

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND COMPRISED OF LOTS 1 THRU 10, IN BLOCK 38, SKYLINE HEIGHTS SUBDIVISION, SITUATE WITHIN SECTION 29, T10N, R4E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 1, 1948, VOLUME C, FOLIO 124, TOGETHER WITH THE VACATED EASTERLY ONE-HALF OF GLORIETA STREET SE, AND THE WESTERLY ONE-HALF OF ESPEJO STREET SE, SAID PARCEL BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT AN ACS BRASS CAP, "5-K20" (SAID ACS BRASS CAP HAVING NEW MEXICO STATE PLANE GRID COORDINATES FOR THE CENTRAL ZONE, NAD 1927, X = 413013.85, Y = 1481938.58, Z = 5427.38, GROUND TO GRID = 0.99964908, DELTA ALPHA = -00°10'01");

THENCE, S81°44'03"E, 2318.49 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ACOMA ROAD SE., SAID POINT BEING THE NORTHWEST CORNER AND TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

THENCE, S82°22'39"E, 302.29 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF ACOMA ROAD SE, TO THE NORTHEAST CORNER;

THENCE, DEPARTING SAID RIGHT-OF-WAY, S00°52'56"W, 270.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF BELL AVENUE SE, SAID POINT BEING THE SOUTHEAST CORNER;

THENCE, N82°22'39"W, 302.29 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF BELL AVENUE SE, TO THE SOUTHWEST CORNER;

THENCE, DEPARTING SAID RIGHT-OF-WAY, N00°52'56"E, 270.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ALAMO ROAD SE, SAID POINT BEING THE NORTHWEST CORNER AND TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

SAID PARCEL CONTAINS 1.86074 AC (81,504 SF) MORE OR LESS.

PLAT OF LOT 10-A, BLOCK 38 SKYLINE HEIGHTS SUBDIVISION

COMPRISED OF
LOTS 1 THRU 10 IN BLOCK 38
TOGETHER WITH THE VACATED EASTERLY
ONE-HALF OF GLORIETA STREET, S.E. AND THE
WESTERLY ONE-HALF OF ESPEJO STREET, S.E.

SECTION 29, T10N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY 1996

APPROVALS:

SUBDIVISION CASE NUMBER: _____

CITY PLANNER, ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	DATE
<i>Edward A. Hwang</i> 7-23-96	6-25-96
PARKS AND GENERAL SERVICE DEPARTMENT	DATE
<i>Phil Jones</i> 7-23-96	6-25-96
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
<i>Jim Aguirre</i>	6-26-96 7/27/96
CITY ENGINEER, ENGINEERING DIVISION	DATE
<i>Jim Aguirre</i>	6-26-96 7/27/96
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
<i>Robert W. Kane</i> 7-23-96	6-25-96
UTILITY DEVELOPMENT	DATE
<i>Phil Jones</i>	6-11-96
CITY SURVEYOR, ENGINEERING DIVISION	DATE
<i>Phil Jones</i>	6-26-96
PROPERTY MANAGEMENT	DATE
<i>Phil Jones</i>	6-26-96
PNM GAS SERVICES	DATE
<i>Norma S. Carrillo</i>	6-26-96
U.S. WEST	DATE
<i>Phil Jones</i>	6-26-96
PNM ELECTRIC SERVICES	DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SUBDIVISION DATA:

CASE NO. 588-96-304
GROSS SUBDIVISION ACREAGE 1.86074 AC
ZONE ATLAS INDEX NO. L-20-2
NO. OF EXISTING LOTS 10 LOTS
NO. OF TRACTS/LOTS CREATED 1 TRACT
MILES OF FULL-WIDTH STREETS CREATED N/A
MILES OF HALF-WIDTH STREETS CREATED N/A
DATE OF SURVEY MAY 1996
SP LOG NO. 960611-1134-0311
VACATION V-2010

NOTES:

- THE PURPOSE OF THIS PLAT IS TO COMBINE 10 LOTS INTO 1 TRACT
- BEARING BASE FOR THIS PLAT IS THE NEW MEXICO STATE PLANE. ALL DISTANCES ARE GROUND.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE SET WITH BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #3794".
- PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THIS LOT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
- BY APPROVING THIS DOCUMENT, PNM AND U.S. WEST COMMUNICATIONS DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR DOCUMENT.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT: ALL UTILITY EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

BY: *Steven E. Stewart*
STEVEN E. STEWART
BY: *Debbie L. Stewart*
DEBBIE L. STEWART
BY: *Al Stewart*
AL STEWART

STATE OF NEW MEXICO) SS
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 30, 1996 1996
BY STEVEN E. STEWART, DEBBIE L. STEWART, AND AL STEWART ON BEHALF OF SAID PERSON.

MY COMMISSION EXPIRES: May 30, 1997

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #s:

LOT 1, BLOCK 38, UPC # 1-020-056-492-433-1-10-25
LOT 2, BLOCK 38, UPC # 1-020-056-489-433-1-10-24
LOT 3, BLOCK 38, UPC # 1-020-056-473-432-1-10-23
LOT 4, BLOCK 38, UPC # 1-020-056-449-431-1-10-22
LOT 5, BLOCK 38, UPC # 1-020-056-429-431-1-10-21
LOT 6, BLOCK 38, UPC # 1-020-056-422-420-1-10-6
LOT 7, BLOCK 38, UPC # 1-020-056-420-420-1-10-7
LOT 8, BLOCK 38, UPC # 1-020-056-423-419-1-10-8
LOT 9, BLOCK 38, UPC # 1-020-056-449-418-1-10-9
LOT 10, BLOCK 38, UPC # 1-020-056-504-418-1-10-10

PROPERTY OWNER OF RECORD:

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

SURVEYOR'S CERTIFICATION:

I, R. C. MILLER, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

R. C. Miller
R. C. MILLER, N.M.P.S. #3794

6/11/96
DATE



SHEET 1 OF 2

DATE: 5-24-96	<i>community sciences corporation</i>		
SCALE: 1"=50'			
CREW: GLD/SL/EB			
BOOK: 230 PAGE: 52			
DRAWN: D.K.S.			
JOB NO.: 354-01-715	LAND PLANNING P.O. Box 1329	ENGINEERING Corralito, N.M. 87048	SURVEYING

VACATION AND PLAT OF
LOT 10-A, BLOCK 38
SKYLINE HEIGHTS SUBDIVISION

COMPRISED OF
LOTS 1 THRU 10 IN BLOCK 38
TOGETHER WITH THE VACATED EASTERLY
ONE-HALF OF GLORIETA STREET, S.E. AND THE
WESTERLY ONE-HALF OF ESPEJO STREET, S.E.

SECTION 29, T10N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY 1996

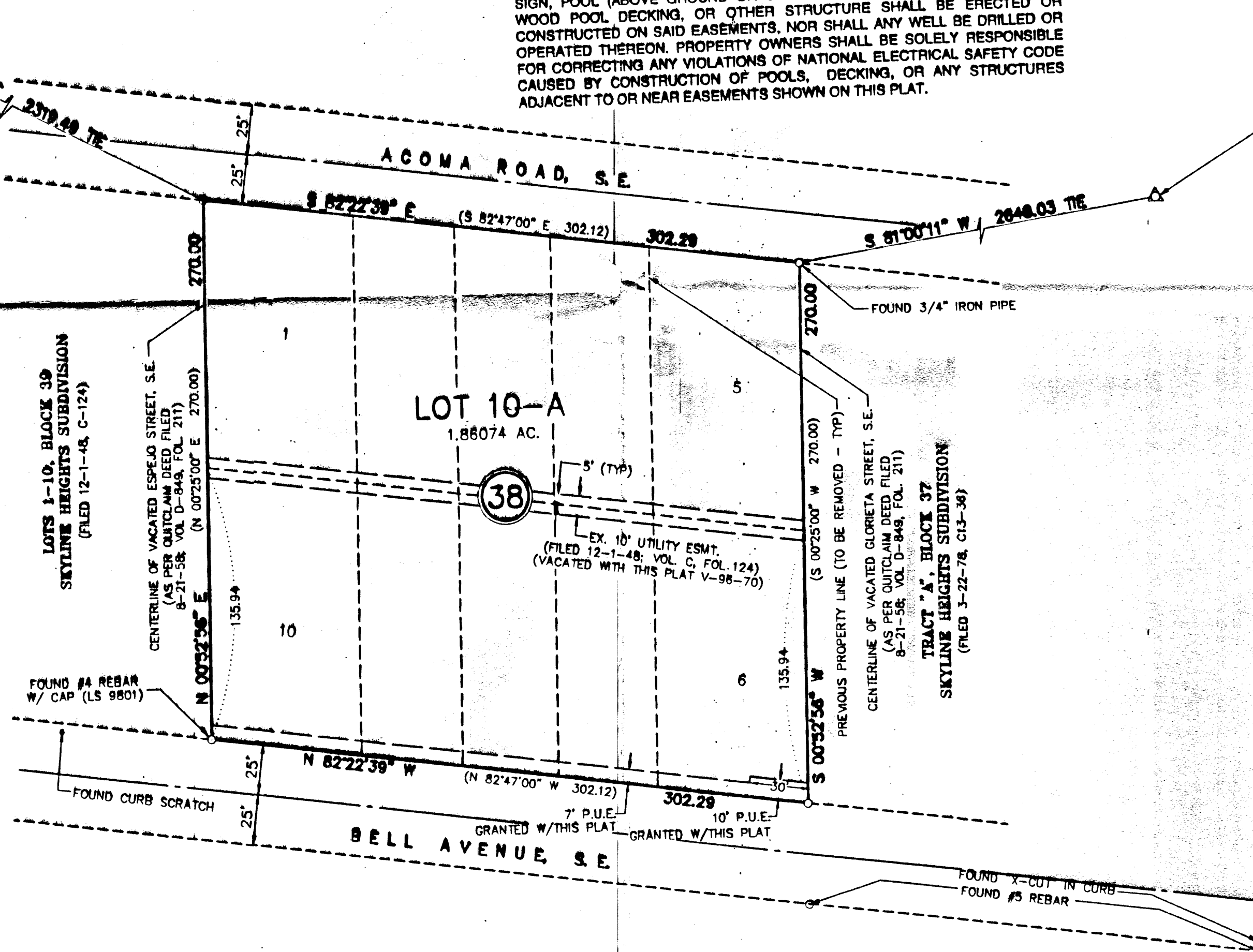
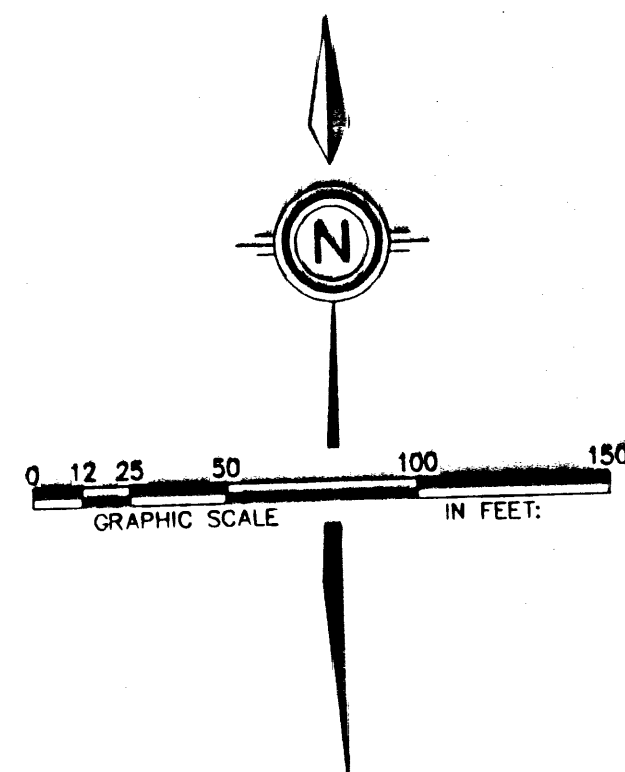
PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE GRANTED FOR
THE COMMON AND JOINT USE OF:

- PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE,
AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES,
TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES,
STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO
PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE
OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND
FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- U S WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL
BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND
FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION
SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND
PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND
SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER
RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO
PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT,
LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND
MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER
WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING
THE SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE
RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES
WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING,
SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR
WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR
CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR
OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE
FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE
CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES
ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

ACS STATION "5-K20"
CENTRAL ZONE - NAD 1927
X = 413013.85
Y = 1481938.56
Z = 5427.38
GND TO GRID = 0.99984908
DELTA ALPHA = -00°10'01"

ACS STATION "6-L21"
CENTRAL ZONE - NAD 1927
X = 417975.01
Y = 1481220.09
Z = 5500.669
GND TO GRID = 0.99984527
DELTA ALPHA = -00°09'27"



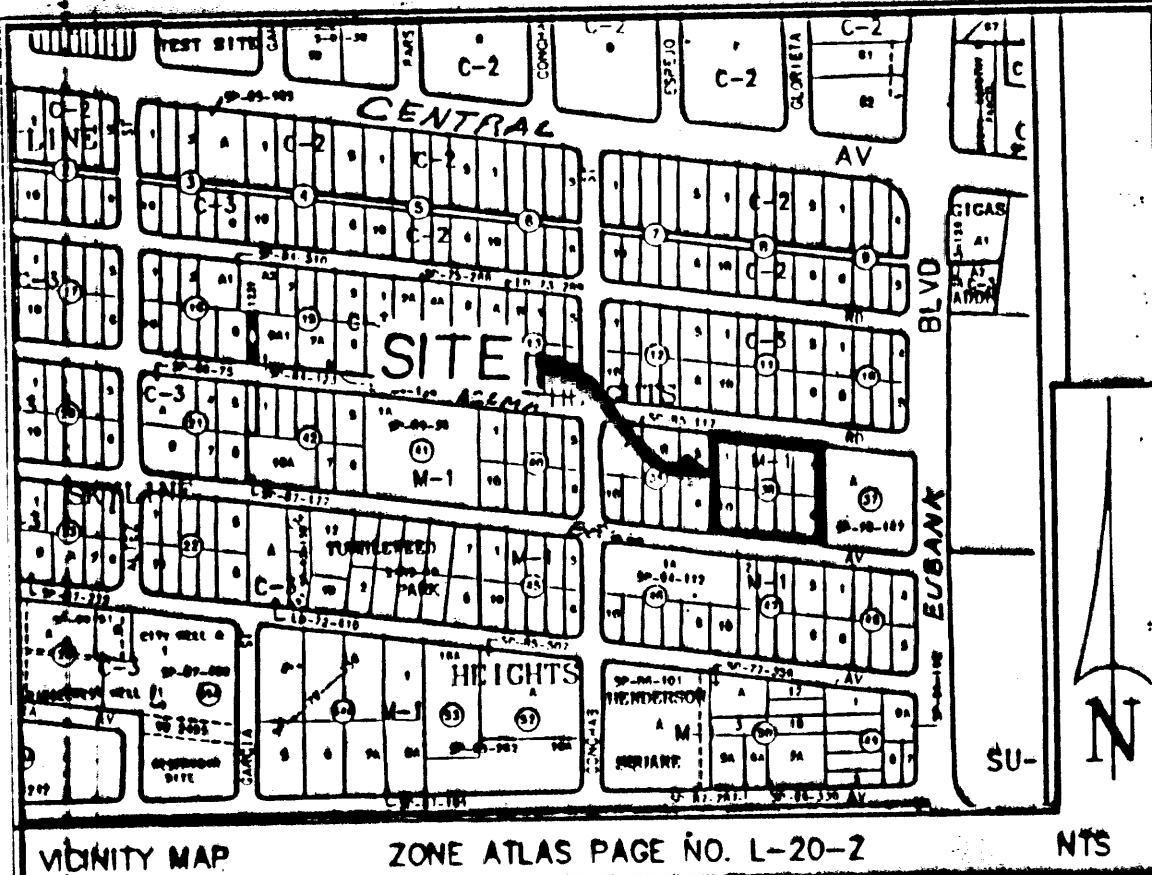
SHEET 2 OF 2

DATE: 5-24-96
SCALE: 1"=50'
CREW: OLD/SL/EB
BOOK: 230 PAGE: 52
DRAWN: D.K.S.
JOB NO.: 354-01-715

**community
sciences
corporation**

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, N.M. 87048

REVISED 5-31-96 DKS/SPS



NEIGHBORHOOD MAP ZONE ATLAS PAGE NO. L-20-2 NTS

SUBDIVISION DATA:

CASE NO. 200-96-309

GROSS SUBDIVISION ACREAGE 1.88074 AC

ZONE ATLAS INDEX NO. L-20-2

NO. OF EXISTING LOTS 10 LOTS

NO. OF TRACTS/LOTS CREATED 1 TRACT

MILES OF FULL-WIDTH STREETS CREATED N/A

MILES OF HALF-WIDTH STREETS CREATED N/A

DATE OF SURVEY MAY 1996

SP LOG NO. 960611-1134-0311

VACATION V-2010

- NOTES:**
1. THE PURPOSE OF THIS PLAT IS TO COMBINE 10 LOTS INTO 1 TRACT
 2. BEARING BASE FOR THIS PLAT IS THE NEW MEXICO STATE PLANE. ALL DISTANCES ARE GROUND.
 3. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
 4. UNLESS OTHERWISE NOTED, ALL CORNERS ARE SET WITH BY A #5 REBAR WITH ALUMINUM CAP STAMPED "P.S. #3794".
 5. PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICE TO THIS LOT MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE, VIA A REQUEST FOR A WATER AND SANITARY SEWER AVAILABILITY STATEMENT.
 6. BY APPROVING THIS DOCUMENT, PNM AND U S WEST COMMUNICATIONS DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHT WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR DOCUMENT.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY GRANT: ALL UTILITY EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

BY: Steven E. Stewart
STEVEN E. STEWART

BY: Debbie L. Stewart
DEBBIE L. STEWART

BY: Al Stewart
AL STEWART

STATE OF NEW MEXICO } SS
COUNTY OF BERNALILLO }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 20, 1996 1996
BY STEVEN E. STEWART, DEBBIE L. STEWART, AND AL STEWART ON BEHALF OF SAID PERSON.

Notary Public
MY COMMISSION EXPIRES March 20, 1997

LEGAL DESCRIPTION:

A CERTAIN PARCEL OF LAND COMPRISED OF LOTS 1 THRU 10, IN BLOCK 38, SKYLINE HEIGHTS SUBDIVISION, SITUATE WITHIN SECTION 29, T10N, R4E, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 1, 1948, VOLUME C, FOLIO 124, TOGETHER WITH THE VACATED EASTERLY ONE-HALF OF GLORIETA STREET SE, AND THE WESTERLY ONE-HALF OF ESPEJO STREET SE, SAID PARCEL BEING FURTHER DESCRIBED AS FOLLOWS:

BEGINNING FOR A TIE AT AN ACS BRASS CAP, "5-K20" (SAID ACS BRASS CAP HAVING NEW MEXICO STATE PLANE GRID COORDINATES FOR THE CENTRAL ZONE, NAD 1927, X = 413013.85, Y = 1481938.56, Z = 5427.38, GROUND TO GRID = 0.99984906, DELTA ALPHA = -00°10'01");

THENCE, S81°34'03"E, 2319.49 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ACOMA ROAD SE., SAID POINT BEING THE NORTHWEST CORNER AND TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED;

THENCE, S82°22'39"E, 302.29 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF ACOMA ROAD SE, TO THE NORTHEAST CORNER;

THENCE, DEPARTING SAID RIGHT-OF-WAY, S00°52'56"W, 270.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF BELL AVENUE SE, SAID POINT BEING THE SOUTHEAST CORNER;

THENCE, N82°22'39"W, 302.29 FEET ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF BELL AVENUE SE, TO THE SOUTHWEST CORNER;

THENCE, DEPARTING SAID RIGHT-OF-WAY, N00°52'56"E, 270.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF ALAMO ROAD SE, SAID POINT BEING THE NORTHWEST CORNER AND TRUE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.

SAID PARCEL CONTAINS 1.88074 AC (81,504 SF) MORE OR LESS.

