



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 15, 2003

Glen Kistenmacher, P.E.  
Kistenmacher Engineering Co., Inc.  
1420 Geronimo Dr. Suite A-2  
El Paso, TX 79925

**Re: Checker Auto Store, 10030 Central Ave. SE, Certificate of Occupancy  
(L20/D59)**

Dear Mr. Kistenmacher,

Based upon the information provided in your submittal received 12-15-03, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file

# RECEIVED

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 1/28/2003rd)

DEC 15 2003

S & J ENTERPRISES, INC.

L-20/D59

PROJECT TITLE: Checker Auto Store ZONE MAP/DRG. FILE #: L-20  
 DRB #: 98-137 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 7A, Block 6, Skyline Heights  
 CITY ADDRESS: 10030 Central Avenue, S.E.

ENGINEERING FIRM: Kistenmacher Engineering Co., Inc.  
 ADDRESS: 1420 Geronimo Drive, Suite A-2  
 CITY, STATE: El Paso, Texas 79925

CONTACT: Glen Kistenmacher  
 PHONE: 915-778-4476  
 ZIP CODE: 79925

OWNER: CSK Auto, Inc.  
 ADDRESS: 645 East Missouri Avenue  
 CITY, STATE: Phoenix, AZ

CONTACT: Reggie Anderson  
 PHONE: 602-631-7386  
 ZIP CODE: 85102

ARCHITECT: Archicon, L.L.C.  
 ADDRESS: 3707 North 7th Avenue, Suite 200  
 CITY, STATE: Phoenix, AZ

CONTACT: Maneesh Dwivedi  
 PHONE: 602-222-4266  
 ZIP CODE: 85014

SURVEYOR: Kistenmacher Engineering Co., Inc.  
 ADDRESS: 1420 Geronimo Drive, Suite A-2  
 CITY, STATE: El Paso, Texas

CONTACT: -  
 PHONE: 915-778-4476  
 ZIP CODE: 79925

CONTRACTOR: S&J Contractors  
 ADDRESS: 3535 Princeton, N.E.  
 CITY, STATE: Albuquerque, NM

CONTACT: Jerry Castillo  
 PHONE: 505-884-6234  
 ZIP CODE: 87107

### CHECK TYPE OF SUBMITTAL:

### CHECK TYPE OF APPROVAL SOUGHT:

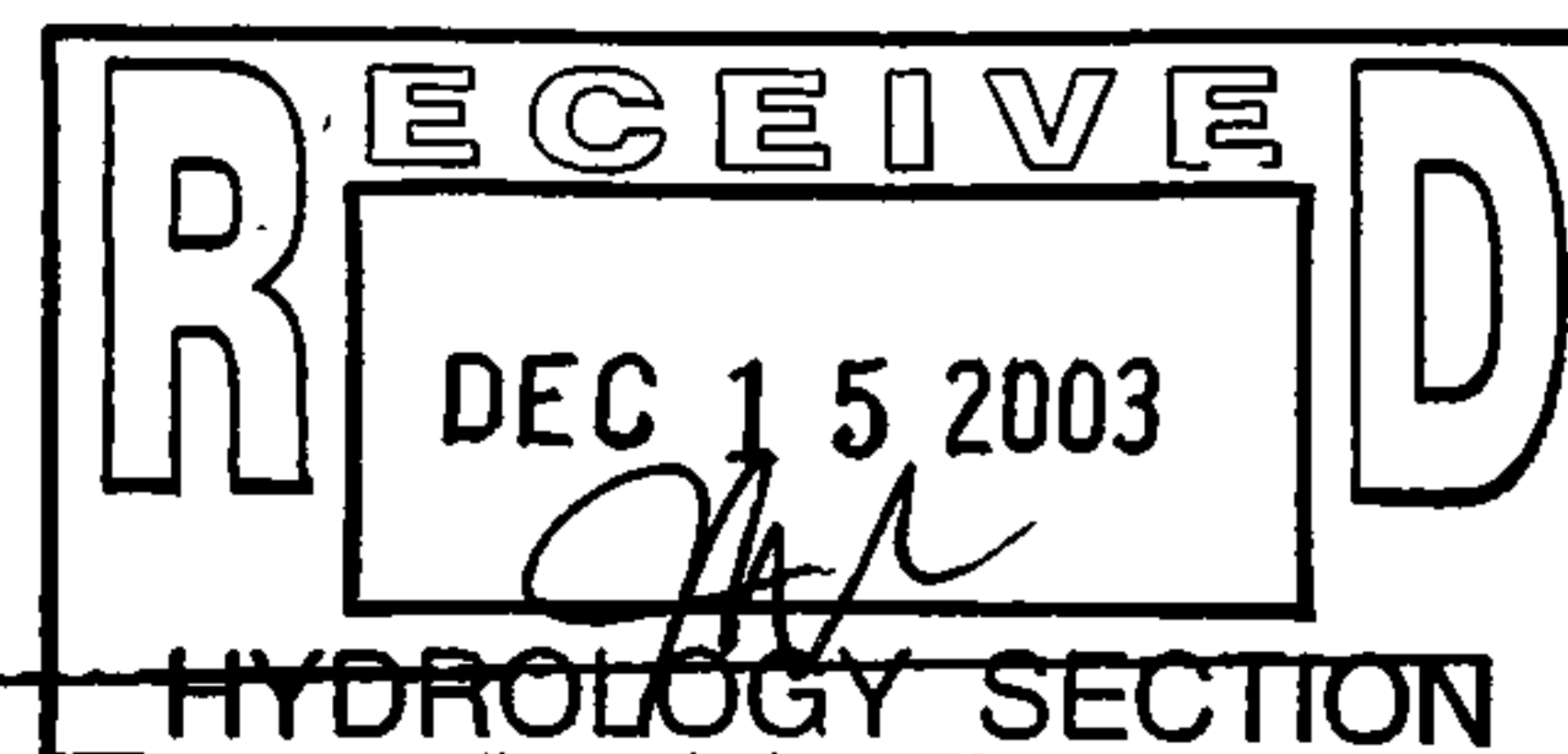
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: December 15, 2003 BY: \_\_\_\_\_



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

GLENN KISTENMACHER

G. Glen Kistenmacher, P. E.



**Kistenmacher Engineering Company, Inc.**

1420 Geronimo Drive, Suite A2  
El Paso, Texas 79925  
915-778-4476  
Fax 915-778-4504

Consulting Engineering • Land Planning • Surveying

ELSE.

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/28/2003rd)

PROJECT TITLE: Checker Auto Store ZONE MAP/DRG. FILE #: L-20  
ORB #: 98-137 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

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PHONE: 505-884-6234  
ZIP CODE: 87107

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☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
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☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

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☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR 8LOG. PERMIT APPROVAL  
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☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: December 15, 2003 BY: \_\_\_\_\_

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July 9, 1998

Glen Kistenmacher, P.E.  
Kistenmacher Engineering Co., Inc.  
1420 Geronimo Drive, Suite A-2  
El Paso, Texas 79925

**RE: CHECKER AUTO (L20-D59). GRADING AND DRAINAGE PLAN FOR BUILDING AND GRADING PERMIT APPROVALS. ENGINEER'S SEAL DATED June 29, 1998.**

Dear Mr. Kistenmacher:

Based on the information provided on your July 1, 1998 resubmittal and your letter of July 8, 1998, the above referenced project is approved for Building and Grading Permits. It is also approved for SO#19 Permit (sidewalk culvert). Please furnish a second set of plans for this purpose.

A separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the Excavation Permit.

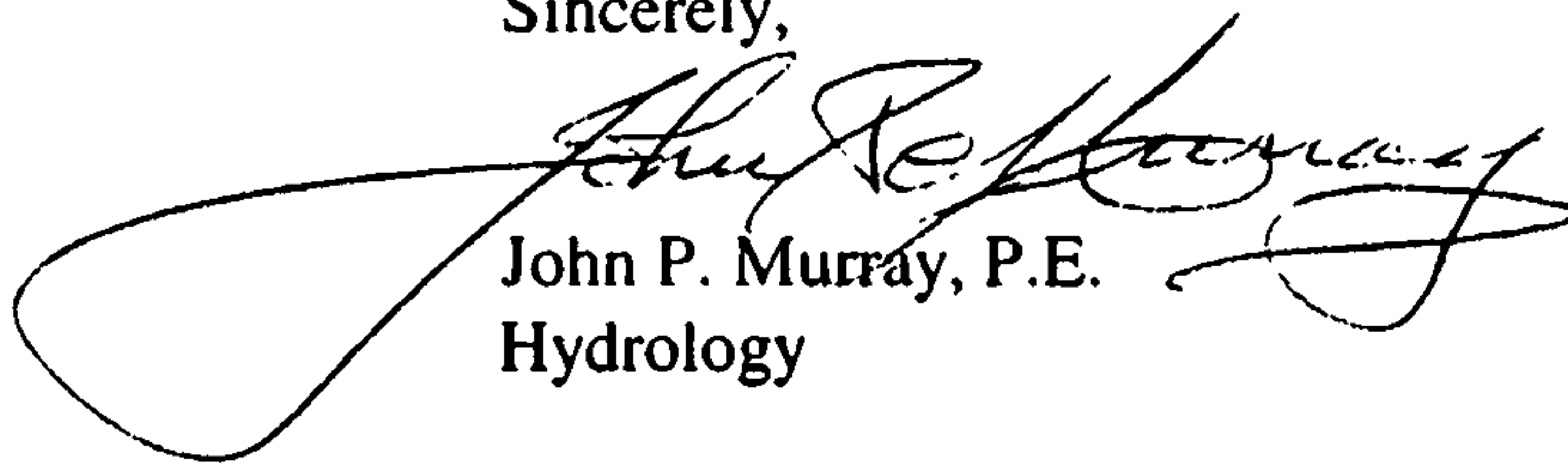
Plat actions have covered the vacation of the public alley through this site and new R-O-W along streets. 'Watershed III', an area of approximately 0.01 acres, drains westerly to the remaining alley. Existing site discharged to Cochiti Road as will the proposed project.

Clearly differentiate between contour elevations and spot elevations.

Prior to Certificate of Occupancy approval, an Engineer's Certification will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.  
Hydrology

c: Andrew Garcia  
Arlene Portillo  
✓ File

Good for You, Albuquerque!



CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

AUGUST 12, 1998

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Desiderio Salas, Street Maintenance Division

FROM:  John P. Murray, P.E., Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY  
DRAINAGE FILE NUMBER (L20-D59).**

---

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment

John Murny

**DRAINAGE INFORMATION SHEET**

APPLICANT'S NAME: CSK Auto, Inc. ZONE ATLAS/DRNG. FILE #: L-20

DRB #: 98-137 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Easterly 1/2 of lots 3 and 8, and Lot 4,5,6 and 7, Block 6; Skyline Heights

CITY ADDRESS: 10030 Central Avenue, S.E.

