

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 4
100 - YR Design Storm (P) Depth (in)
1hr 6hr 24hr 4day 10day
2.14 2.60 3.10 3.95 4.90

EXISTING CONDITIONS	LAND	AREA	AREA	P6	Q	Q	V6	V24	V4day	V10day
TREATMENT	(ACRE)	%	(IN/AC)	(CFS/AC)	(CFS)	(CF)	(CF)	(CF)	(CF)	(CF)
A	0.000	0%	0.66	1.87	0.00	0	0	0	0	0
B	0.020	5%	0.92	2.60	0.05	63	63	63	63	63
C	0.000	0%	1.29	3.45	0.00	0	0	0	0	0
D	0.340	95%	2.36	5.02	0.00	2,913	3,530	4,579	5,751	5,751
TOTALS	0.360	100%			1.76	2,976	3,593	4,642	5,815	

DEVELOPED CONDITIONS	LAND	AREA	AREA	P6	Q	Q	V6	V24	V4day	V10day
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LEGAL DESCRIPTION

LOTS NUMBERED NINE (9) AND TEN (10) IN BLOCK NUMBERED FOURTEEN (14), TOGETHER WITH THE EAST 1/2 OF VACATED PARSIFAL STREET, NE, VACATED BY V.O. 1231, OF SKYLINE HEIGHTS, A SUBDIVISION, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLOT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JULY 19, 1945.

BENCHMARK

ACS STA. 5-K20 ELEV. 5427.38 (SLD 1523)

TEMPORARY BENCHMARK

REBAR FOUND AT SOUTHWEST PROPERTY CORNER ELEV. 5445.70

ENGINEER'S CERTIFICATION STATEMENT

I HAVE PHYSICALLY VISITED THE SUBJECT PROPERTY AND VERIFIED THAT THE EXISTING TOPOGRAPHY INDICATED ON THIS PLAN DOES DESCRIBE CURRENT FIELD CONDITIONS. THE FIELD CONDITIONS ARE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE DESIGN DRAWINGS DATED 9/3/02.