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

- LOT 1, BLOCK 38, UPC # 1-020-056-492-433-1-10-25
- LOT 2, BLOCK 38, UPC # 1-020-056-499-433-1-10-24
- LOT 3, BLOCK 38, UPC # 1-020-056-493-432-1-10-23
- LOT 4, BLOCK 38, UPC # 1-020-056-499-431-1-11-22
- LOT 5, BLOCK 38, UPC # 1-020-056-504-431-1-10-21
- LOT 6, BLOCK 38, UPC # 1-020-056-492-420-1-10-6
- LOT 7, BLOCK 38, UPC # 1-020-056-499-420-1-10-7
- LOT 8, BLOCK 38, UPC # 1-020-056-493-419-1-10-8
- LOT 9, BLOCK 38, UPC # 1-020-056-499-419-1-10-9
- LOT 10, BLOCK 38, UPC # 1-020-056-504-419-1-10-10

PROPERTY OWNER OF RECORD:
BERNALILLO COUNTY TREASURER'S OFFICE:

BY: _____ DATE: _____

APPROVALS:

SUBDIVISION CASE NUMBER: _____

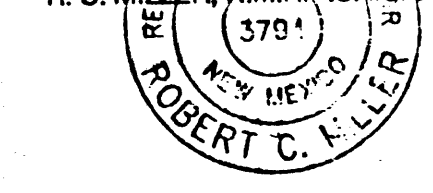
CITY PLANNER, ALBUQUERQUE, BERNALILLO CO. PLANNING DIVISION	DATE
<u>Edward J. Stewart</u> <u>7-23-96</u>	<u>6-25-96</u>
PARKS AND GENERAL SERVICE DEPARTMENT	DATE
<u>Phil Jones</u> <u>7-23-96</u>	<u>6-25-96</u>
TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT	DATE
<u>Paul Acuna</u>	<u>6-26-96</u> <u>7/2/96</u>
CITY ENGINEER, ENGINEERING DIVISION	DATE
<u>Paul Acuna</u>	<u>6-26-96</u> <u>7/2/96</u>
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
<u>Robert W. Rowe</u> <u>7-23-96</u>	<u>6-25-96</u>
UTILITY DEVELOPMENT	DATE
<u>Paul Acuna</u>	<u>6-26-96</u>
CITY SURVEYOR, ENGINEERING DIVISION	DATE
<u>Paul Acuna</u>	<u>6-26-96</u>
PROPERTY MANAGEMENT	DATE
<u>Paul Acuna</u>	<u>6-26-96</u>
PNM GAS SERVICES	DATE
<u>Norma Carrillo</u>	<u>6-26-96</u>
U S WEST	DATE
<u>Paul Acuna</u>	<u>6-26-96</u>
PNM ELECTRIC SERVICES	DATE

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION:

I, R. C. MILLER, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS, AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BY: R.C. Miller 6/11/96
R.C. MILLER, N.M.L.P.S. #3794 DATE



DATE: 5-24-96
SCALE: 1"=50'
CREW: OLD/SL/EB
BOOK: 230 PAGE: 52
DRAWN: D.K.S.
JOB NO.: 354-01-715

LAND PLANNING
P.O. Box 1328

ENGINEERING
Corral, N.M. 87004

SURVEYING

community sciences corporation

SHEET 1 OF 2

C:\3540715\354-PLAT.DWG

PUBLIC UTILITY EASEMENTS (P.U.E.) SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- U S WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH UNDERGROUND LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS. NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

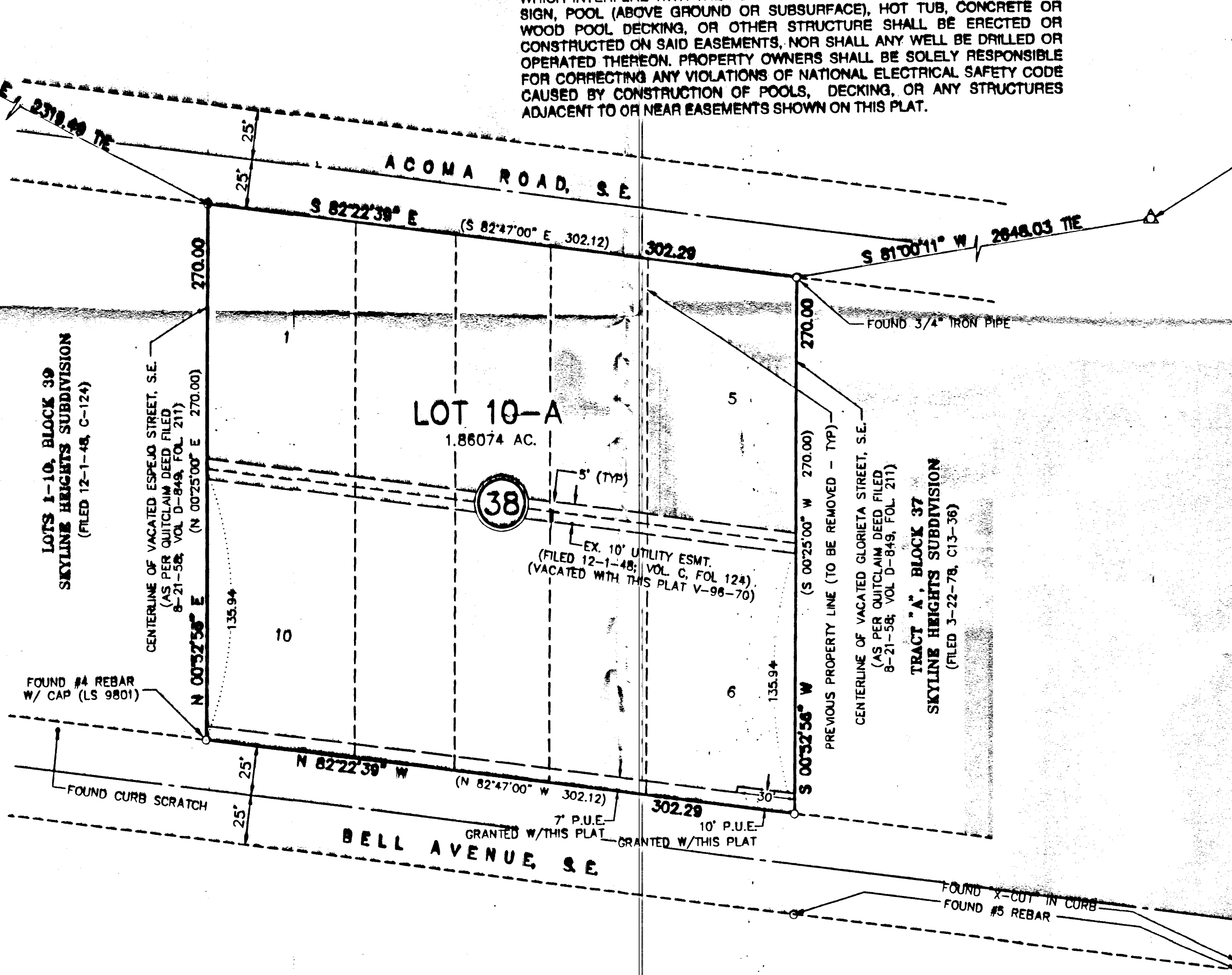
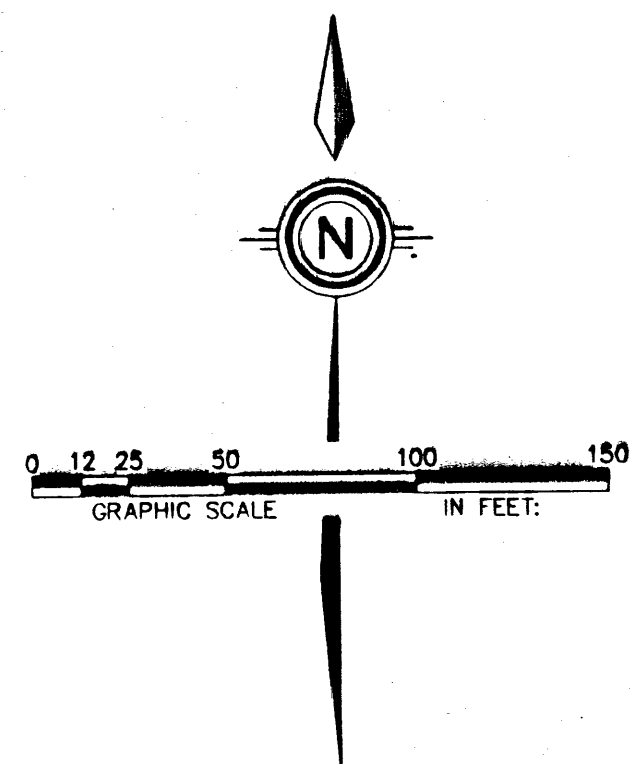
VACATION AND PLAT OF
LOT 10-A, BLOCK 38
SKYLINE HEIGHTS SUBDIVISION

COMPRISED OF
LOTS 1 THRU 10 IN BLOCK 38
TOGETHER WITH THE VACATED EASTERLY
ONE-HALF OF GLORIETA STREET, S.E. AND THE
WESTERLY ONE-HALF OF ESPEJO STREET, S.E.