ENGINEERING FIRM: Kistenmacher Engineering Company, Inc. CONTACT: Glen Kistenmacher  
1420 Geronimo Drive, Suite A-2  
ADDRESS: El Paso, Texas 79925 PHONE: (915) 778-4476

OWNER: CSK Auto, Inc. CONTACT: Stephen Pastorius  
654 East Missouri Avenue  
ADDRESS: Phoenix, AZ 85102 PHONE: (602) 631-7161

ARCHITECT: Archicon, L.C. CONTACT: Maneesh Dwivedi  
3707 North 7th Street, Suite 200  
ADDRESS: Phoenix, AZ 85014 PHONE: (602) 222-4266

SURVEYOR: Kistenmacher Engineering Co., Inc. CONTACT: Don Chrisman  
1420 Geronimo Drive, Suite A-2  
ADDRESS: El Paso, Texas 79925 PHONE: (915) 778-4476

CONTRACTOR: Pending CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

☐ OTHER \_\_\_\_\_

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

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☒ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ S.A.D. DRAINAGE REPORT

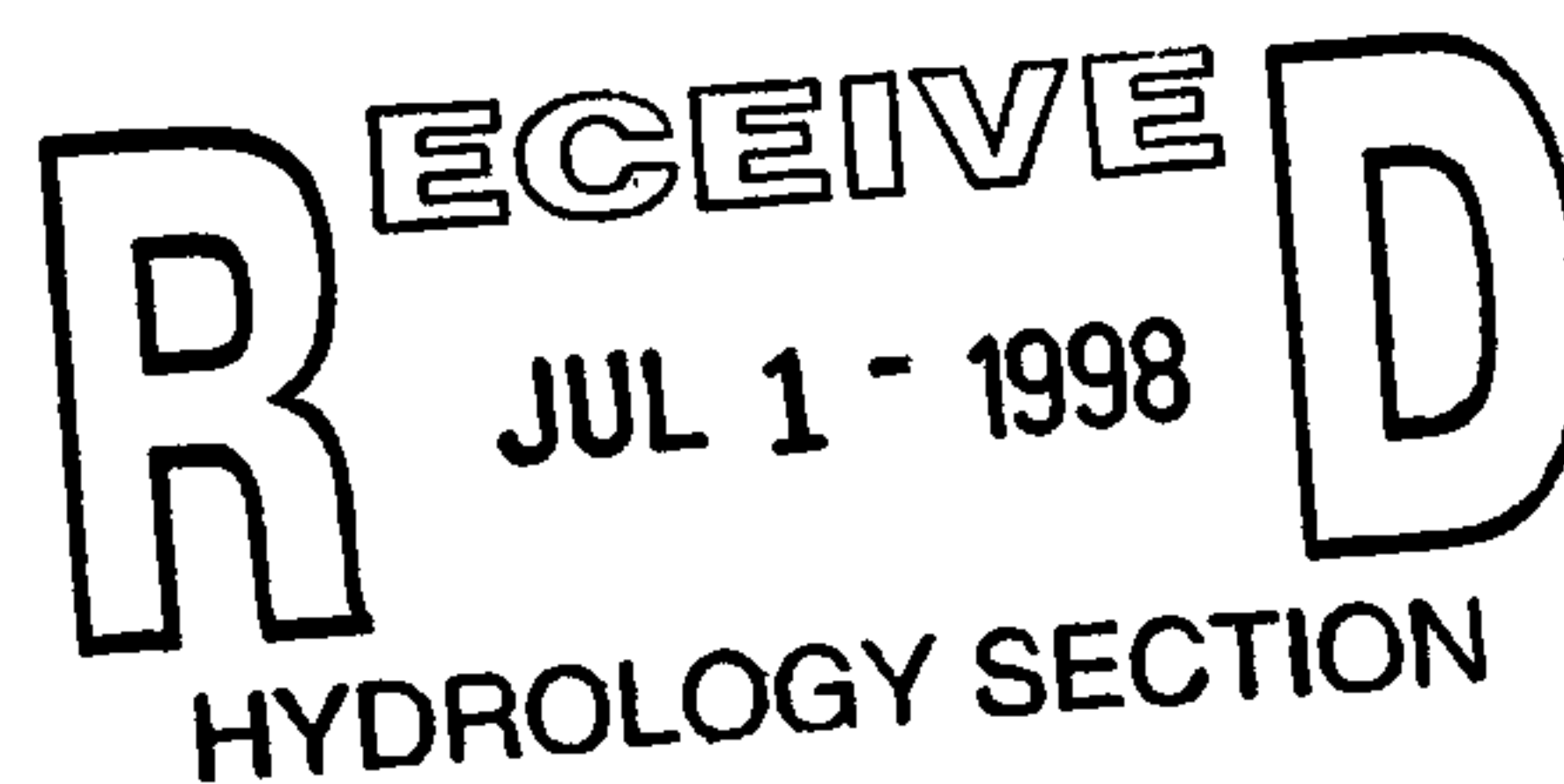
☐ DRAINAGE REQUIREMENTS

☐ SUBDIVISION CERTIFICATION

☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: May 28, 1998 (RESUBMITTAL 7/1/98)

BY: \_\_\_\_\_





**KISTENMACHER ENGINEERING CO.**

1420 GERONIMO DRIVE, SUITE A-2  
EL PASO, TEXAS 79925

(915) 778-4476 FAX (915) 778-4504

TO PUBLIC WORKS DEPARTMENT / CITY OF ALBUQUERQUE  
600 2ND STREET, NW 2ND FLOOR WEST  
ALBUQUERQUE, NM 87102

# LETTER OF TRANSMITTAL

DATE AUGUST 6, 1998 JOB NO. \_\_\_\_\_

ATTENTION MR. J. P. MURRAY, P.E.

RE CHECKER AUTO, CENTRAL AVENUE

ALBUQUERQUE, NEW MEXICO

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings ☒ Prints ☐ Plans ☐ Samples ☐ Specifications  
☐ Copy of letter ☐ Change order ☐ \_\_\_\_\_

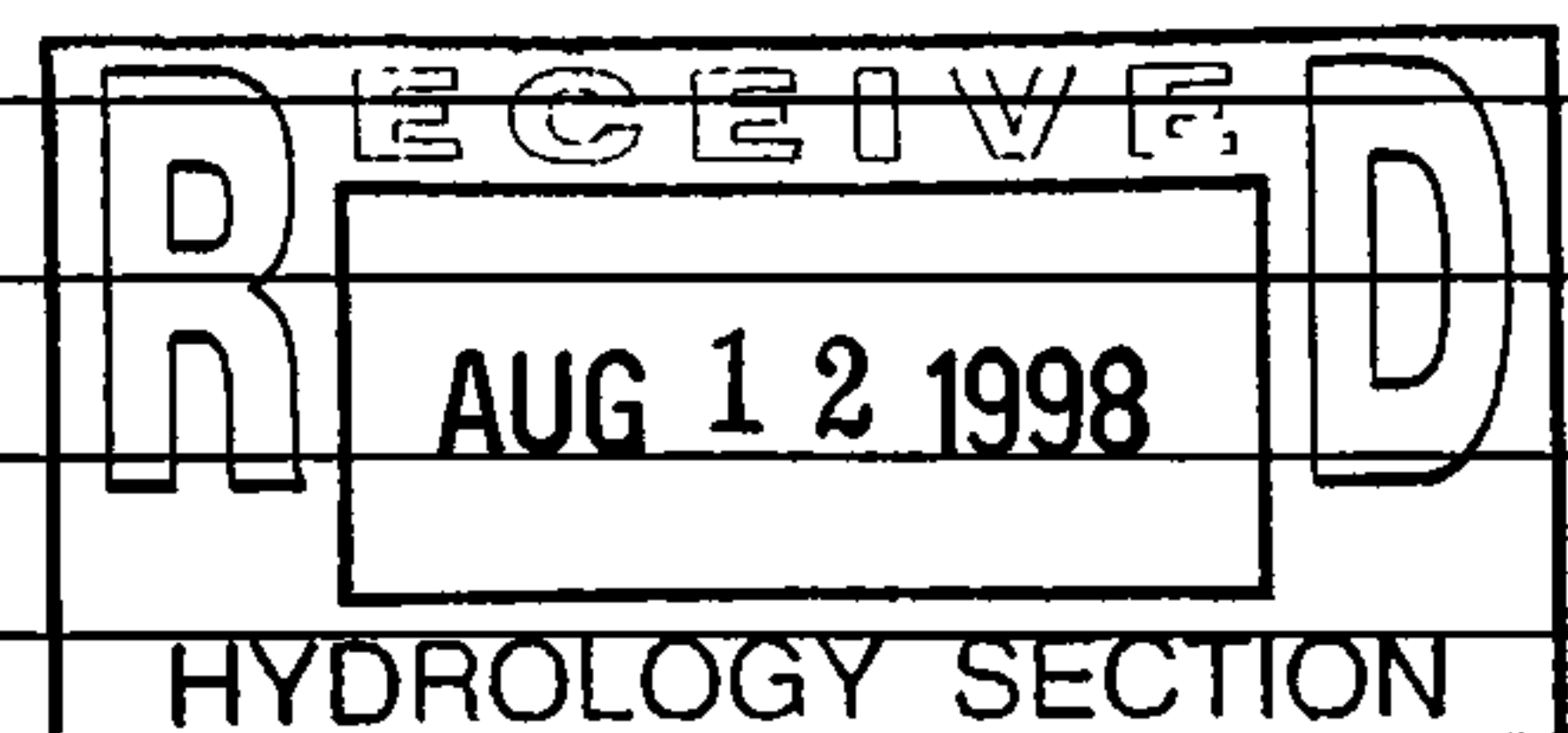
COPIES	DATE	NO.	DESCRIPTION
1		C-2	GRADING AND DRAINAGE PLAN PER YOUR REQUEST OF JULY 23, 1998

THESE ARE TRANSMITTED as checked below:

- ☐ For approval ☐ Approved as submitted ☐ Resubmit \_\_\_\_\_ copies for approval  
☒ For your use ☐ Approved as noted ☐ Submit \_\_\_\_\_ copies for distribution  
☒ As requested ☐ Returned for corrections ☐ Return \_\_\_\_\_ corrected prints  
☐ For review and comment ☐ \_\_\_\_\_  
☐ FOR BIDS DUE \_\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

## REMARKS

*Rec'd & Sent  
to St. Mariat*



COPY TO \_\_\_\_\_

SIGNED:

If enclosures are not as noted, kindly notify us at once. G. GLEN KISTENMACHER



\*\*\*\*\*  
\*\*\* TX REPORT \*\*\*  
\*\*\*\*\*

TRANSMISSION OK

TX/RX NO	3092
CONNECTION TEL	919157784504
SUBADDRESS	
CONNECTION ID	
ST. TIME	07/23 13:16
USAGE T	00'39
PGS.	1
RESULT	OK

**FAX**

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
(ONE STOP SHOP)  
600 2<sup>ND</sup> STREET - PLAZA DEL SOL - 2<sup>ND</sup> FLOOR WEST  
FAX NO. 924-3864

DATE: JULY 23, 1998TIME: 1:20 PMNO. OF PAGES: One (1)  
(INCLUDING COVER PAGE)TO: GLEN KISTENMACHER, P.E.FROM: J. P. MURRAY, P.E.COMMENTS: RE: CHECKER AUTO, CENTRAL AVE

As per our letter of July 9, 1998 & FAX  
of July 10, 1998, we have not yet received  
a second set of plans (actually single sheet)  
for SD #19 Permit, which is required for  
work on Central Ave.

