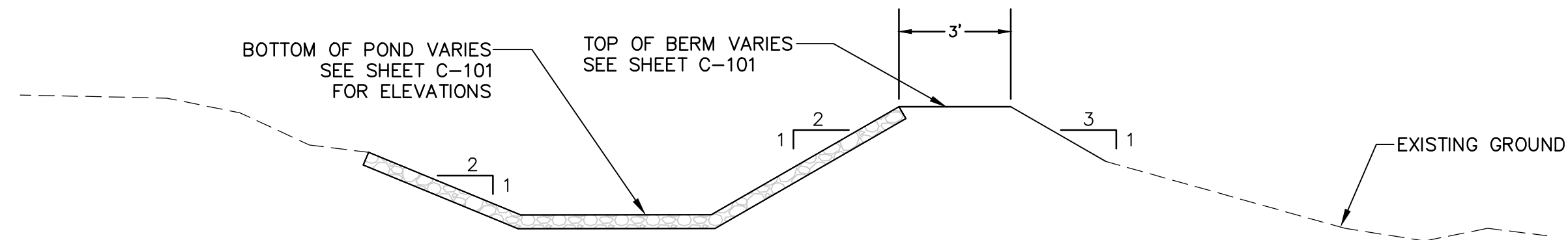
* 6" SUBGRADE PREP. SHALL BE CONSIDERED INCIDENTAL TO ITEM NO. 609636, CONCRETE VALLEY GUTTER - 6"x36" AND NO SEPERATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THE WORK.

C4 6"x36" CONCRETE VALLEY GUTTER DETAIL
SCALE: NOT TO SCALE



SECTION A-A

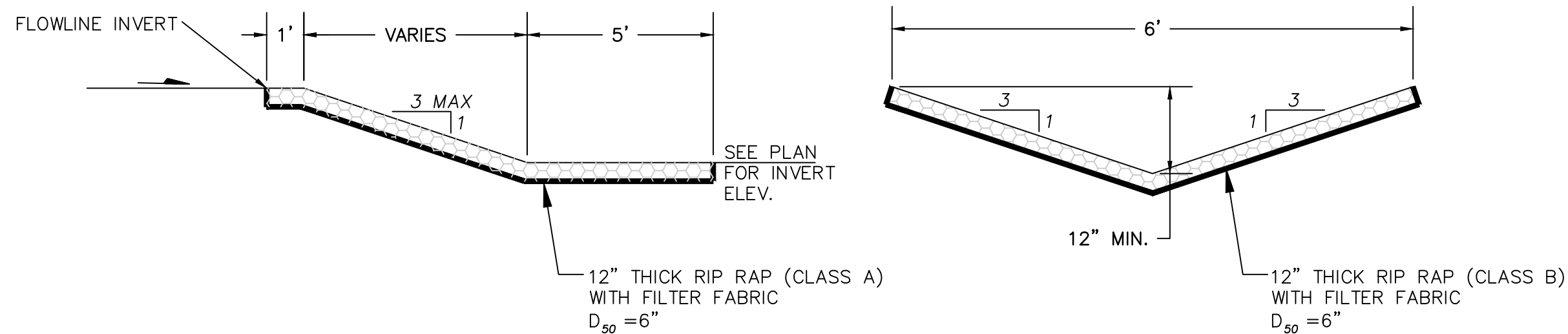
B1 CONCRETE SWALE DETAIL
SCALE: NOT TO SCALE



COMPACT BERM/POND AREAS TO 95% MAX. DRY DENSITY

NOTE: ALL SIDE SLOPES SHALL RECEIVE FILTER FABRIC WITH 6" OF 2-3" COBBLE STONES.

B4 TYPICAL WATER HARVEST AREA DETAIL
SCALE: NOT TO SCALE



PROFILE

SECTION

A1 RIP RAP RUNDOWN DETAIL TYPE "A"
SCALE: NOT TO SCALE



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MISCELLANEOUS
DETAILS

C-501