SECTION 29, T10N, R4E, N.M.P.M.
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
MAY 1996

ACS STATION "S-K20"
CENTRAL ZONE - NAD 1927
X = 413013.85
Y = 1481938.58
Z = 5427.38
GND TO GRID = 0.99984908
DELTA ALPHA = -00°10'01"

ACS STATION "8-L21"
CENTRAL ZONE - NAD 1927
X = 417973.01
Y = 1481220.09
Z = 5500.869
GND TO GRID = 0.99984527
DELTA ALPHA = -00°09'27"



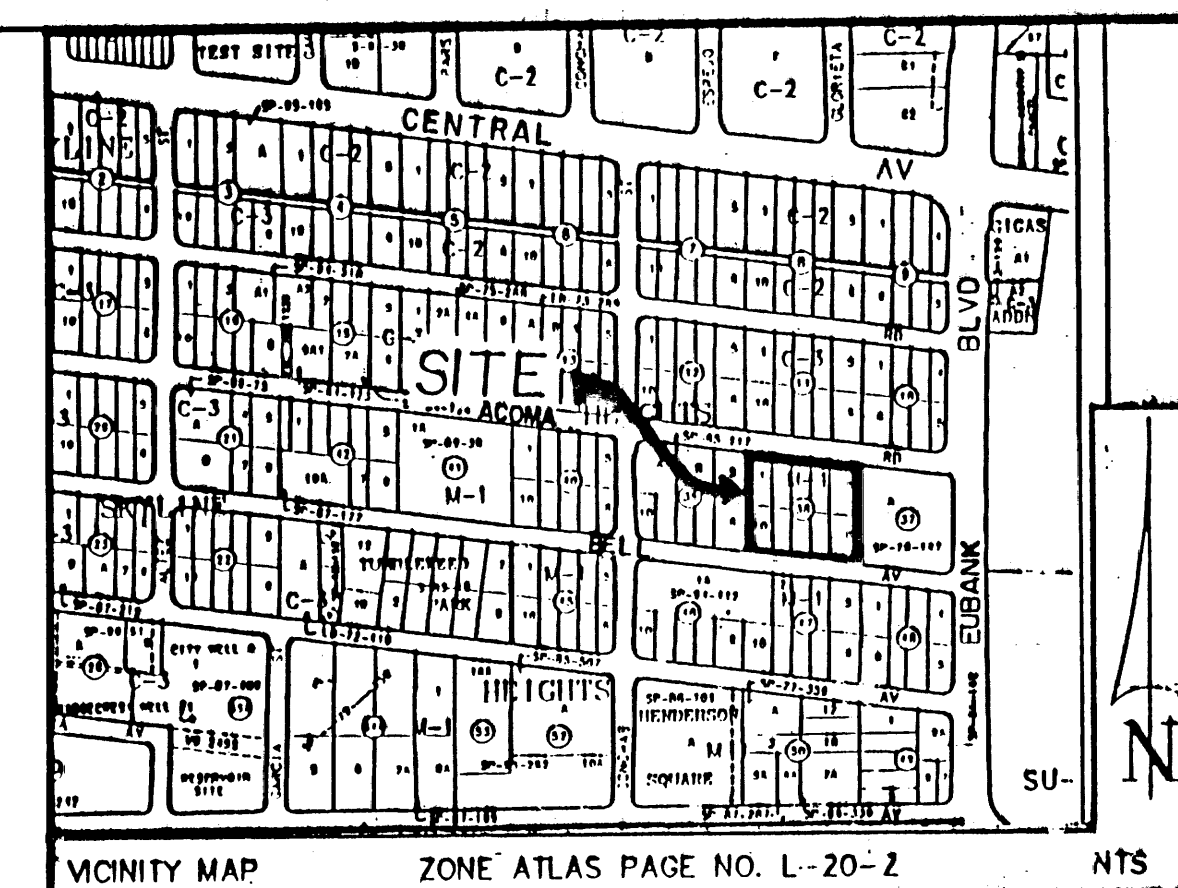
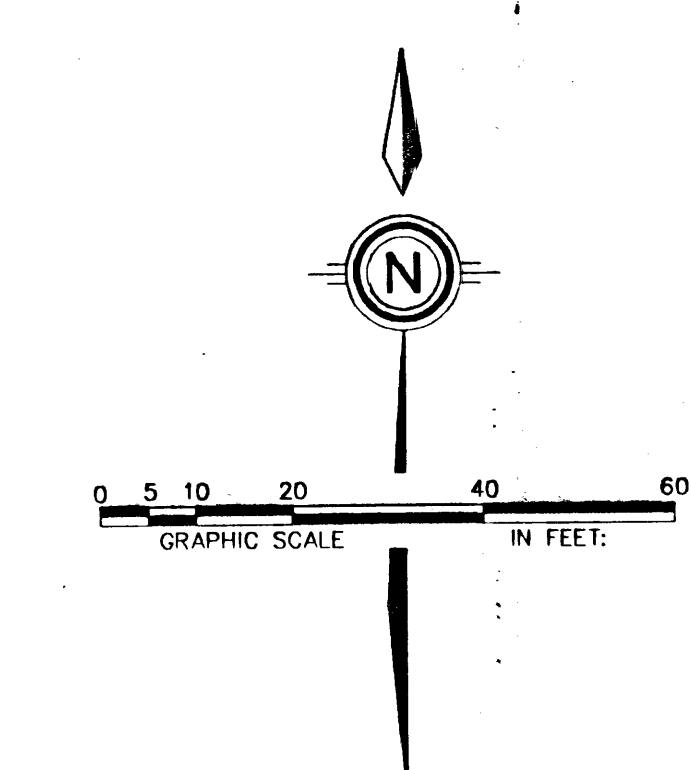
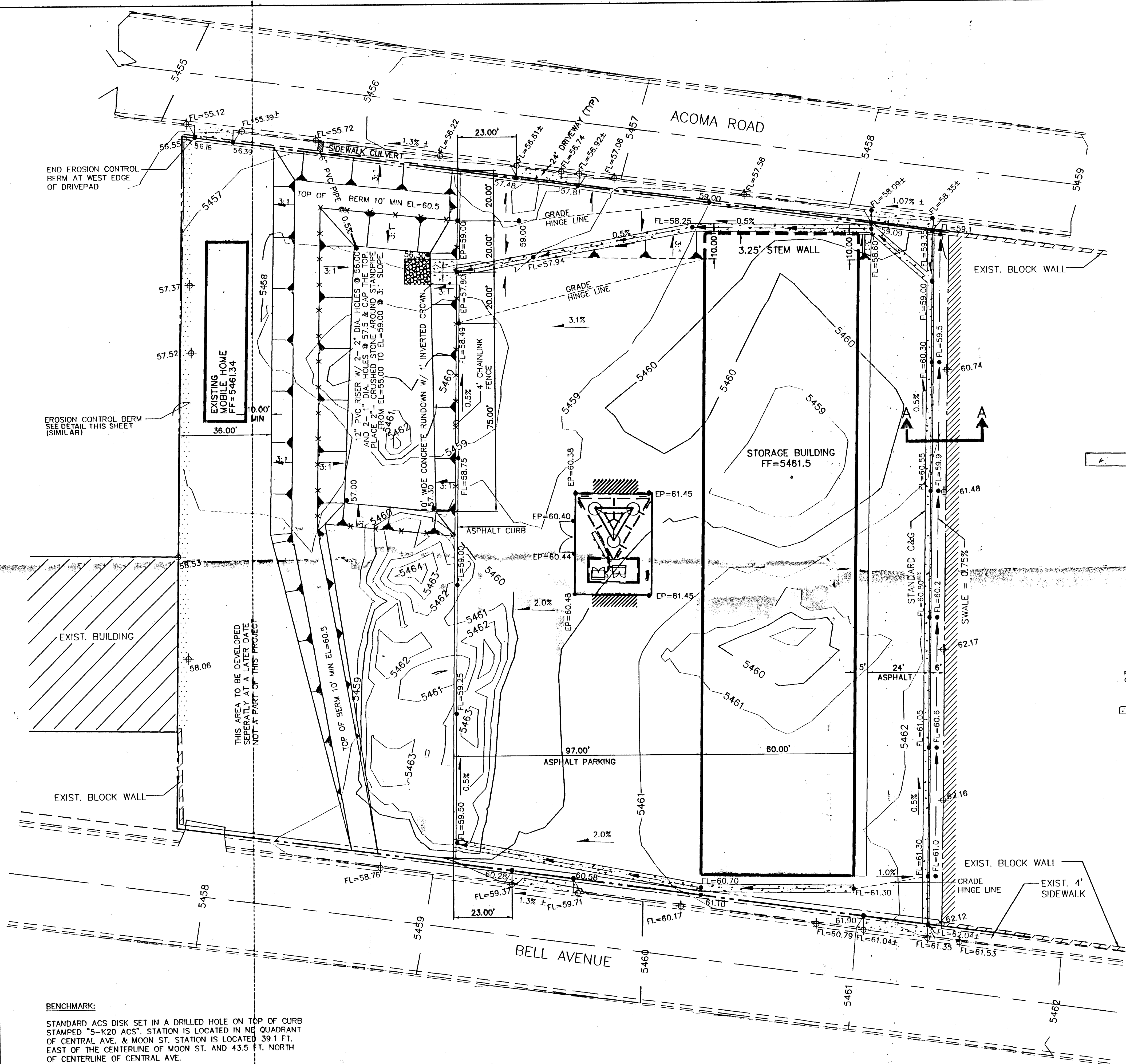
SHEET 2 OF 2

DATE: 5-24-96
SCALE: 1"=50'
CREW: GJD/SL/EB
BOOK: 230 PAGE: 52
DRAWN: D.K.S.
JOB NO.: 354-01-715

**community
sciences
corporation**

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1328 Corrales, N.M. 87048

REVISED 5-31-96 DKS/SPS



LEGAL DESCRIPTION

LOTS 1 THRU 10, BLOCK 38 OF THE
SKYLINE HEIGHTS SUBDIVISION

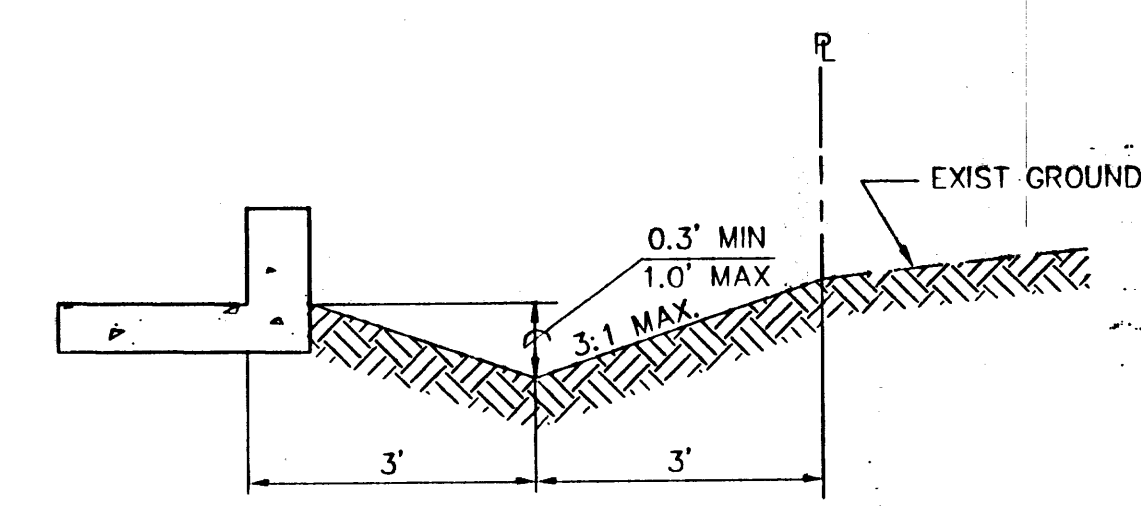
NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Interim Standard Specifications for Public Works Construction, 1985.
3. Two working days prior to any excavation, contractor must contact Line Locating Service, 260-1990 for location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical locations of all constructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to Commercial street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.