**FAX**

**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
(ONE STOP SHOP)**

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a second set of plans (actually single sheet)  
for SD #19 Permit, which is required for  
work in City R-O-W.

Thankyou for looking after this.

J. Murray

# FAX

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
DEVELOPMENT AND BUILDING SERVICES  
(ONE STOP SHOP)

600 2<sup>ND</sup> STREET - PLAZA DEL SOL - 2<sup>ND</sup> FLOOR WEST  
FAX NO. 924-3864

DATE: July 10, 1998

TIME: 9:35 AM

NO. OF PAGES: 2  
(INCLUDING COVER PAGE)

TO: Glen Kistner PE

FROM: J P Murray PE

COMMENTS: NEED A SECOND SET OF PLANS  
FOR SD #19 Permit. JM

FAX 91  
915-778-4504



July 9, 1998

Glen Kistenmacher, P.E.  
Kistenmacher Engineering Co., Inc.  
1420 Geronimo Drive, Suite A-2  
El Paso, Texas 79925

**RE: CHECKER AUTO (L20-D59). GRADING AND DRAINAGE PLAN FOR BUILDING AND GRADING PERMIT APPROVALS. ENGINEER'S SEAL DATED June 29, 1998.**

Dear Mr. Kistenmacher:

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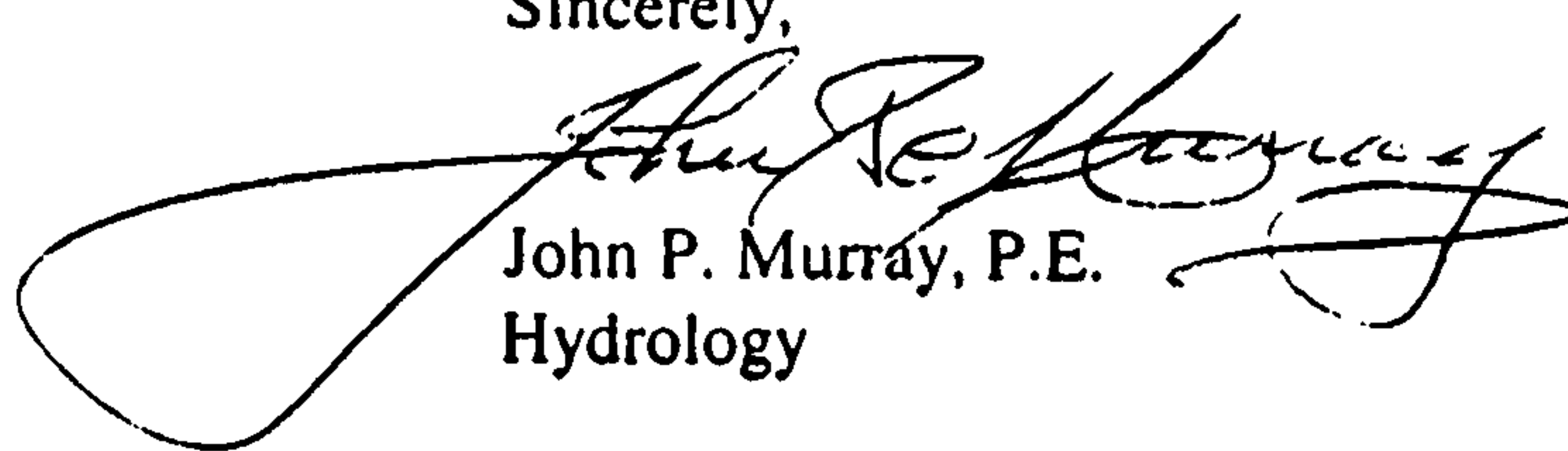
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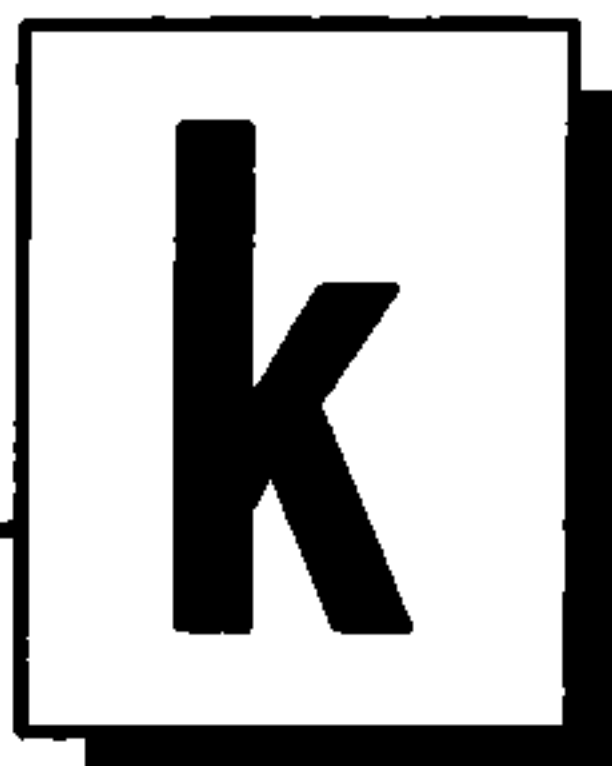
  
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c: Andrew Garcia  
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Good for You, Albuquerque!







# KISTENMACHER ENGINEERING COMPANY, INC.

• CONSULTING ENGINEERING

• LAND PLANNING

• SURVEYING

1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476 • FAX 915-778-4504

July 8, 1998

Mr. Fred Aguirre, P.E.  
City Engineer  
City of Albuquerque  
600 2<sup>nd</sup> Street NW, 2<sup>nd</sup> Floor West  
Albuquerque, New Mexico 87102

RE: Proposed Checker Auto Parts Store  
Plat of Lot 7A, Block 6, Skyline Heights  
DRB-98-137/V-98-41

Dear Mr. Aguirre:


In regard to the above-referenced plat/plans, please find the following information which you had requested:

1. A copy of the boundary, topographic and improvement Survey for the property. The topographic information contained on this survey illustrates the following:
  - a. No storm drainage from Conchas Street enters the alley due to an approximate eight inch (8") rise at the curb line.
  - b. No storm drainage from the adjacent property to the West enters the alley because this is contrary to the contour lines.
2. Drainage calculations for the property indicate a net decrease in the runoff from existing conditions. The point of discharge on Cochiti Road remains essentially the same; hence, the street capacity should not be adversely affected.

Hopefully this will provide the information which you requested. Should you have any questions or require any additional information, please contact this office at your convenience.

Sincerely,

KISTENMACHER ENGINEERING COMPANY, INC.

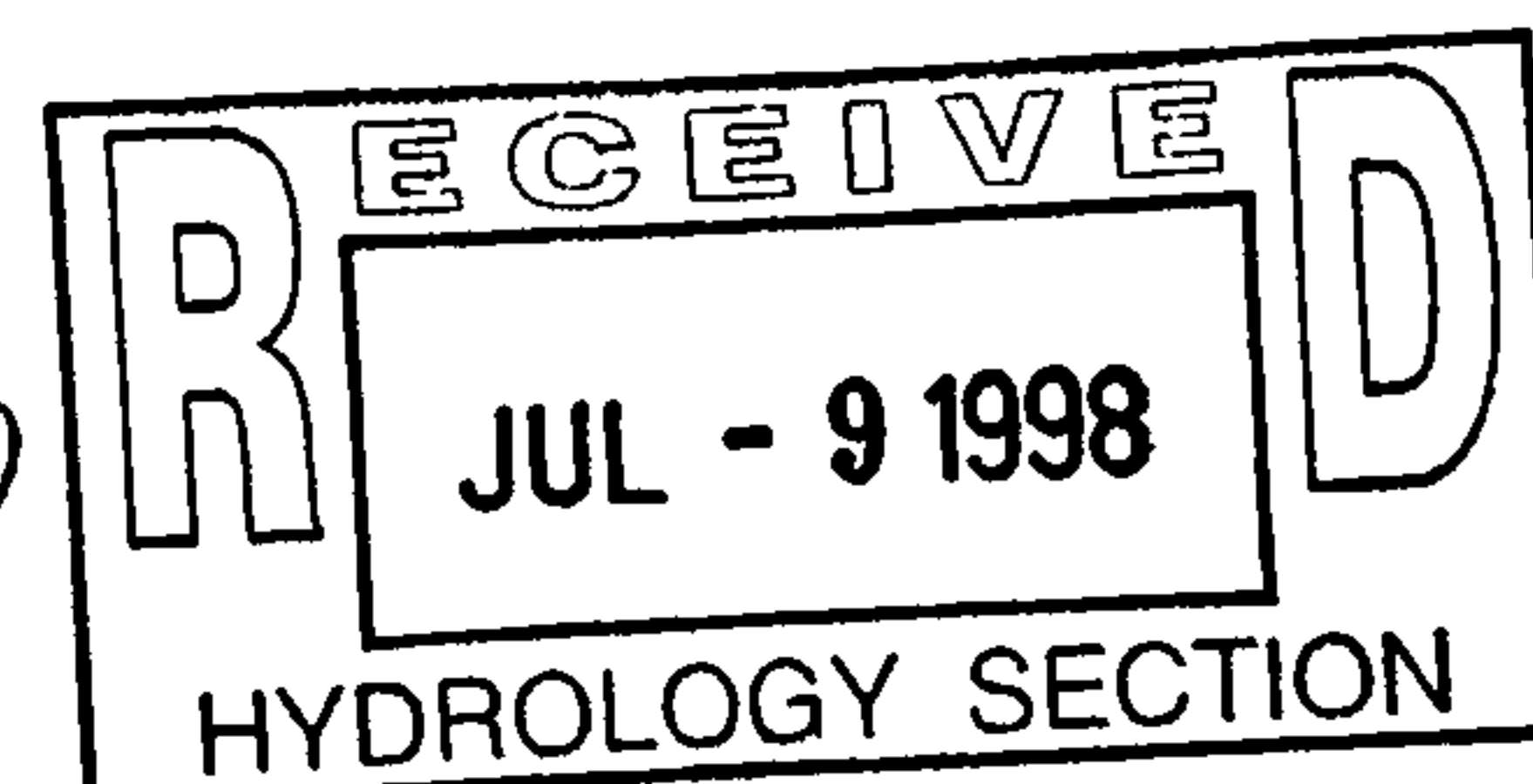


G. Glen Kistenmacher, P.E.

Enclosure

GGK/srh

Hand  
Delivered  
[Signature]