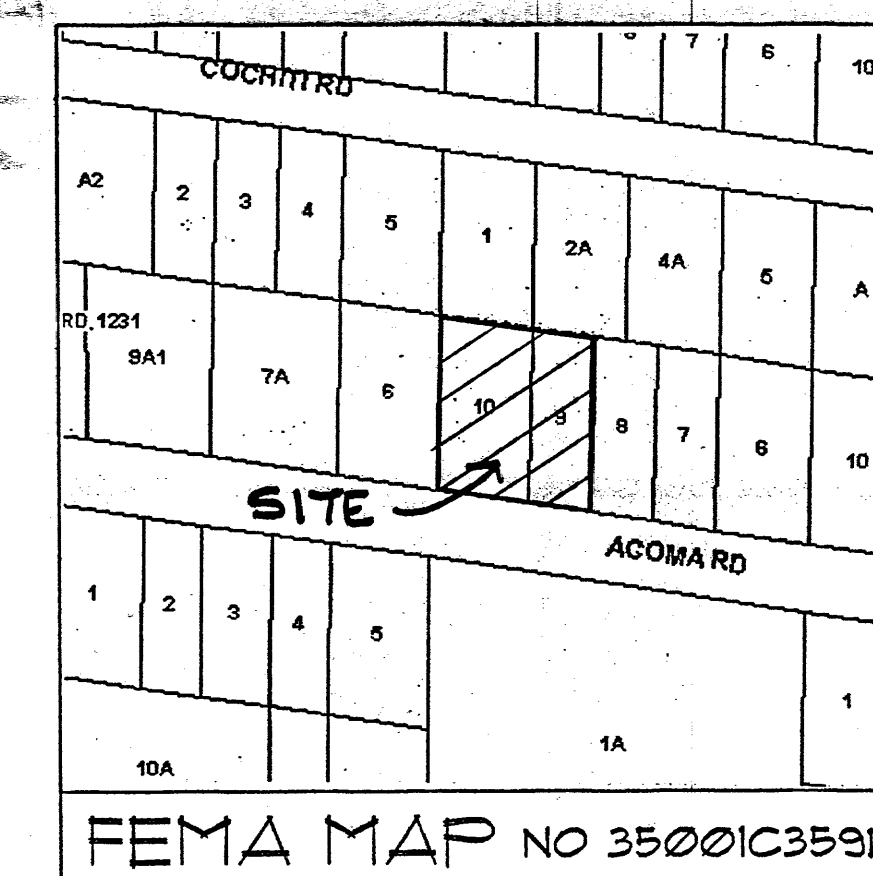
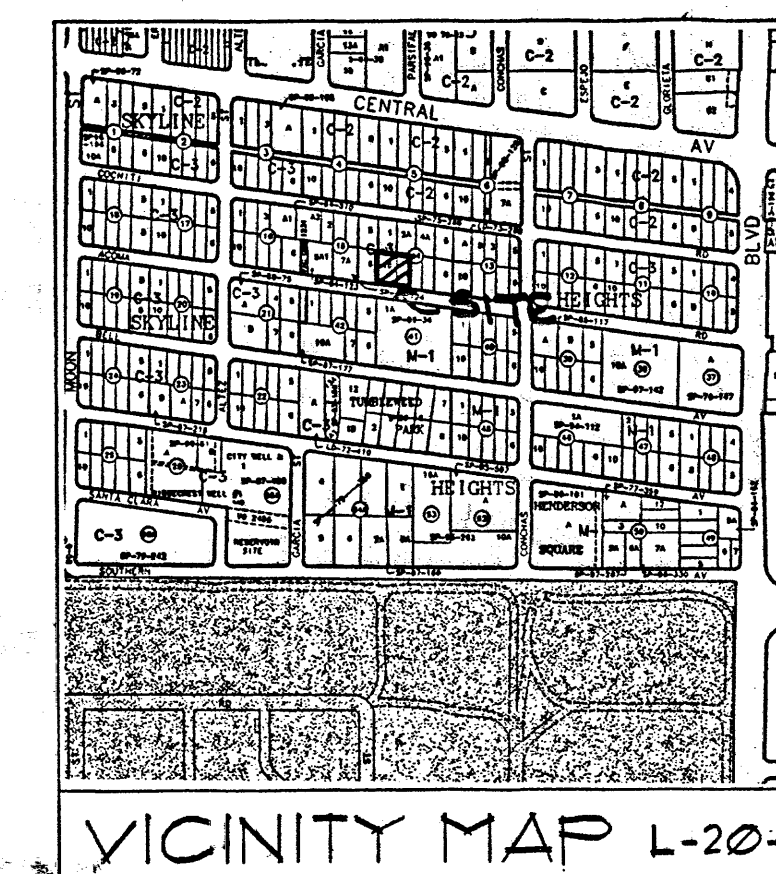
SIGNED

MIKE J. WALLA, P.E.



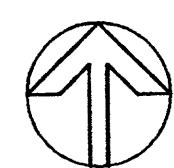
LEGEND

- PROPERTY LINE
- NEW BUILDING OUTLINE
- EXISTING CONTOUR
- NEW CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- FINISHED FLOOR
- TOP OF ASPHALT
- FLOW DIRECTION
- LIMIT OF EXISTING AC PAVEMENT TO BE REMOVED AND REPLACED
- NEW CONCRETE PAVING



GRADING and DRAINAGE PLAN

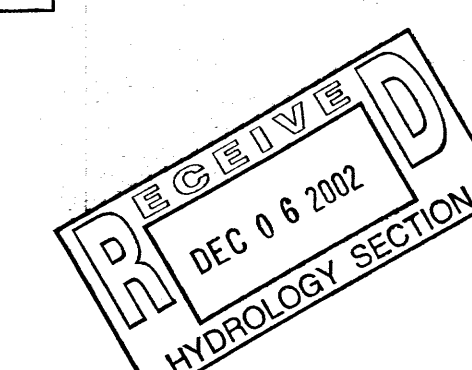
1" = 10'