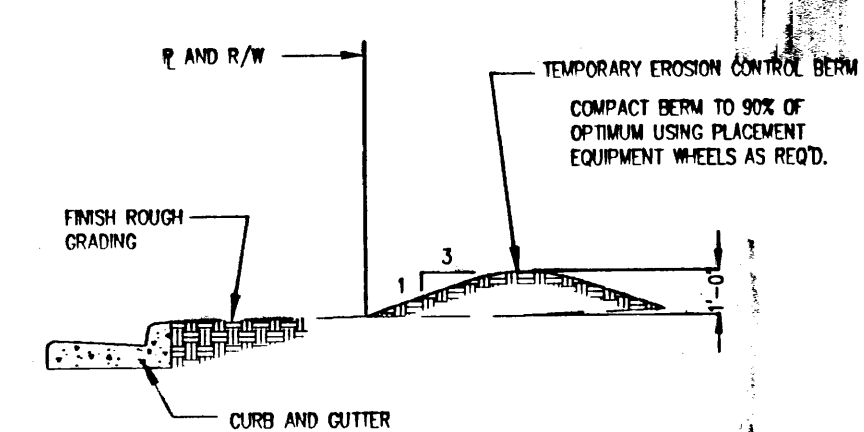
APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

LEGEND

- FL=98.43 PROPOSED FLOW LINE ELEVATION
- 99.0 PROPOSED SPOT ELEVATION
- ◊ 09.0 EXISTING SPOT ELEVATION (GRND & TC)
- [Pattern] EROSION CONTROL BERM
- [Pattern] CONC. VALLEY GUTTER (RECOMMENDED FOR MAINTENANCE PURPOSES - A.C. SWALE ALTERNATE IS OWNER'S OPTION)
- [Pattern] 10' x 10' TYPE VI RIPRAP W/ FILTER FABRIC
- [Pattern] EXISTING CURB & GUTTER
- [Pattern] PROPOSED 8" ASPHALT CURB
- [Pattern] PROPOSED STANDARD CURB & GUTTER
- 4973 — EXISTING CONTOUR W/ INDEX ELEVATION
- SWALE
- FLOW ARROW
- PROPOSED SLOPE



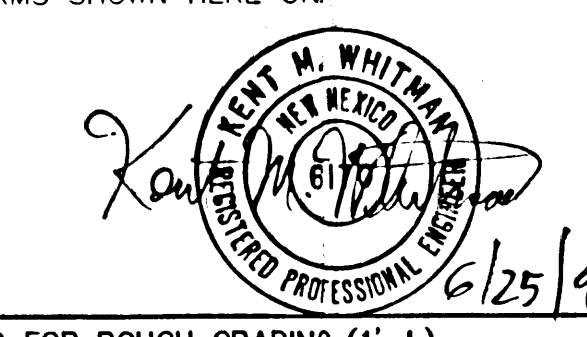
SECTION A-A
SWALE AT EAST P/L
NOT TO SCALE



EROSION CONTROL BERM
TYPICAL SECTION THROUGH BERM
NOT TO SCALE

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT PRIOR TO GRADING.
2. DISTURBED AREAS WILL BE RESEEDING PER C.O.A. DPM SECTION 1012, WHERE INDICATED BY SHADING, THIS PLAN.
3. PROTECTION OF ADJACENT RIGHT-OF-WAY AND PRIVATE PROPERTY FROM SEDIMENT, WILL BE ACCOMPLISHED BY THE SWALES AND BERMS SHOWN HERE ON.

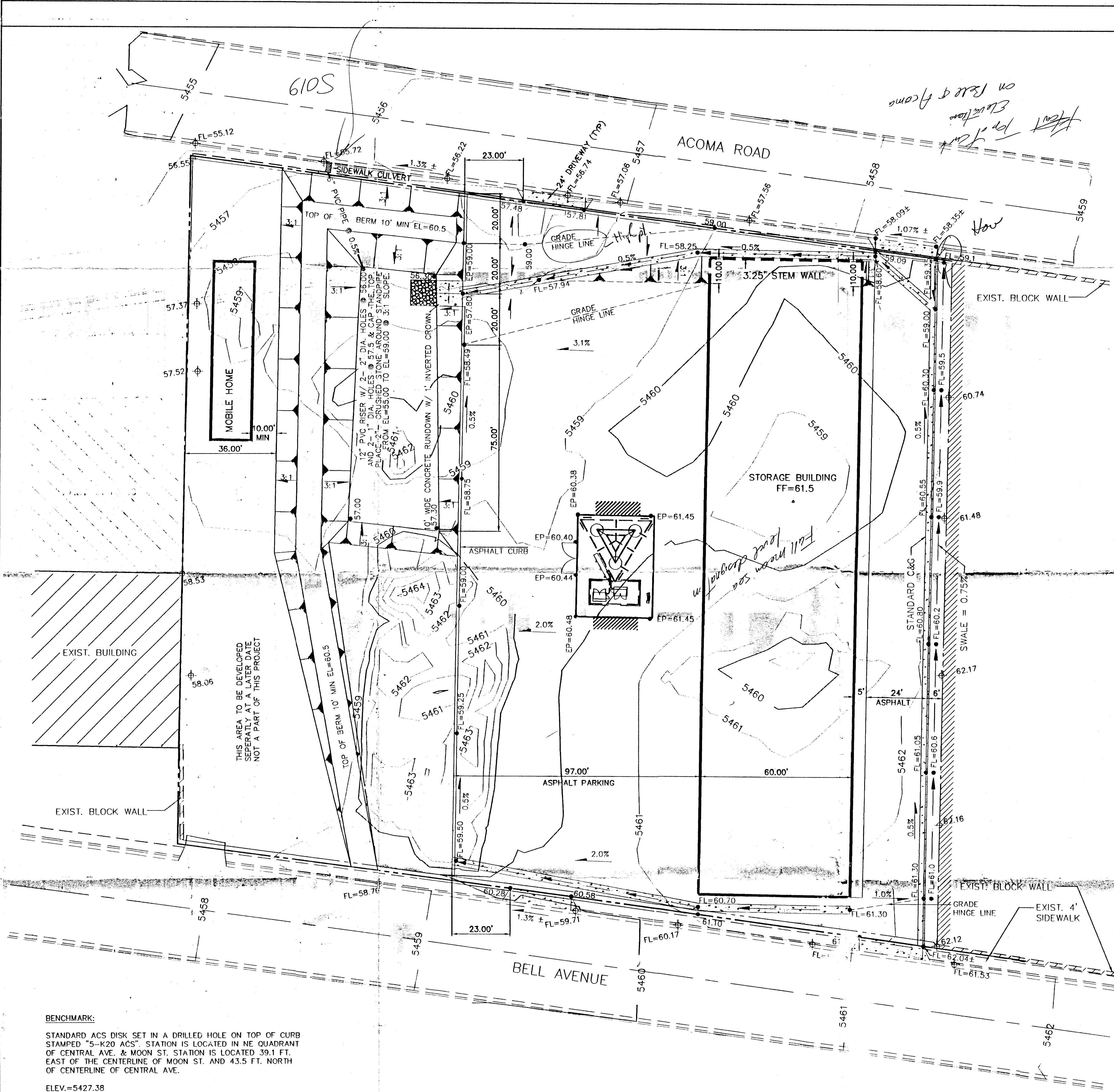


APPROVED FOR ROUGH GRADING (1" ±)

BY CITY HYDROLOGY DATE

STEWART BUILDING SITE GRADING AND DRAINAGE PLAN

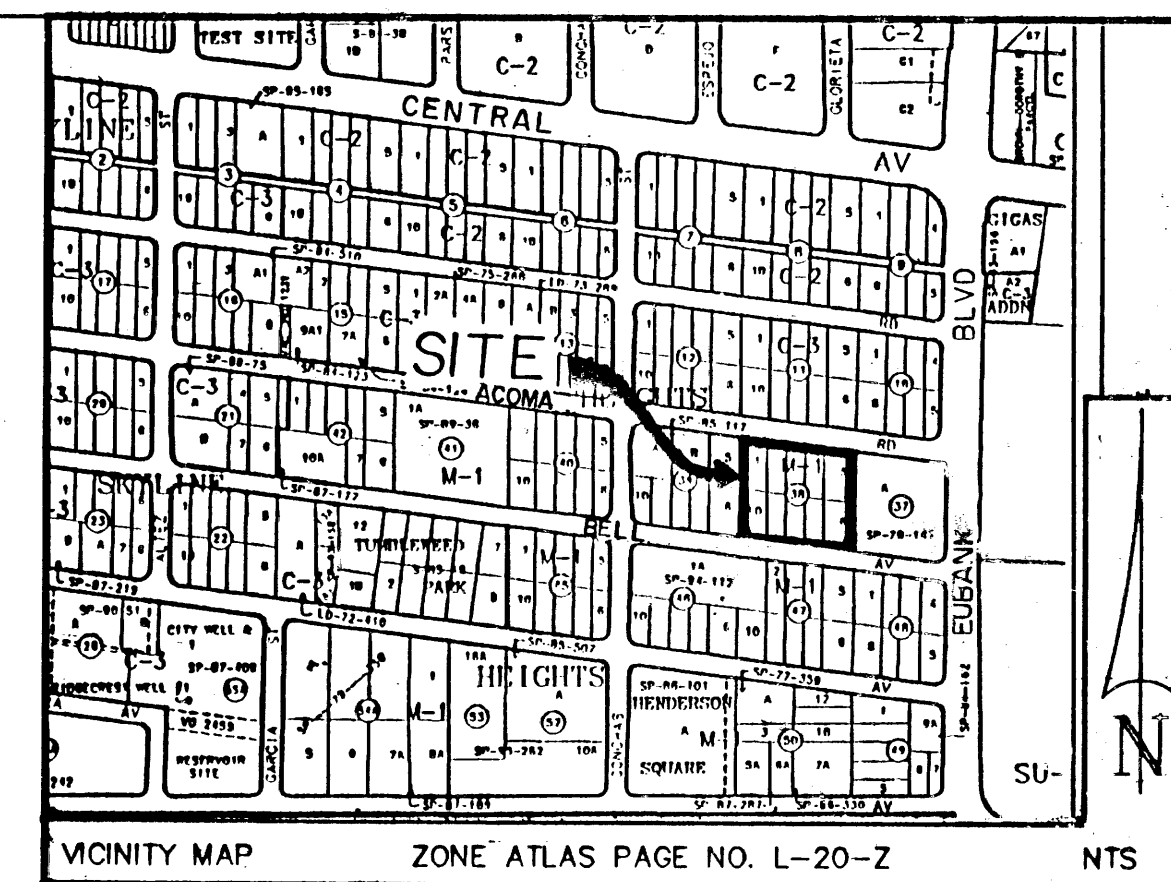
DATE: MAY, 1997	community sciences corporation	SHEET 1/1
SCALE: 1"=20'		
DESIGNED: JDH/BOM		
TRACED: GWR/DLW		
PROJECT NO.: 354-05-036	LAND PLANNING: P.O. Box 1328	ENGINEERING: Corrales, N.M. 87048