# DRAINAGE INFORMATION SHEET

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CONTRACTOR: Pending CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

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- ☐ ENGINEER'S CERTIFICATION
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## PRE-DESIGN MEETING:

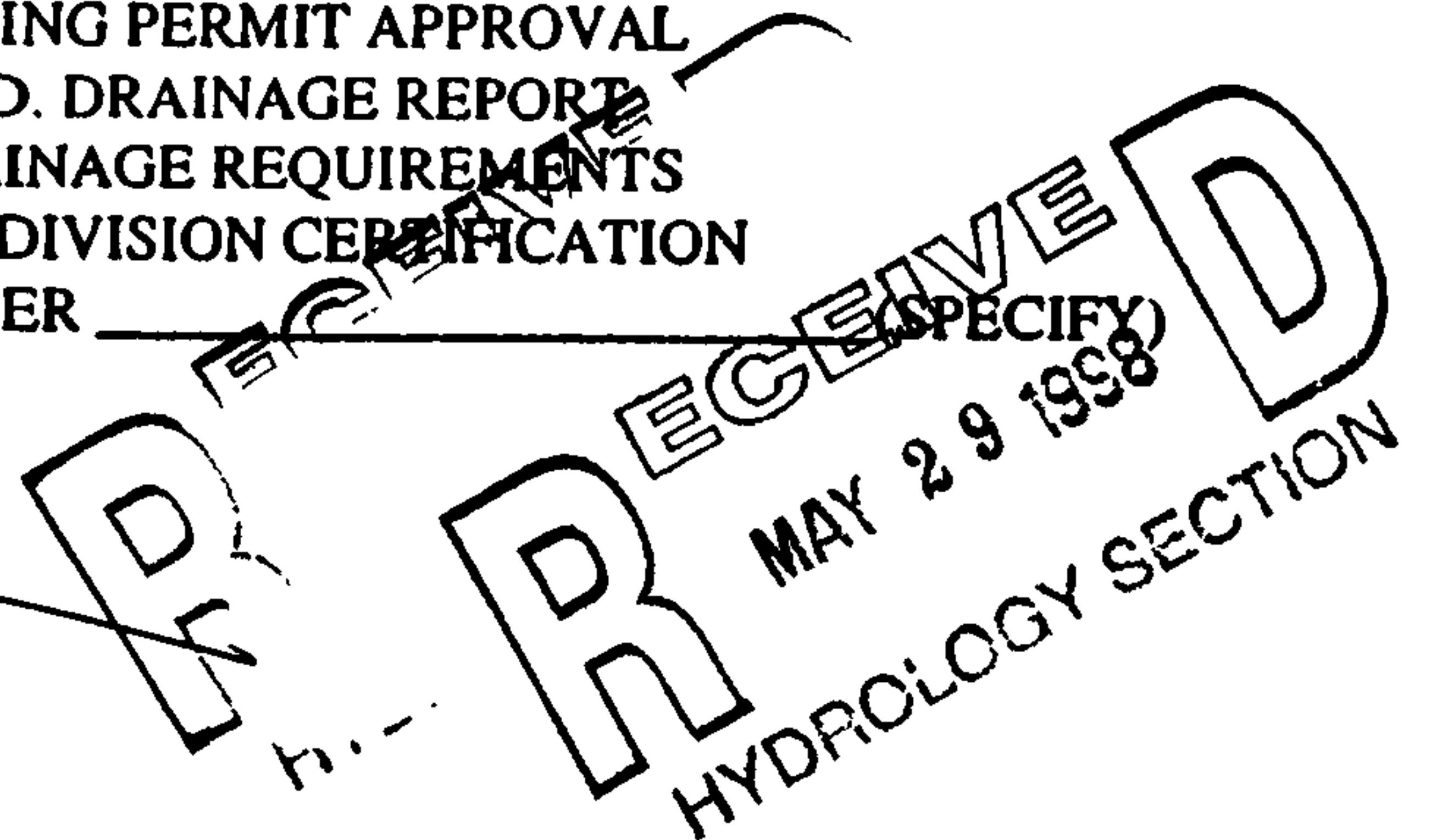
- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

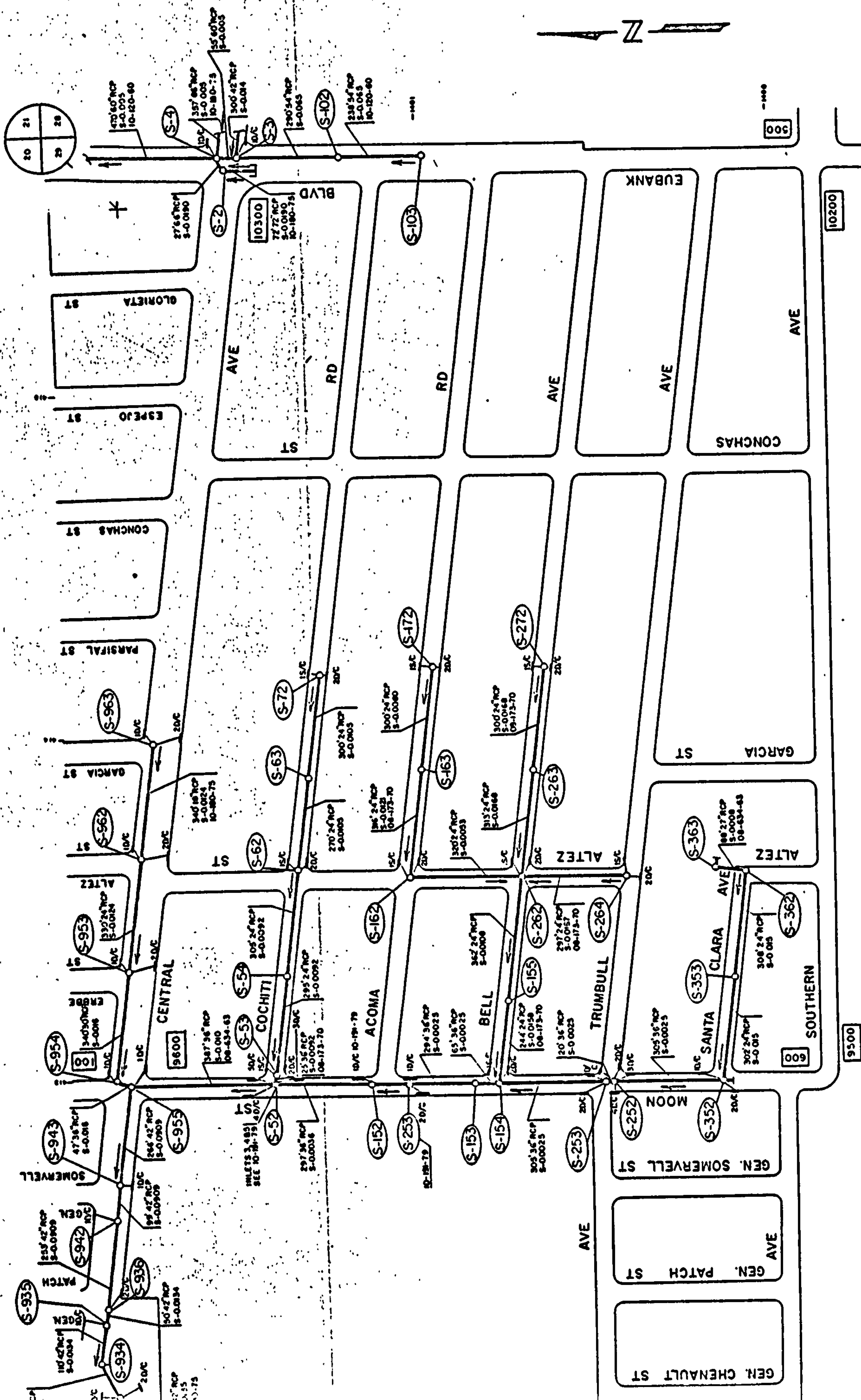
## CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER \_\_\_\_\_ (SPECIFY)