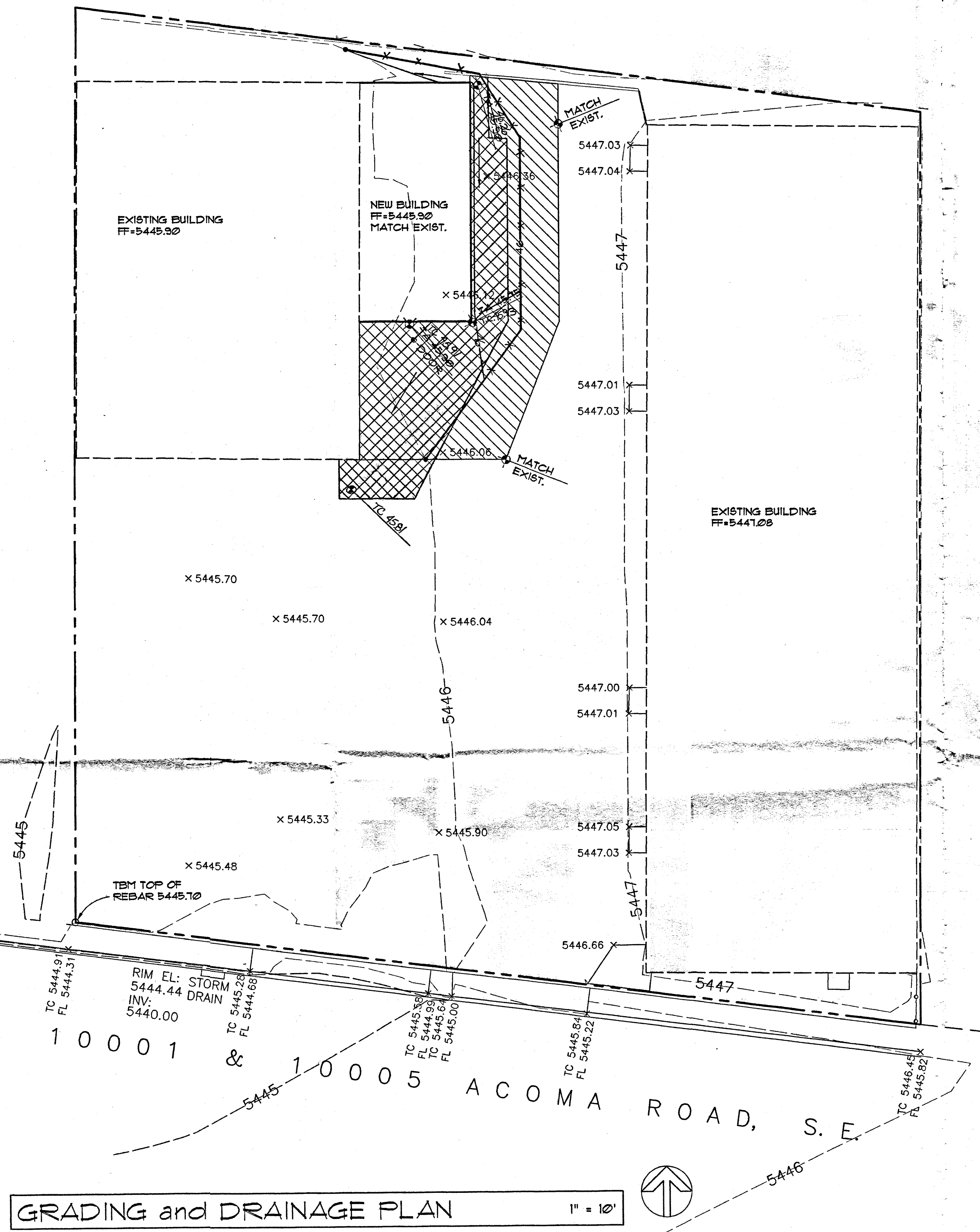


Walla Structural Engineering
ENGINEERING LTD Civil Engineering
6100 Indian School Road NE • Suite 210
Albuquerque • New Mexico • 87110
881-3008 • Facsimile 884-5390