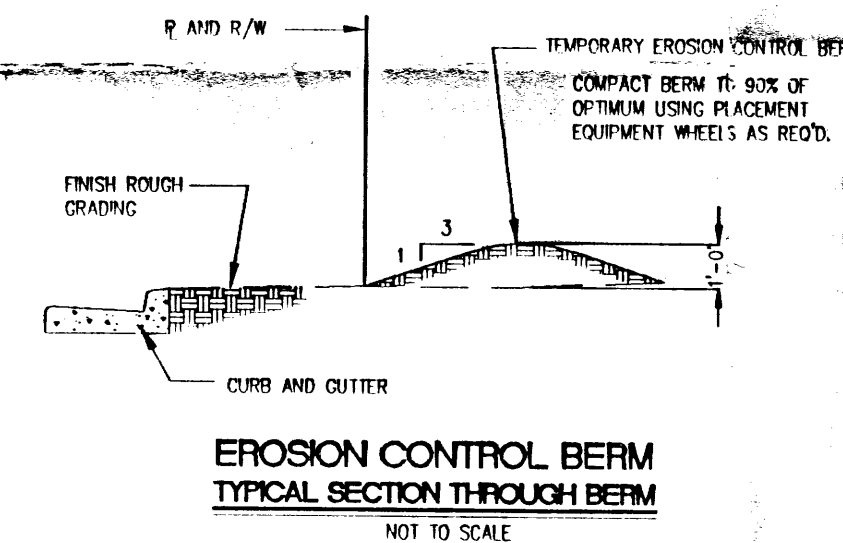
BENCHMARK:
STANDARD ACS DISK SET IN A DRILLED HOLE ON TOP OF CURB
STAMPED "5-K20 ACS". STATION IS LOCATED IN NE QUADRANT
OF CENTRAL AVE. & MOON ST. STATION IS LOCATED 39.1 FT.
EAST OF THE CENTERLINE OF MOON ST. AND 43.5 FT. NORTH
OF CENTERLINE OF CENTRAL AVE.
ELEV.=5427.38

APPROVED FOR ROUGH GRADING (1' ±)
BY CITY HYDROLOGY DATE

STEWART BUILDING SITE GRADING AND DRAINAGE PLAN	
DATE: MAY, 1997 SCALE: 1"=20' DESIGNED: JDH/BOM DRAWN: GWR/DLW FOR NO. 354-05-036	community sciences corporation LAND PLANNING P.O. Box 1328 ENGINEERING SURVEYING Corrales, N.M. 87048
SHEET 1/1	



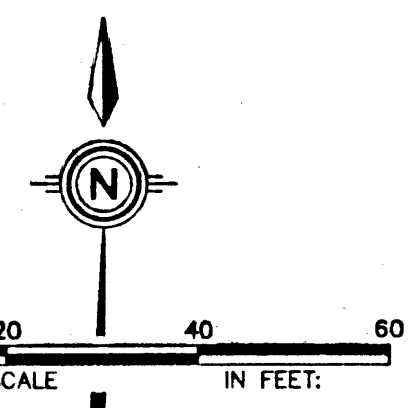
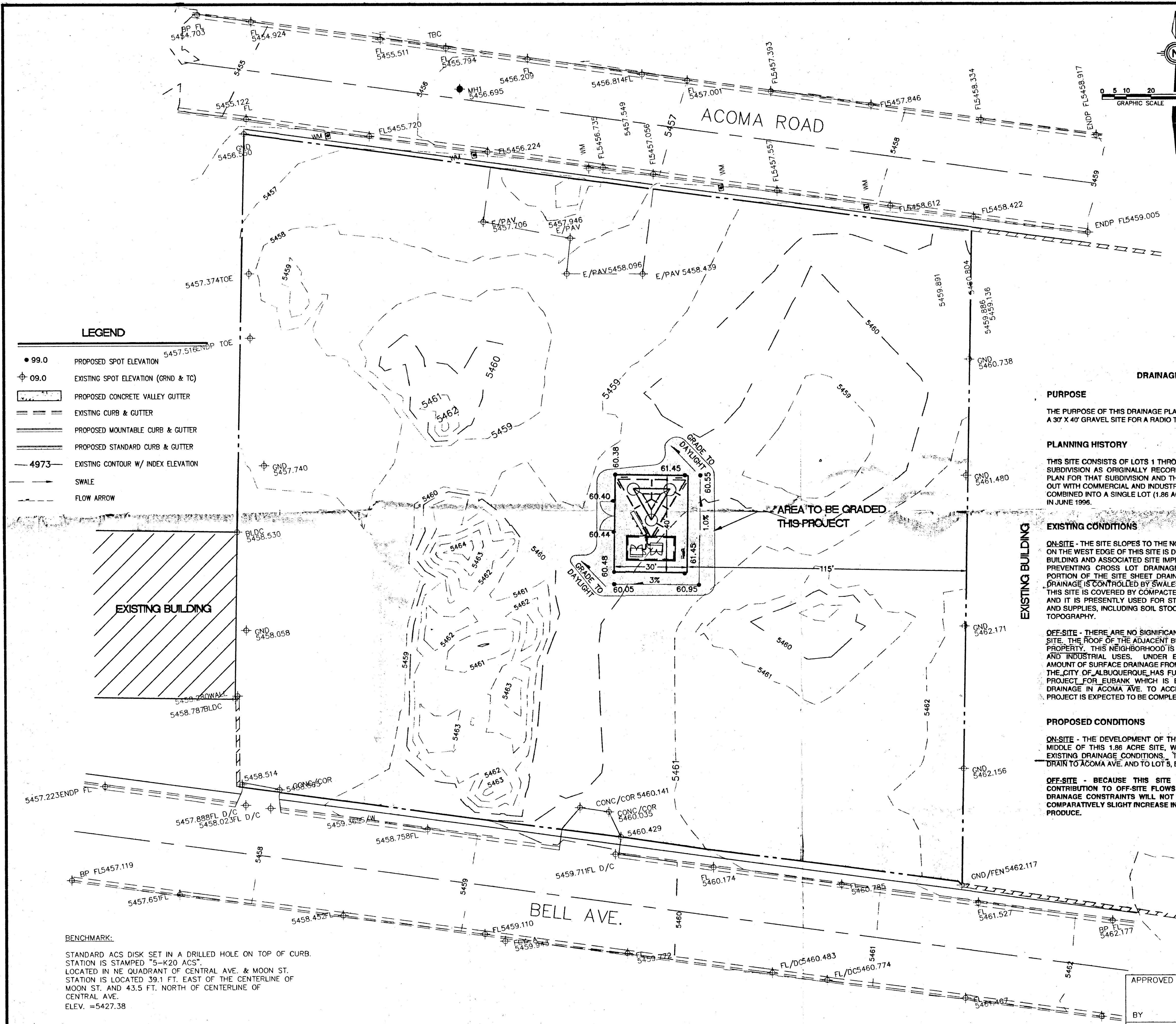
- LEGEND**
- FL=98.43 PROPOSED FLOW LINE ELEVATION
 - 99.0 PROPOSED SPOT ELEVATION
 - ⊕ 09.0 EXISTING SPOT ELEVATION (GRND & TC)
 - [Pattern] EROSION CONTROL BERM
 - [Pattern] CONC. VALLEY GUTTER (RECOMMENDED FOR MAINTENANCE PURPOSES - A.C. SWALE ALTERNATE IS OWNER'S OPTION)
 - [Pattern] 10' x 10' TYPE VL RIPRAP W/ FILTER FABRIC
 - [Pattern] EXISTING CURB & GUTTER
 - [Pattern] PROPOSED 8" ASPHALT CURB
 - [Pattern] PROPOSED STANDARD CURB & GUTTER
 - 4973 — EXISTING CONTOUR W/ INDEX ELEVATION
 - SWALE
 - FLOW ARROW
 - ▲ PROPOSED SLOPE



- EROSION CONTROL NOTES:**
1. CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT PRIOR TO GRADING.
 2. DISTURBED AREAS WILL BE RESEEDING PER C.O.A. DPM SECTION 1012, WHERE INDICATED BY SHADING, THIS PLAN.
 3. PROTECTION OF ADJACENT RIGHT-OF-WAY AND PRIVATE PROPERTY FROM SEDIMENT, WILL BE ACCOMPLISHED BY THE SWALES AND BERMS SHOWN HERE ON.