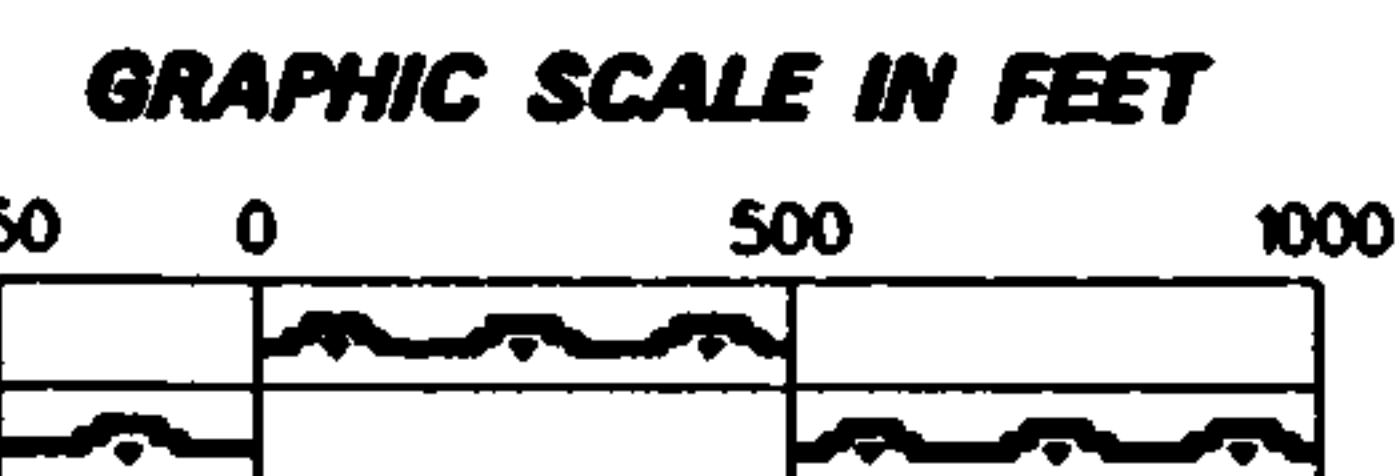
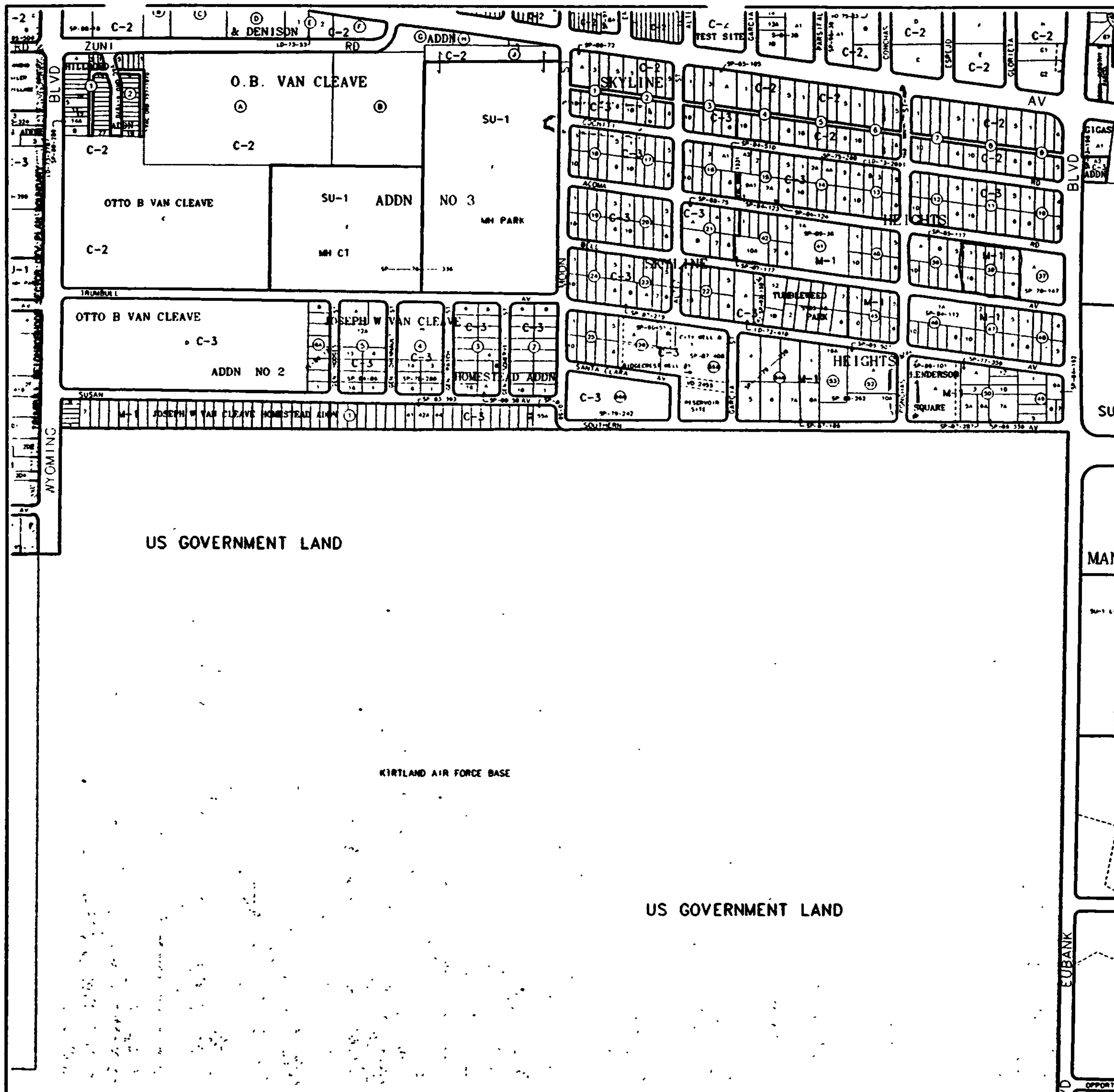
DATE SUBMITTED: May 28, 1998

BY: 