ACOMA RD. BUILDING ADDITION GRADING AND DRAINAGE PLAN

DESIGN: MJW PROJECT NO.: H13-0502 SHEET
DRAWN: LEK
CHECKED: MJW DATE: SEPTEMBER 3, 2002 C1





GRADING and DRAINAGE PLAN

1" = 10'

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BENCHMARK

ACQ STA. 5-K20 ELEV. 5427.38 (SLD 1929)

TEMPORARY BENCHMARK

REBAR FOUND AT SOUTHWEST PROPERTY CORNER
ELEV. 5445.70

ENGINEER'S CERTIFICATION STATEMENT

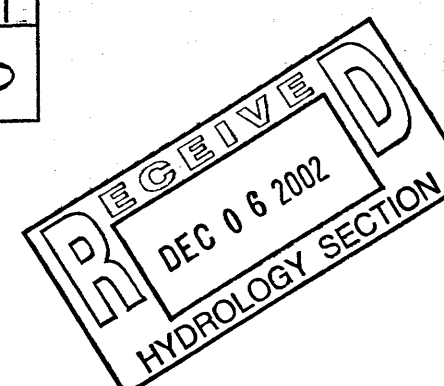
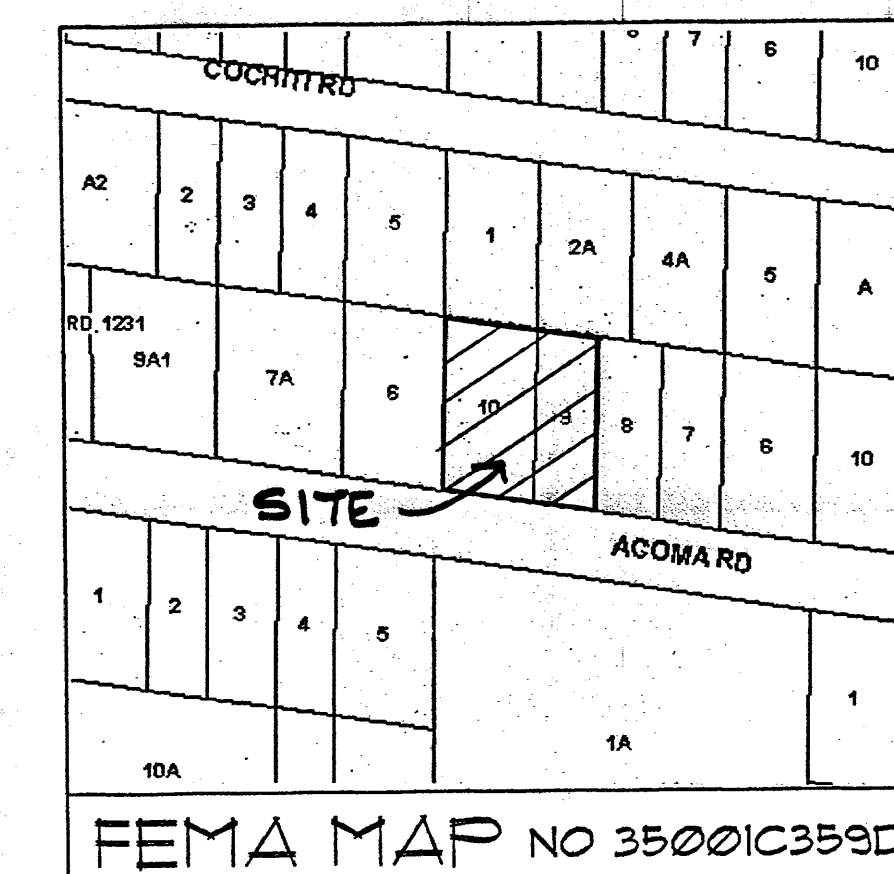
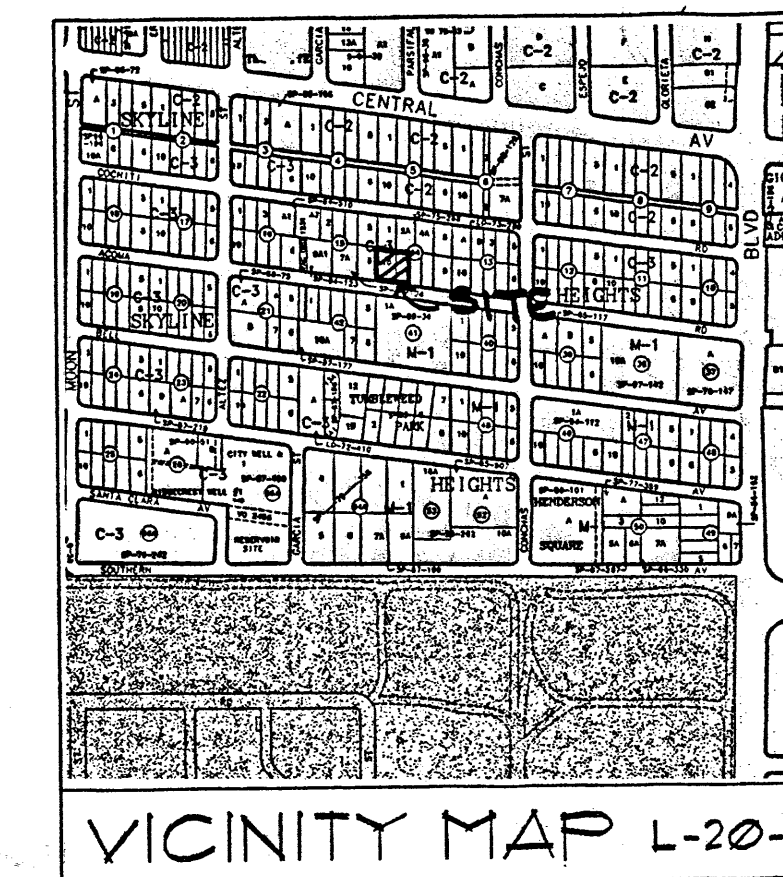
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SIGNED *[Signature]* DATE 12/6/02
MIKE J. WALLA, P.E.