5123/97
[Signature]
KENT M. WHITMAN
CITY OF CORRALES
PROFESSIONAL ENGINEER

PREPARED
MAY 27 1997
HYDROLOGY SECTION



- GENERAL NOTES:**
1. ALL WORK DETAILED ON THIS PLAN TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED WITH UPDATE NO. 6.
 2. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (280-1990) FOR LOCATION OF EXISTING UTILITIES.
 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
 4. THE CONTRACTOR SHALL CONTACT WATER SYSTEMS DIVISION (857-8200) FIVE (5) WORKING DAYS PRIOR TO NEEDING SHUT-OFF OR TURN-ON OF VALVES. ONLY CITY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVE.
 5. EXISTING UTILITY LINE LOCATIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION OF ANY SUCH EXISTING LINES IS BASED UPON INFORMATION PROVIDED BY THE UTILITY COMPANY, THE OWNER, OR BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES.
- THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES. MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH (BLUE STAKES) PROCEDURES, OR OTHERWISE.
6. TOPOGRAPHIC SURVEY PERFORMED BY COMMUNITY SCIENCES CORPORATION ON MAY 10, 1996.
 7. EARTHWORK COMPACTION SPECIFICATIONS ARE TO BE SUPPLIED SEPARATELY BY THE DEVELOPER.

DRAINAGE SUMMARY

PURPOSE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN A BUILDING PERMIT FOR A 30' X 40' GRAVEL SITE FOR A RADIO TOWER AND ASSOCIATED CONTROLS.

PLANNING HISTORY

THIS SITE CONSISTS OF LOTS 1 THROUGH 10, BLOCK 38 OF SKYLINE HEIGHTS SUBDIVISION AS ORIGINALLY RECORDED IN 1948. THERE IS NO DRAINAGE PLAN FOR THAT SUBDIVISION AND THE AREA IS ALMOST COMPLETELY BUILT OUT WITH COMMERCIAL AND INDUSTRIAL USES. THESE TEN LOTS ARE BEING COMBINED INTO A SINGLE LOT (1.86 AC) BY A PLAT THAT IS TO BE RECORDED IN JUNE 1996.

EXISTING CONDITIONS

ON-SITE - THE SITE SLOPES TO THE NORTHWEST AT A 1.5% SLOPE. DRAINAGE ON THE WEST EDGE OF THIS SITE IS DIVERTED TO THE NORTH BY AN EXISTING BUILDING AND ASSOCIATED SITE IMPROVEMENTS ON LOT 6, BLOCK 39, THUS PREVENTING CROSS LOT DRAINAGE ONTO THAT LOT. A SUBSTANTIAL PORTION OF THE SITE SHEET DRAINS INTO LOT 5, BLOCK 39, WHERE THE DRAINAGE IS CONTROLLED BY SWALES IN THE ASPHALT PAVING ON THAT LOT. THIS SITE IS COVERED BY COMPACTED SOIL AND SOME ASPHALT PAVEMENT, AND IT IS PRESENTLY USED FOR STORAGE OF CONSTRUCTION MATERIALS AND SUPPLIES, INCLUDING SOIL STOCKPILES AS INDICATED BY THE EXISTING TOPOGRAPHY.

OFF-SITE - THERE ARE NO SIGNIFICANT OFF-SITE AREAS DRAINING INTO THIS SITE. THE ROOF OF THE ADJACENT BUILDING TO THE EAST DRAINS INTO THIS PROPERTY. THIS NEIGHBORHOOD IS BUILT OUT WITH INTENSE COMMERCIAL AND INDUSTRIAL USES. UNDER EXISTING CONDITIONS A SUBSTANTIAL AMOUNT OF SURFACE DRAINAGE FROM EUBANK RUNS DOWN ACOMA AVE, BUT THE CITY OF ALBUQUERQUE HAS FUNDED A STORM DRAIN IMPROVEMENTS PROJECT FOR EUBANK WHICH IS EXPECTED TO REDUCE THE SURFACE DRAINAGE IN ACOMA AVE. TO ACCEPTABLE FLOW RATES. THE EUBANK PROJECT IS EXPECTED TO BE COMPLETED BY LATE 1996 OR EARLY 1997.

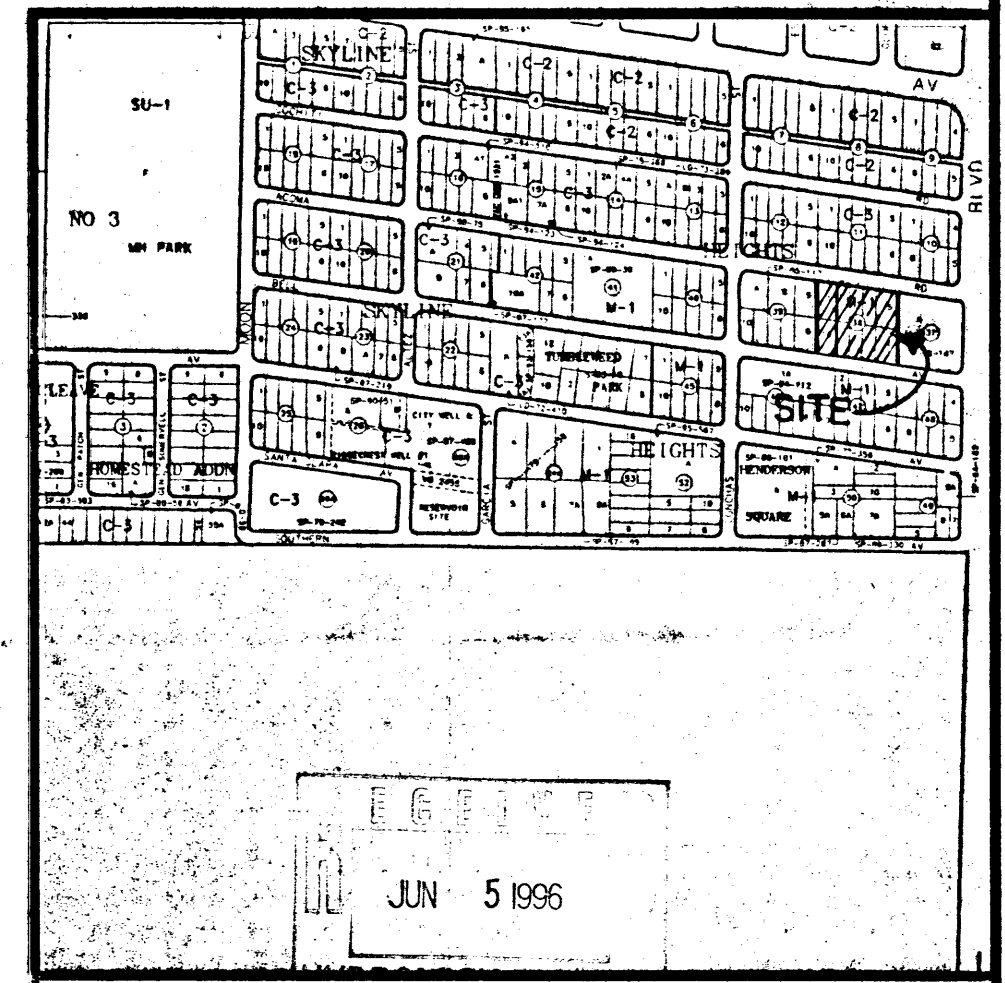
PROPOSED CONDITIONS

ON-SITE - THE DEVELOPMENT OF THIS 30' X 40' RADIO TOWER SITE IN THE MIDDLE OF THIS 1.86 ACRE SITE, WILL HAVE NO SIGNIFICANT IMPACT ON EXISTING DRAINAGE CONDITIONS. THE SITE WILL CONTINUE TO SURFACE DRAIN TO ACOMA AVE. AND TO LOT 5, BLOCK 39, WITH NO INCREASE IN FLOW.

OFF-SITE - BECAUSE THIS SITE IS AN "INFILL" DEVELOPMENT, ITS CONTRIBUTION TO OFF-SITE FLOWS IS INSIGNIFICANT AND DOWNSTREAM DRAINAGE CONSTRAINTS WILL NOT BE SIGNIFICANTLY IMPACTED BY THE COMPARATIVELY SLIGHT INCREASE IN FLOWS THAT THIS DEVELOPMENT WILL PRODUCE.

LEGAL DESCRIPTION

LOTS 1 THRU 10, BLOCK 38 OF THE SKYLINE HEIGHTS SUBDIVISION



SCALE 1:500 L-20-Z

WESTERN WIRELESS SKYLINE SITE

GRADING & DRAINAGE PLAN

DATE: JUNE, 1996	community sciences corporation	SHEET 1/1
SCALE: 1"=20'		
DESIGNED: JWH		
DRAWN: GWR		
LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING		

BENCHMARK:
STANDARD ACS DISK SET IN A DRILLED HOLE ON TOP OF CURB. STATION IS STAMPED "5-K20 ACS". LOCATED IN NE QUADRANT OF CENTRAL AVE. & MOON ST. STATION IS LOCATED 39.1 FT. EAST OF THE CENTERLINE OF MOON ST. AND 43.5 FT. NORTH OF CENTERLINE OF CENTRAL AVE. ELEV. =5427.38

APPROVED FOR ROUGH GRADING (1 FT. ±)	
BY _____	DATE _____
CITY HYDROLOGY	

- 1 REMOVE AND DISPOSE OF EXIST. C&G & SIDEWALK & REPLACE W/"PRIVATE ENTRANCE" PER COA STD DWG 2425
- 2 REMOVE & DISPOSE OF EXIST. C&G & SIDEWALK & REPLACE W/"PRIVATE ENTRANCE" PER COA STD DWG 2426
- 3 4" HEADER CURB
- 4 6" HEADER CURB
- 5 BOLLARDS @ 5' O.C.
- 6 MOUNTABLE CURB
- 7 EXIST. WATER METER TO BE REMOVED
- 8 EXIST. WATER METER

LEGEND

- 99.0 PROPOSED SPOT ELEVATION
- ◊ 09.0 EXISTING SPOT ELEVATION (GRND & TC)
- ===== PROPOSED CONCRETE VALLEY GUTTER
- ===== EXISTING CURB & GUTTER
- ===== PROPOSED MOUNTABLE CURB & GUTTER
- ===== PROPOSED STANDARD CURB & GUTTER
- 4973- EXISTING CONTOUR W/ INDEX ELEVATION
- SWALE
- FLOW ARROW
- ===== EXISTING PAVING TO BE REMOVED

A	PT	E	BC	CURB
1	59.95	R	24.3	
2	59.72	La	34.9	
3	59.49	Δ	82°08'	

B	PT	E	BC	CURB
1	59.90	R	24.3	
2	59.87	La	34.8	
3	60.19	Δ	81°55'	

C	PT	E	BC	CURB
1	58.83	R	14.4	
2	57.76	La	24.3	
3	58.65	Δ	96°53'	

D	PT	E	BC	CURB
1	58.58	R	16.3	
2	58.61	La	23.6	
3	58.93	Δ	83°04'	

F	PT	E	BC	CURB
1	56.80	R	24.3	
2	57.27	La	35.0	
3	57.75	Δ	82°18'	

BENCHMARK:
STANDARD ACS DISK SET IN A DRILLED HOLE ON TOP OF CURB. STATION IS STAMPED "5-K20 ACS". LOCATED IN NE QUADRANT OF CENTRAL AVE. & MOON ST. STATION IS LOCATED 39.1 FT. EAST OF THE CENTERLINE OF MOON ST. AND 43.5 FT. NORTH OF CENTERLINE OF CENTRAL AVE.
ELEV. = 5427.38

Calculate Existing & Proposed Runoff.