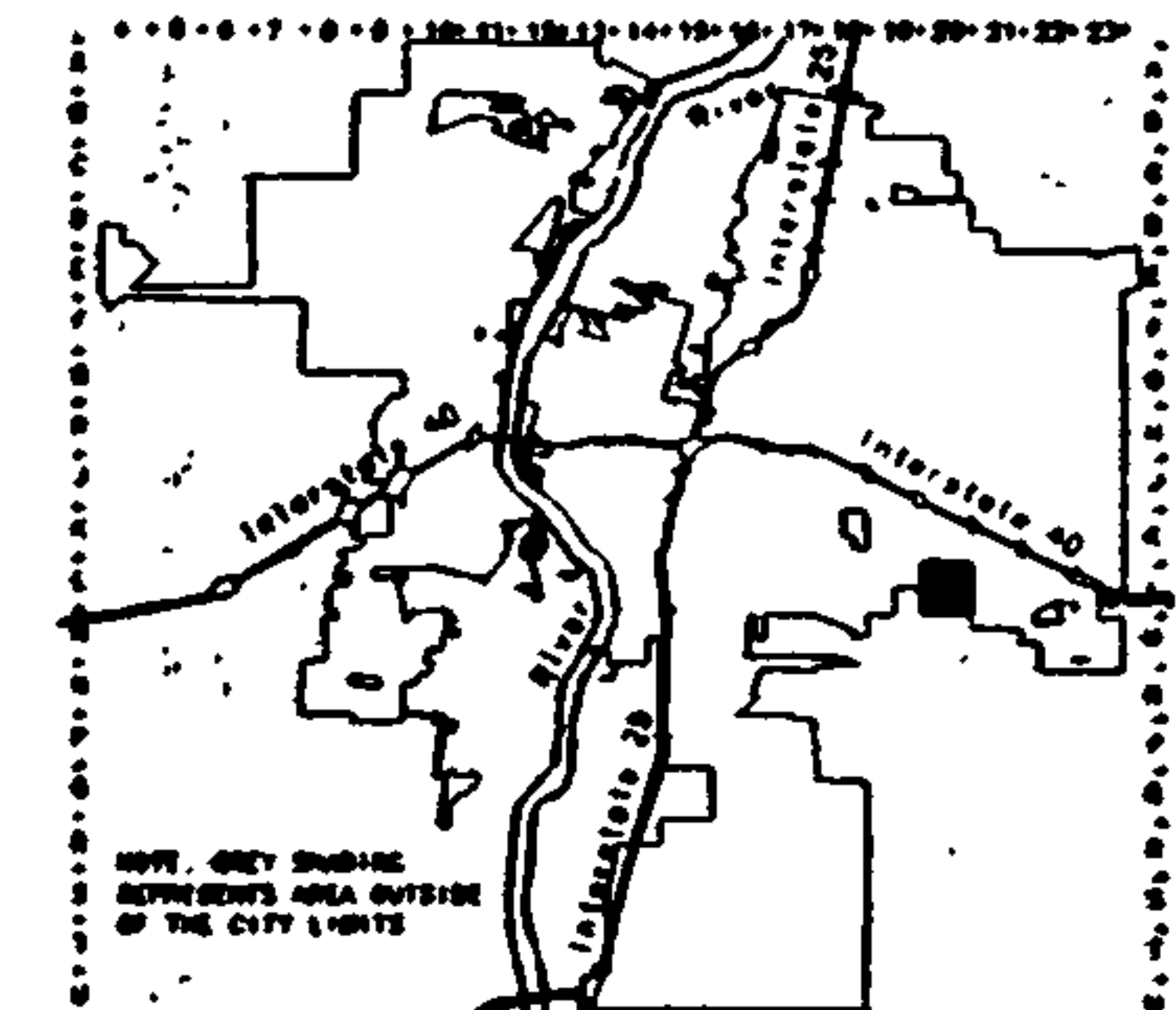






**Planning Department**  
© Copyright 1996

Map Amended through March 28, 1996

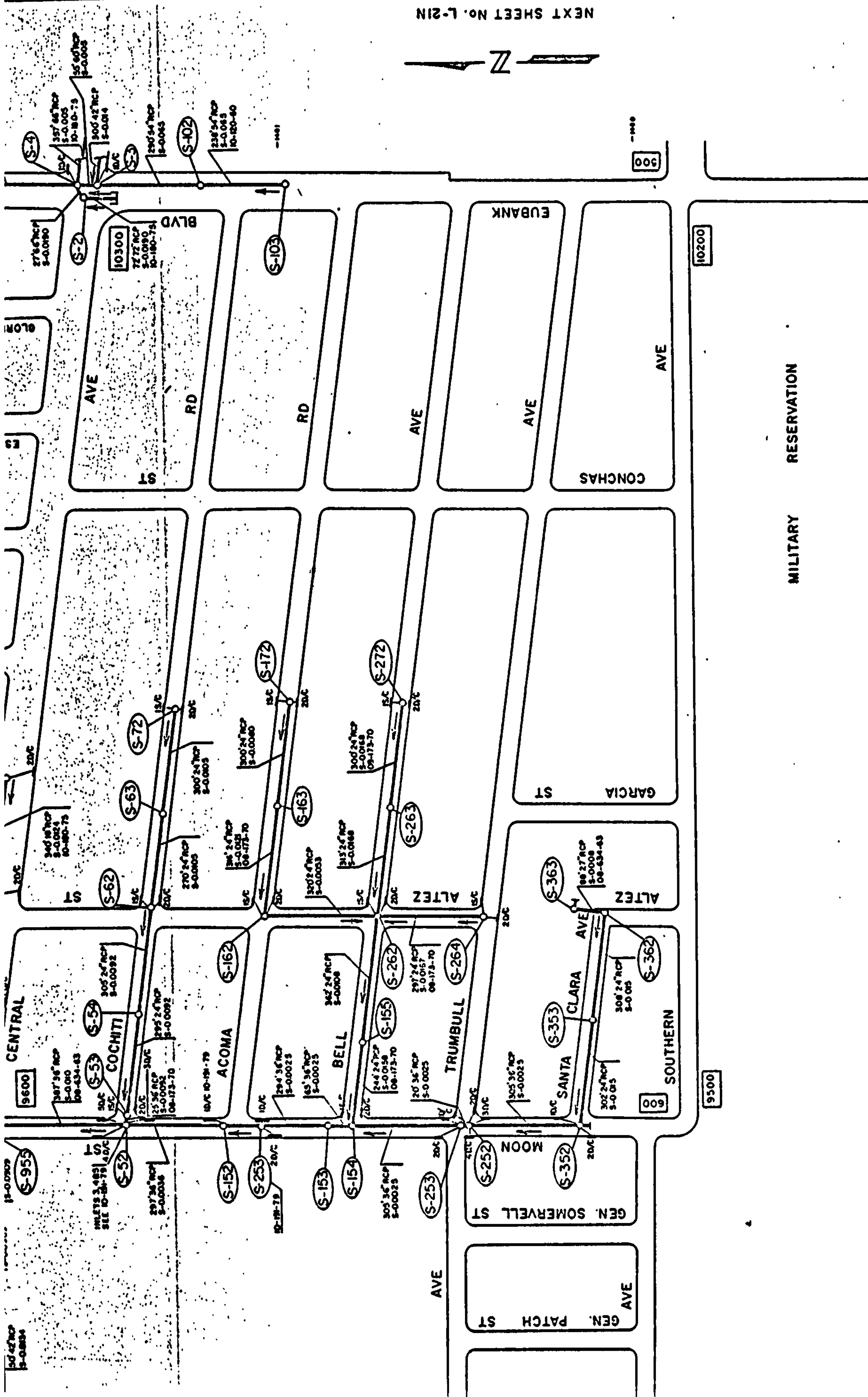


**LEGAL DESCRIPTION**  
T10N  
R4E  
SEC 20

**UNIFORM PROPERTY CODE**  
1-020-080

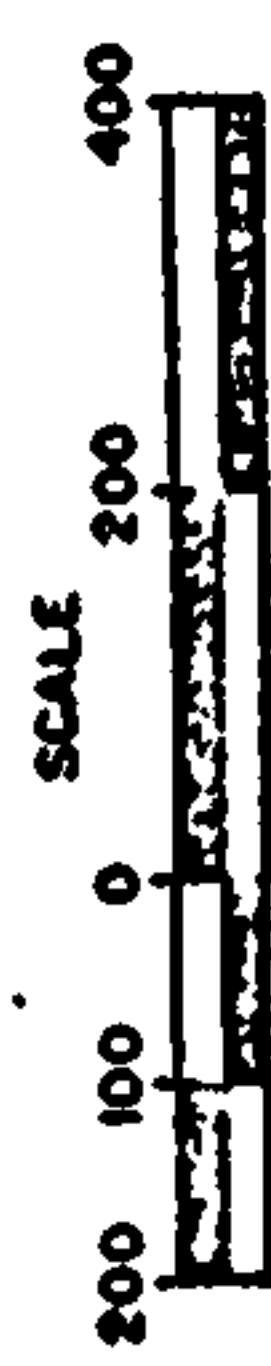
**L-20-Z**



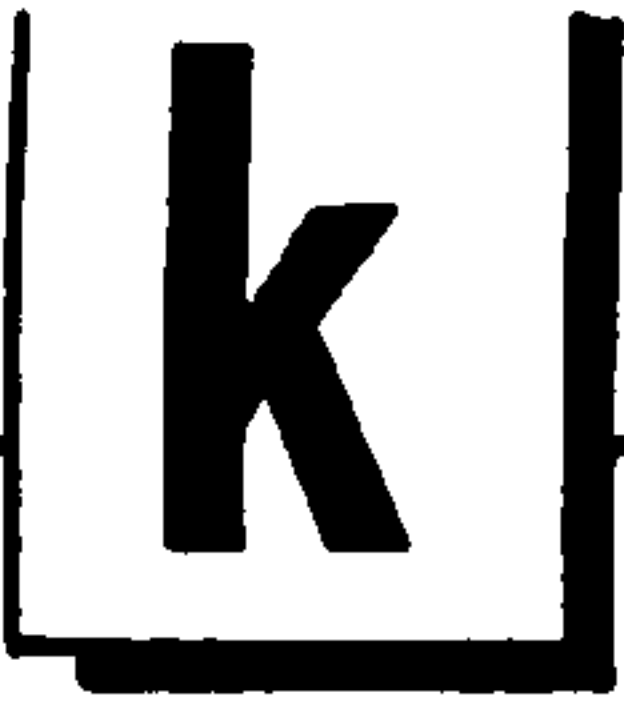


NEXT SHEET NO. L-21N

ML



DRAINAGE FACILITIES MAP



**KISTENMACHER ENGINEERING COMPANY, INC.**

• CONSULTING ENGINEERING • LAND PLANNING • SURVEYING  
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476 • FAX 915-778-4504

July 6, 1998

Ms. Kym E. Dicome  
Chairperson, Development Review Board  
City of Albuquerque  
600 2<sup>nd</sup> Street NW, 2<sup>nd</sup> Floor West  
Albuquerque, NM 87102

RE: Plat of Lot 7A, Block 6, Skyline Heights  
DRB-98-137/V-98-41

Dear Ms. Dicome:

As discussed last week, the ownership of the property included in the above referenced plat has now been conveyed to the new owner, CSK Auto, Inc. You indicated some type of wording would need to be added to the plat should this sale be finalized prior to the filing of the plat.

If you could fax the necessary wording for this plat to this office at your earliest convenience, it would be appreciated. Should you have any questions or require any additional information at this time, please contact this office.

Sincerely,

KISTENMACHER ENGINEERING COMPANY, INC.

G. Glen Kistenmacher, P.E.

GGK/srh



KISTENMACHER ENGINEERING COMPANY, INC.

• CONSULTING ENGINEERING • LAND PLANNING • SURVEYING  
1420 GERONIMO DRIVE, SUITE A2 • EL PASO, TEXAS 79925 • 915-778-4476 • FAX 915-778-4604

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Chairperson, Development Review Board  
City of Albuquerque  
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Albuquerque, NM 87102

COPY  
7/6/98  
In Copy Room gfk

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G. Glen Kistenmacher, P.E.

GGK/srh

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

JULY 10, 1998

NOT sent  
Awaiting CY of Plan

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Desiderio Salas, Street Maintenance Division

FROM:  John P. Murray, P.E., Hydrology, PWD

SUBJECT: **PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY  
DRAINAGE FILE NUMBER (L20-D59).**

---

Transmitted herewith, is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO #19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of the Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3984.

Attachment





June 24, 1998

Glen Kistenmacher, P.E.  
Kistenmacher Engineering Co., Inc.  
1420 Geronimo Drive, Suite A-2  
El Paso, Texas 79925

**RE: CHECKER AUTO (L20-D59). GRADING AND DRAINAGE PLAN FOR BUILDING  
AND GRADING PERMIT APPROVALS. ENGINEER'S SEAL NOT DATED.**

Dear Mr. Kistenmacher:

Based on the information provided on your May 28, 1998 submittal, City Hydrology has the following comments:

Engineer' Seal (Stamp is preferred) must be dated.

Vicinity Map required on G&D Plan. See enclosed Zone Atlas L-20.

Sidewalk culvert is standard. Refer to City of Albuquerque Standard Drawing 2236 (copy enclosed). Delete detail on Sheet C2. Show calculations for its sizing.

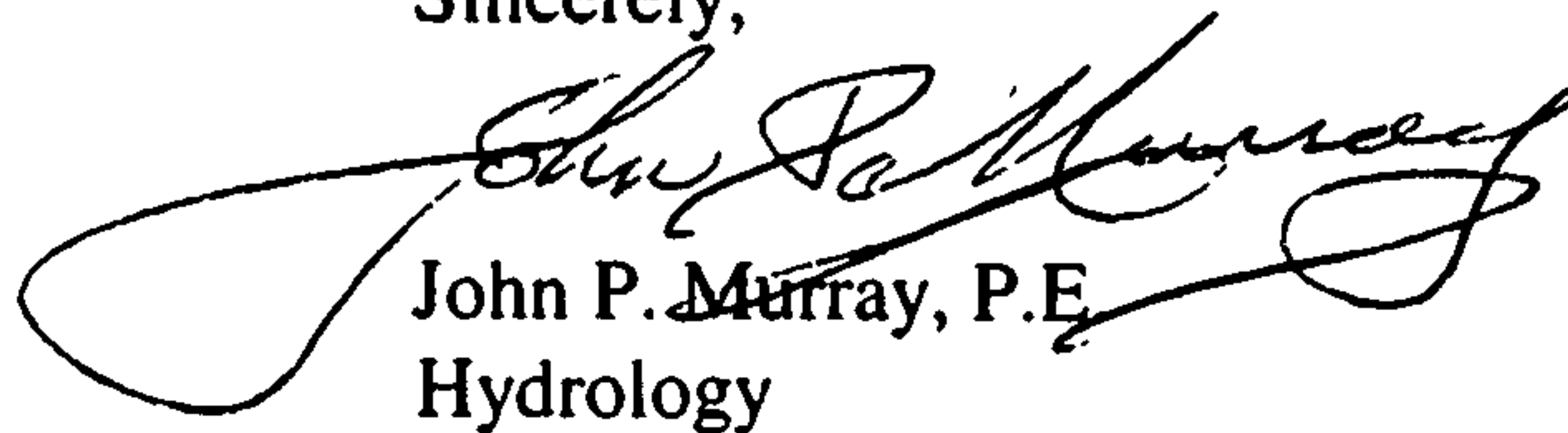
There are several references to "NEW right-of-way line." Revision of R-O-W requires Plat action.

Indicate slope of swale on plan. It appears that it meets the required minimum of  $s=0.005$  throughout its length. Elevations are different on same "contour" line.

Concur with Drainage Calculations - essentially no change in runoff. Did existing drainage discharge to Conchas or Cochiti? For proposed drainage discharge, what is street capacity of Cochiti? It is unclear as to why there is a Watershed III.

If I can be of further assistance, please feel free to contact me at 924-3984.

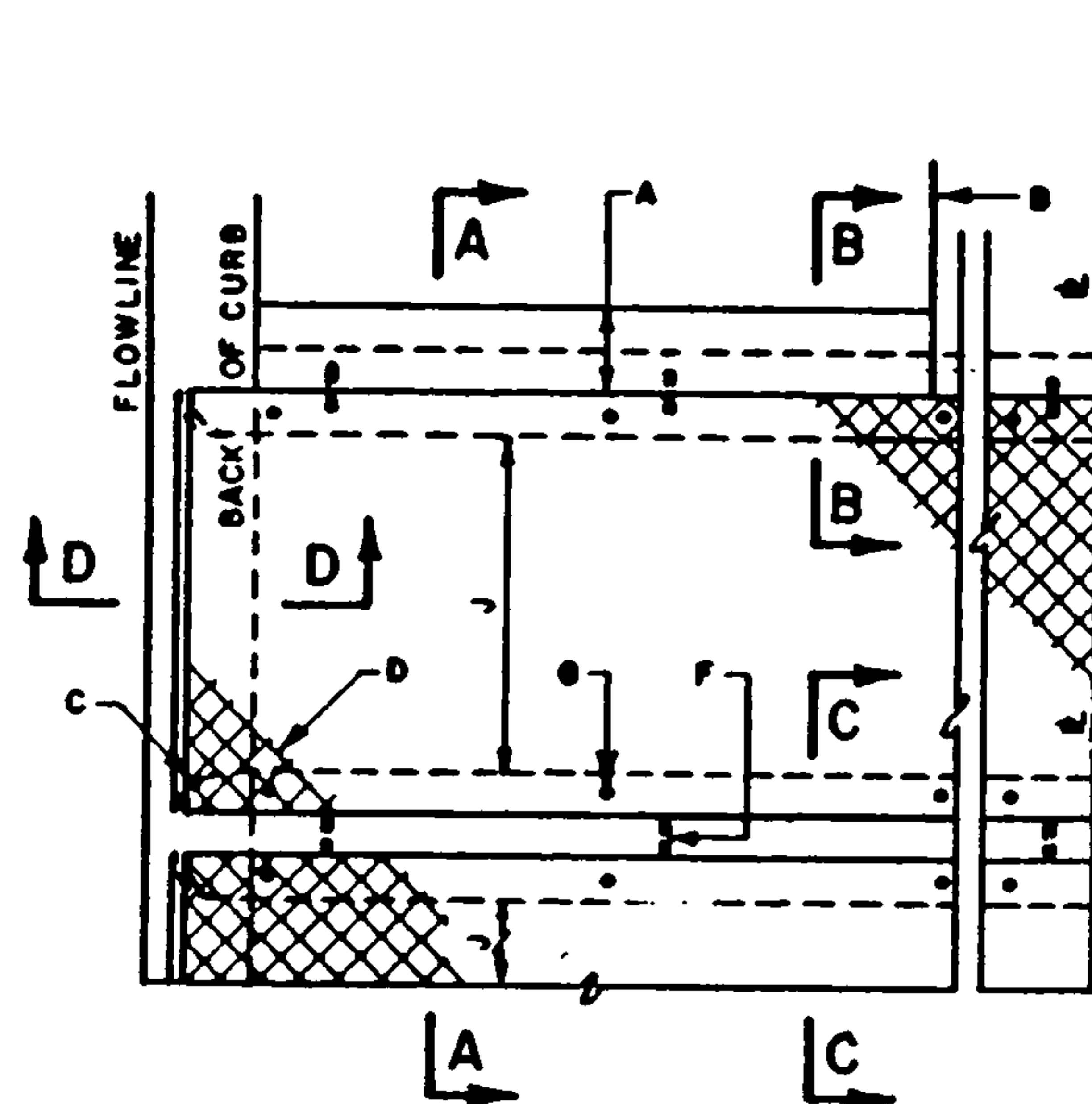
Sincerely,

  
John P. Murray, P.E.  
Hydrology

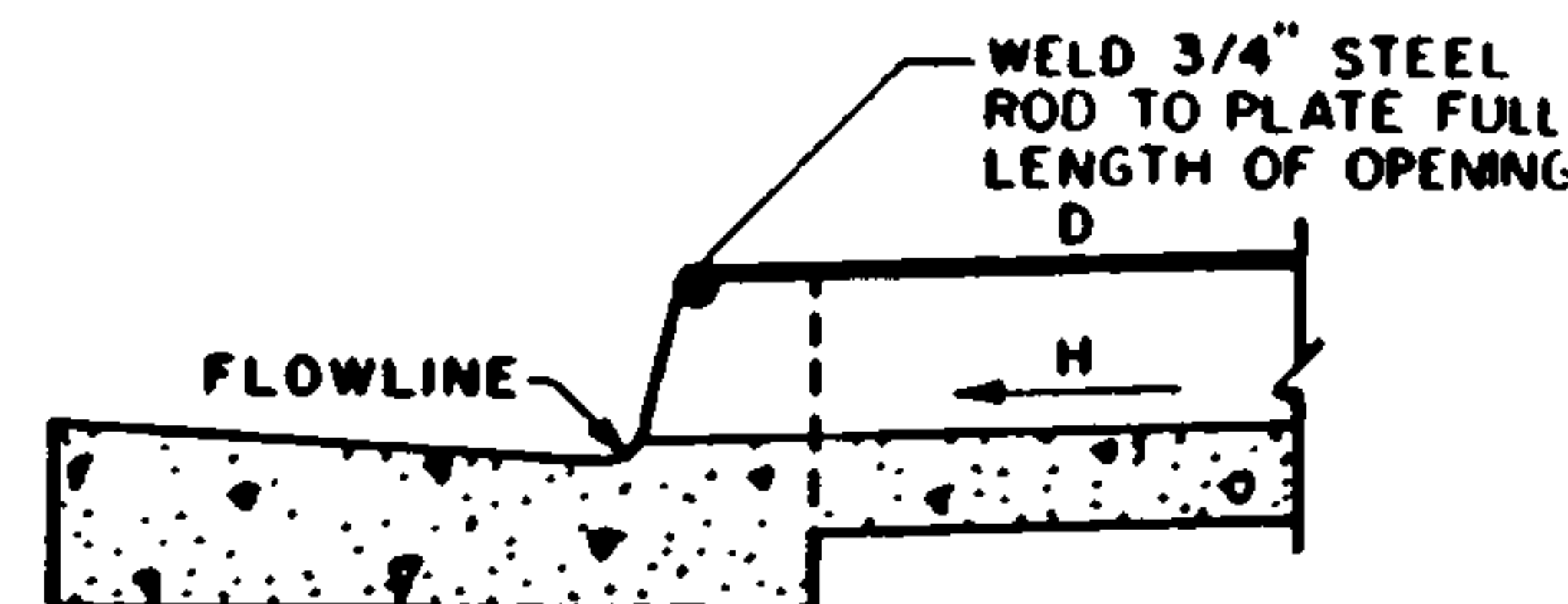
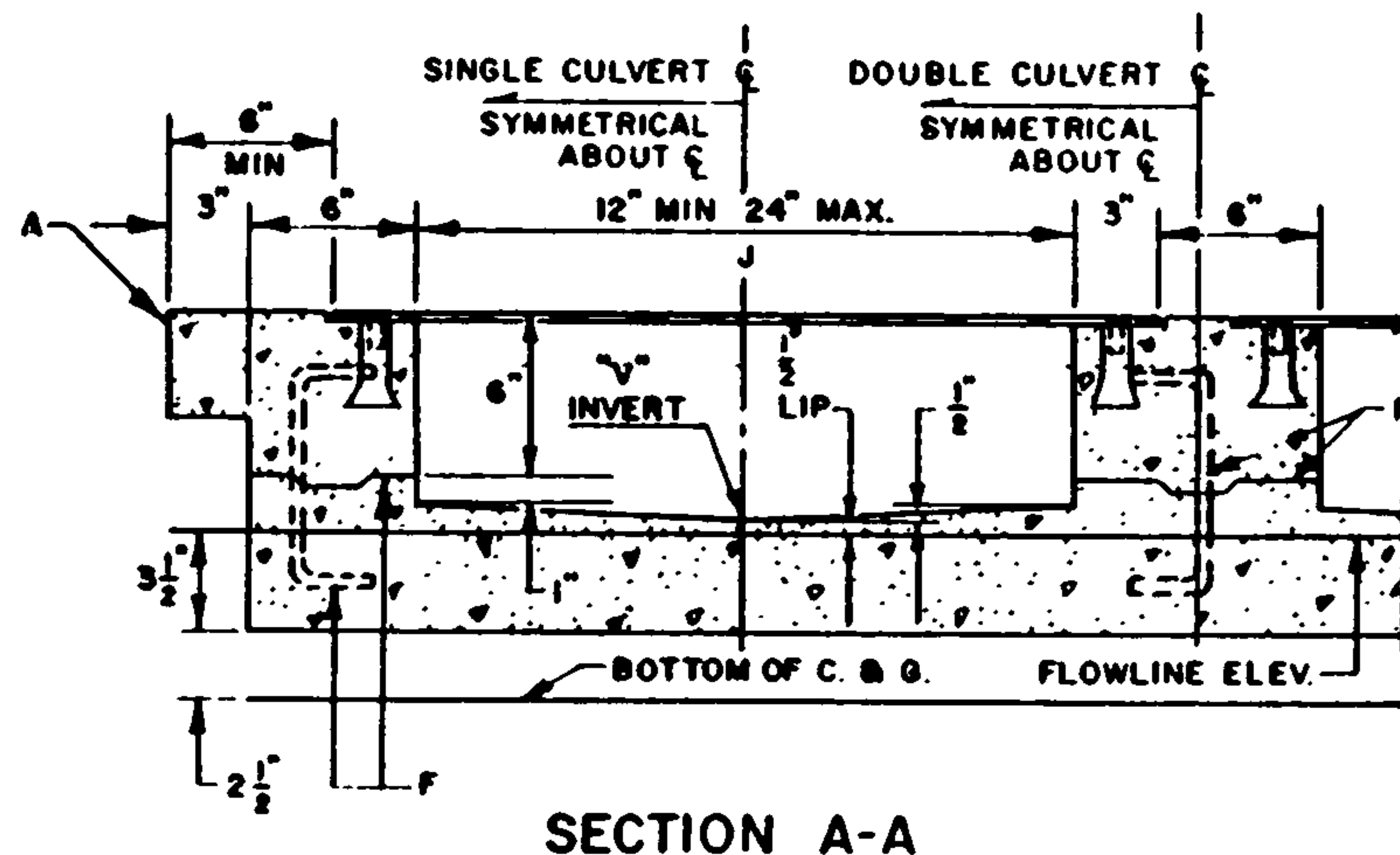
c: Andrew Garcia  
✓ File

Good for You, Albuquerque!