FIRM Panel 36 indicates: FHZ AØ depth 1 on Moon downstream of site.

Erosion Control Plan

DRAINAGE SUMMARY

PURPOSE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN A BUILDING PERMIT.

PLANNING HISTORY

THIS SITE CONSISTS OF LOTS 1 THROUGH 10, BLOCK 38 OF SKYLINE HEIGHTS SUBDIVISION AS ORIGINALLY RECORDED IN 1948. THERE IS NO DRAINAGE PLAN FOR THAT SUBDIVISION AND THE AREA IS ALMOST COMPLETELY BUILT OUT WITH COMMERCIAL AND INDUSTRIAL USES. THESE TEN LOTS ARE BEING COMBINED INTO A SINGLE LOT (1.86 AC.) BY A PLAT THAT IS TO BE RECORDED IN JUNE 1996.

EXISTING CONDITIONS

ON-SITE - THE SITE SLOPES TO THE NORTHWEST AT A 1.5% SLOPE. DRAINAGE ON THE WEST EDGE OF THIS SITE IS DIVERTED TO THE NORTH BY AN EXISTING BUILDING AND ASSOCIATED SITE IMPROVEMENTS ON LOT 6, BLOCK 38, THUS PREVENTING CROSS LOT DRAINAGE ONTO THAT LOT. A SUBSTANTIAL PORTION OF THE SITE SHEET DRAINS INTO LOT 5, BLOCK 39, WHERE THE DRAINAGE IS CONTROLLED BY SWALES IN THE ASPHALT PAVING ON THAT LOT. THIS SITE IS COVERED BY COMPACTED SOIL AND SOME ASPHALT PAVEMENT, AND IT IS PRESENTLY USED FOR STORAGE OF CONSTRUCTION MATERIALS AND SUPPLIES, INCLUDING SOIL STOCKPILES AS INDICATED BY THE EXISTING TOPOGRAPHY.

OFF-SITE - THERE ARE NO SIGNIFICANT OFF-SITE AREAS DRAINING INTO THIS SITE. THE ROOF OF THE ADJACENT BUILDING TO THE EAST APPEARS TO DRAIN INTO THIS PROPERTY, BUT THAT DRAINAGE WILL BE INTERCEPTED BY STANDARD C & G ON THE EAST SIDE OF THE SITE AND CONVEYED NORTH TO ACOMA AVE. THIS NEIGHBORHOOD IS BUILT OUT WITH INTENSE COMMERCIAL AND INDUSTRIAL USES. UNDER EXISTING CONDITIONS A SUBSTANTIAL AMOUNT OF SURFACE DRAINAGE FROM EUBANK RUNS DOWN ACOMA AVE, BUT THE CITY OF ALBUQUERQUE HAS FUNDED A STORM DRAIN IMPROVEMENTS PROJECT FOR EUBANK WHICH IS EXPECTED TO REDUCE THE SURFACE DRAINAGE IN ACOMA AVE. TO ACCEPTABLE FLOW RATES. THE EUBANK PROJECT IS EXPECTED TO BE COMPLETED BY LATE 1996 OR EARLY 1997.

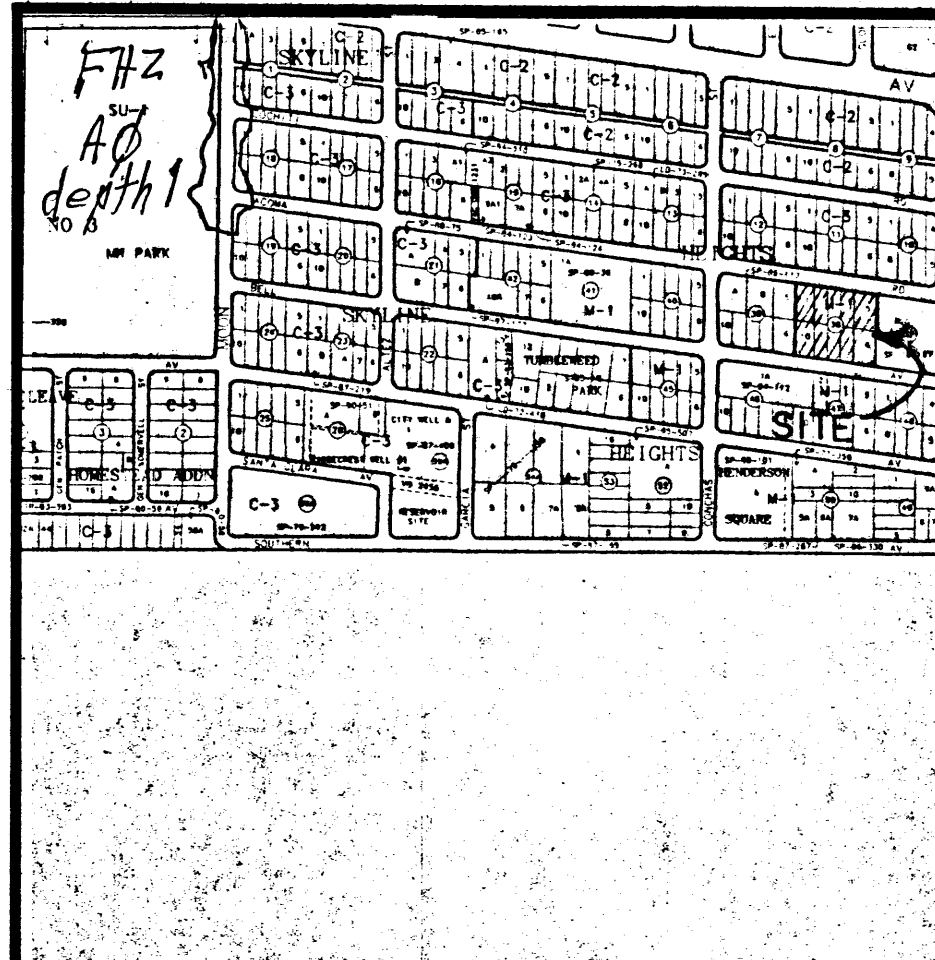
PROPOSED CONDITIONS

ON-SITE - THE EAST HALF OF THIS SITE WILL BE DEVELOPED WITH A BUILDING AND ASPHALT PAVING AREAS ALL OF WHICH WILL SURFACE DRAIN TO ACOMA AVE. THE TRAVELWAY ON THE EAST SIDE OF THE SITE WILL INTERCEPT OFF-SITE ROOF DRAINAGE THAT ENTERS THIS SITE AND CONVEY IT TO ACOMA. THE PRIVATE DRIVEPADS ON BELL AVE. WILL HAVE 0.87' HIGH WATER BLOCKS TO PREVENT FLOWS FROM BELL AVE. FROM ENTERING THIS SITE. THE WEST HALF OF THIS SITE WILL BE DEVELOPED AT A FUTURE DATE WITH A SIMILAR BUILDING, AND AN ASPHALT TRAVELWAY ON THE EXTREME WEST EDGE OF THE SITE THAT WILL CONVEY DRAINAGE TO ACOMA AVE. IT IS ANTICIPATED THAT WITH THAT FUTURE DEVELOPMENT A 3' TO 4' HIGH RETAINING WALL WILL BE CONSTRUCTED ON THE WEST PROPERTY LINE TO INSURE NO CROSS LOT DRAINAGE ONTO LOT 6, BLOCK 39, AND ONLY A 6' WIDE LANDSCAPE STRIP (WEST OF THAT TRAVELWAY) WILL DRAIN ONTO LOT 5, BLOCK 39. WITH THIS PLAN THE WEST HALF OF THE SITE IS TO REMAIN IN ITS EXISTING CONDITION AND THE DEVELOPED PORTION OF THE SITE WILL NOT DRAIN INTO IT, THUS REDUCING THE AMOUNT OF DRAINAGE THAT IS DISCHARGED ONTO LOT 6, BLOCK 39.

OFF-SITE - BECAUSE THIS SITE IS AN INFILL DEVELOPMENT, ITS CONTRIBUTION TO OFF-SITE FLOWS IS INSIGNIFICANT AND DOWNSTREAM DRAINAGE CONSTRAINTS WILL NOT BE SIGNIFICANTLY IMPACTED BY THE COMPARATIVELY SLIGHT INCREASE IN FLOWS THAT THIS DEVELOPMENT WILL PRODUCE.

LEGAL DESCRIPTION

LOTS 1 THRU 10, BLOCK 38 OF THE SKYLINE HEIGHTS SUBDIVISION



VICINITY MAP

SCALE: 1"=500'

L-20-Z

STEWART BUILDING SITE ON ACOMA AVE.

GRADING & DRAINAGE PLAN

DATE: JUNE, 1996	<i>community sciences corporation</i>	SHEET
SCALE: 1"=20'		1
DESIGNED: JDH		1
DRAWN: GWR		1
JOB NO.: 354-01-715		LAND PLANNING P.O. Box 1328 ENGINEERING Corrales, N.M. 87048 SURVEYING

APPROVED FOR ROUGH GRADING (1 FT. ±)

BY _____ DATE _____

CITY HYDROLOGY