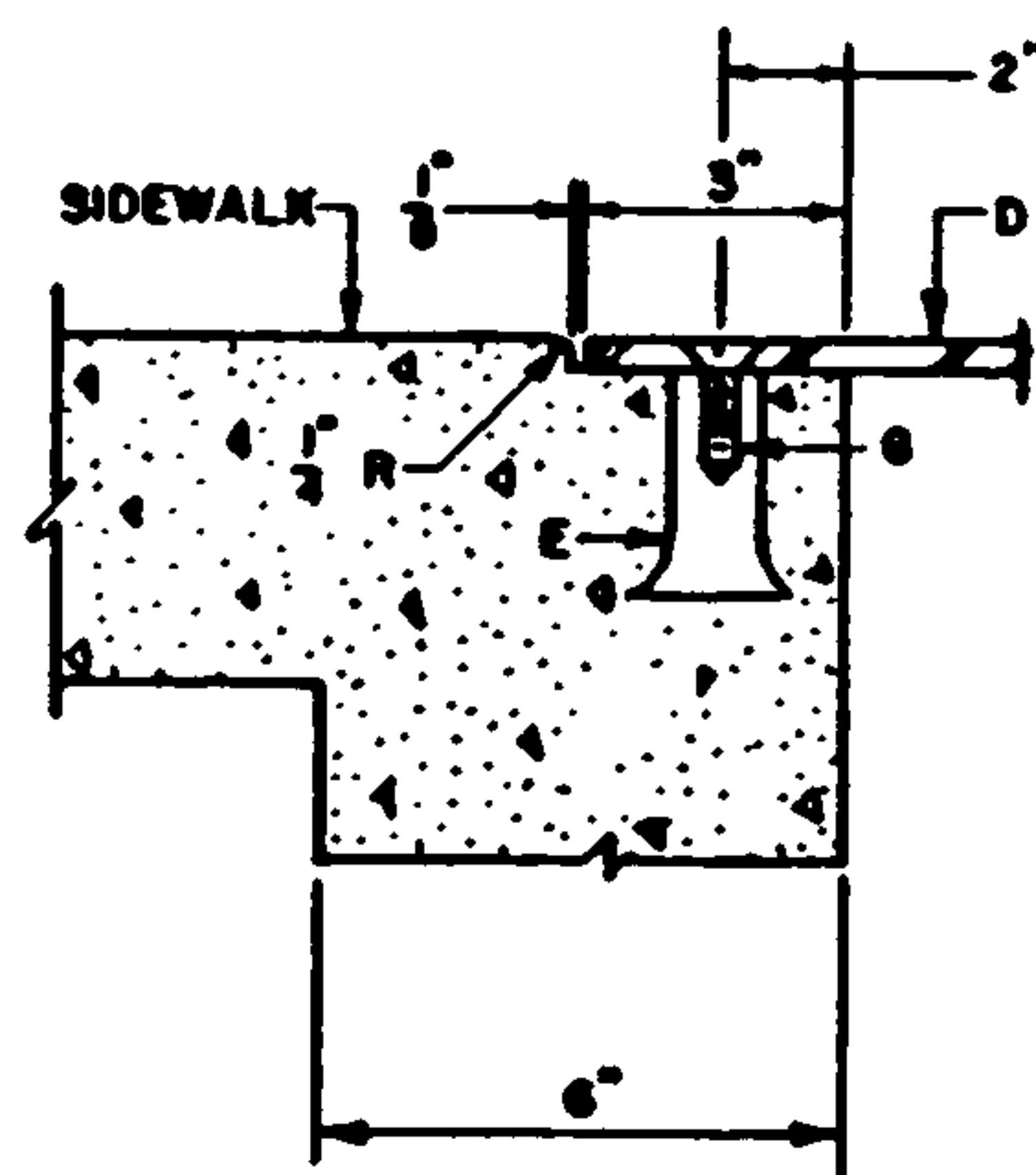




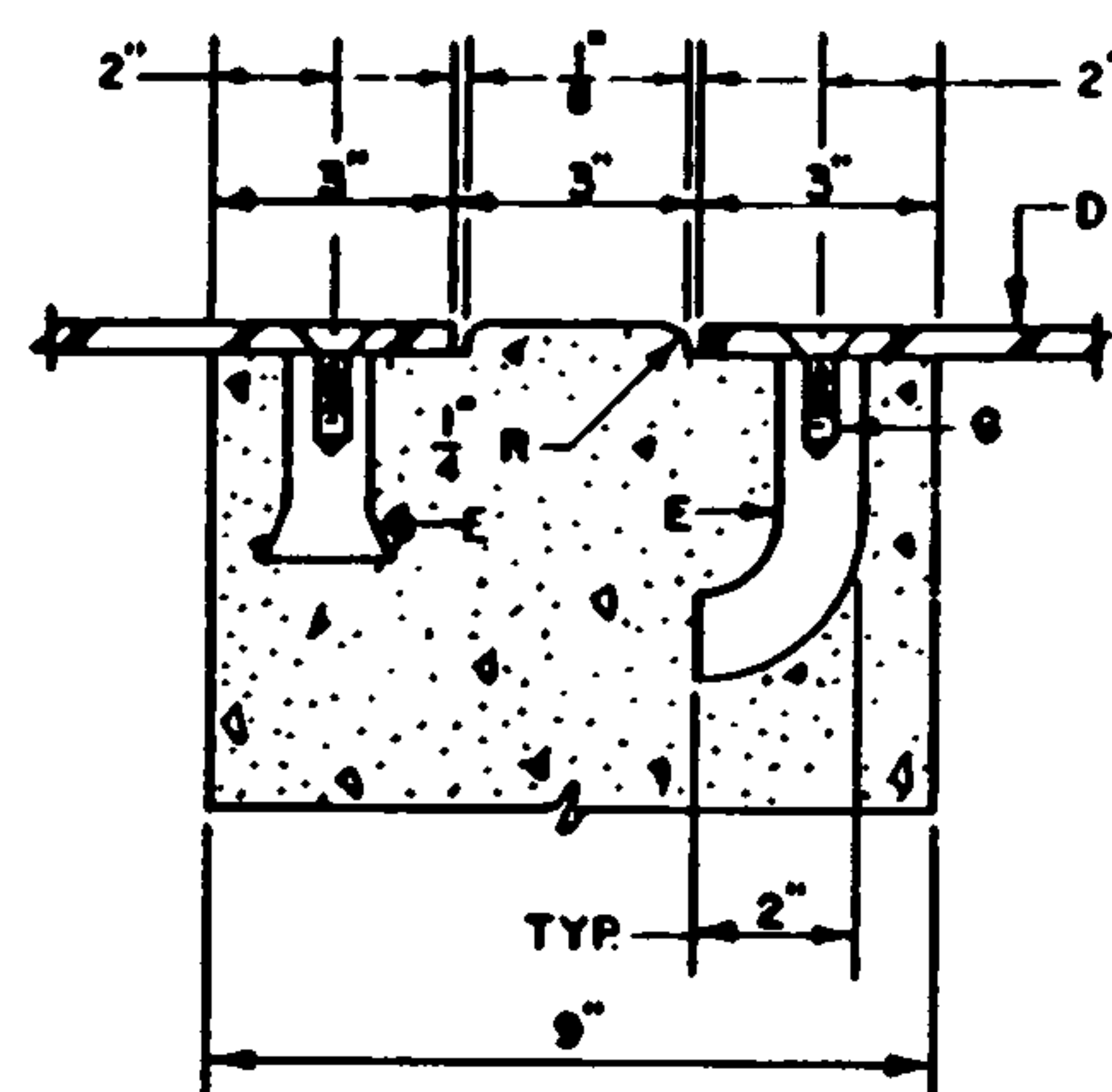
PLAN  
SINGLE AND OR MULTIPLE CULVERT



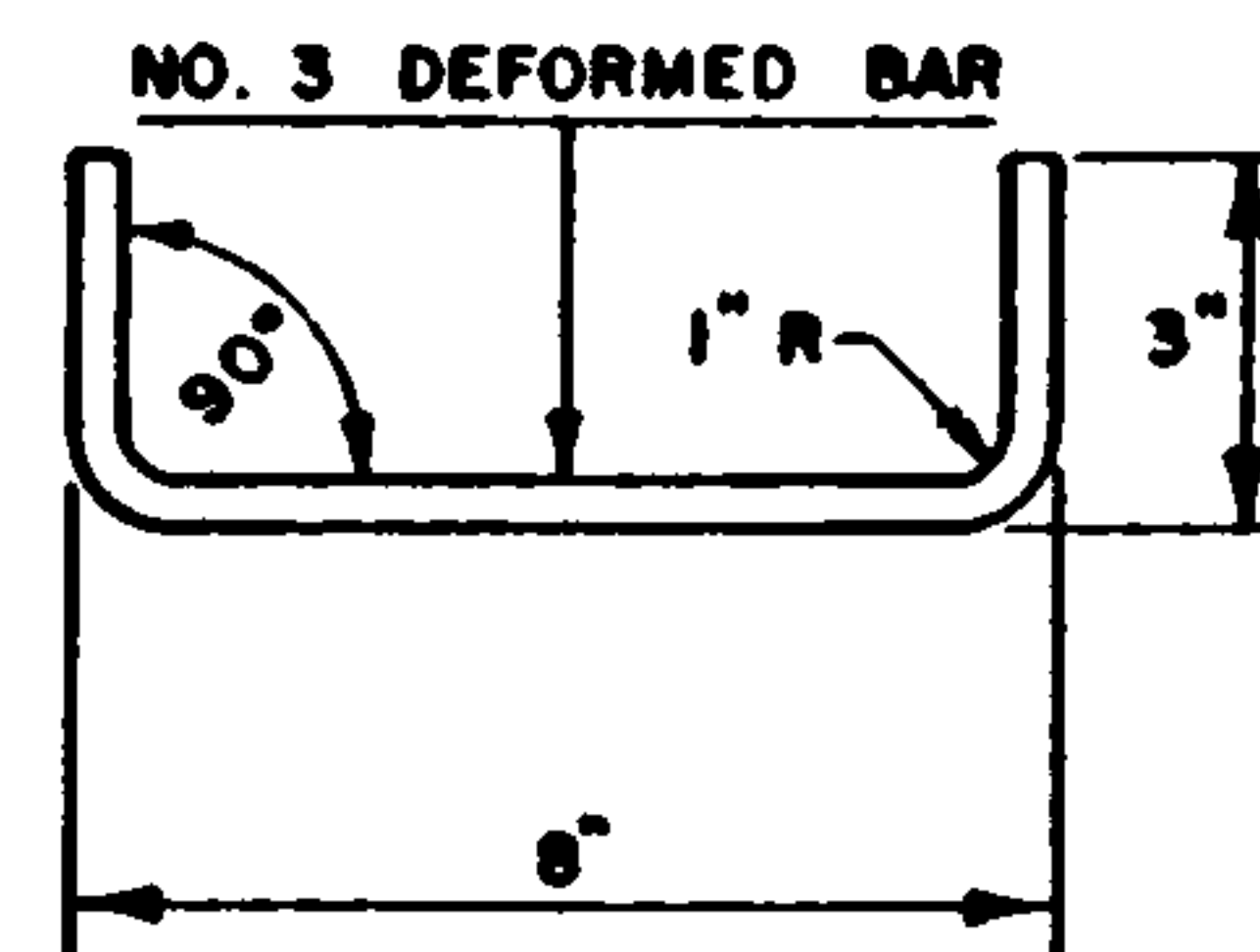
SECTION D-D



SECTION B-B



SECTION C-C



DOWEL DETAIL

## GENERAL NOTES:

1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3° OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET, UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

## CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT. INSTALL 1/2" EXPANSION JOINT.
- B. EDGE OF SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS (TYPICAL).
- D. 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 7, ABOVE).
- E. FOR SECURING PLATE USE 1"X 5" S.S. ROD ANCHOR, "RED HEAD MULTI-SET 11 SRM-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITHIN 6" OF EACH END.
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED, SPACE DOWELS AT 18" O.C. MAX., 1 1/2" MINIMUM FROM FACE OF CONCRETE.
- G. 3/8" - 16 x 1 1/4" COUNTERSUNK, F.H., STAINLESS STEEL, MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN.
- I. DRAIN WIDTH PER PLAN (12" MIN., 24" MAX.).

CITY OF ALBUQUERQUE

DRAINAGE  
SIDEWALK CULVERT  
WITH STEEL PLATE TOP  
DWG. 2236

AUG 1986

REVISIONS