LEGEND

- PROPERTY LINE
- NEW BUILDING OUTLINE
- 5445 --- EXISTING CONTOUR
- 46 --- NEW CONTOUR
- X 5446.08 EXISTING SPOT ELEVATION
- X 5445.75 NEW SPOT ELEVATION
- FF FINISHED FLOOR
- TA TOP OF ASPHALT
- FLOW DIRECTION
- LIMIT OF EXISTING AC PAVEMENT TO BE REMOVED AND REPLACED
- NEW CONCRETE PAVING



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ACOMA RD. BUILDING ADDITION GRADING AND DRAINAGE PLAN

DESIGN: MJW PROJECT NO.: H13-0502 SHEET
DRAWN: LEK
CHECKED: MJW DATE: SEPTEMBER 3, 2002

C1



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BENCHMARK

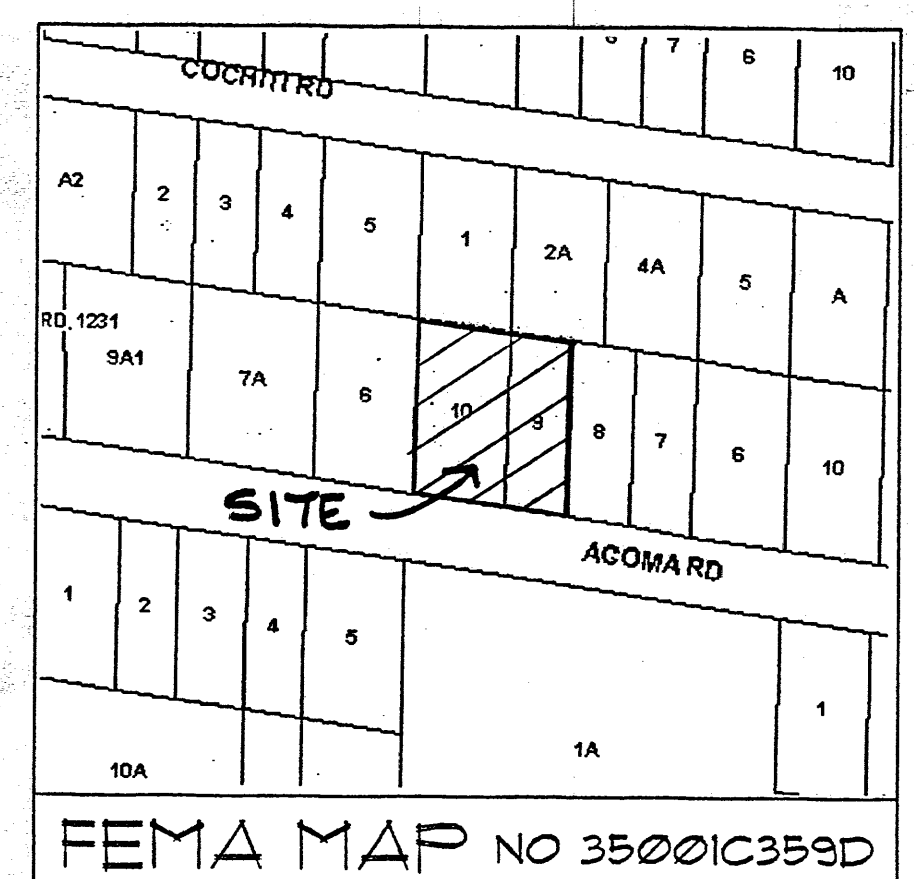
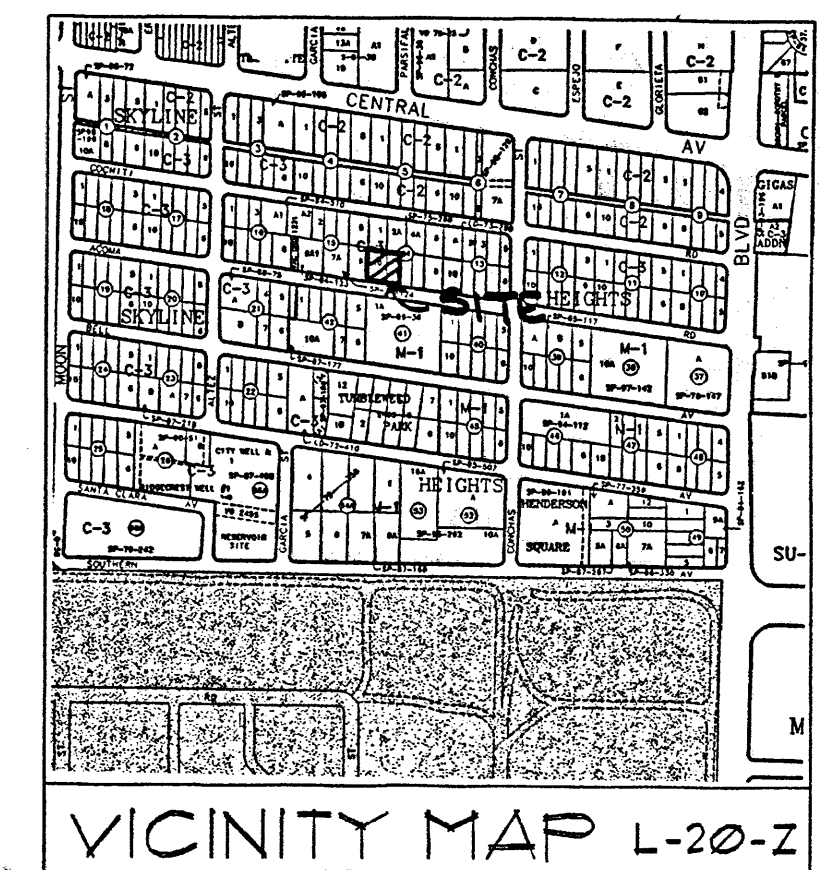
ACS STA. 5+K20 ELEV. 5427.38 (SLD 1929)

TEMPORARY BENCHMARK

REBAR FOUND AT SOUTHWEST PROPERTY CORNER ELEV. 5445.10

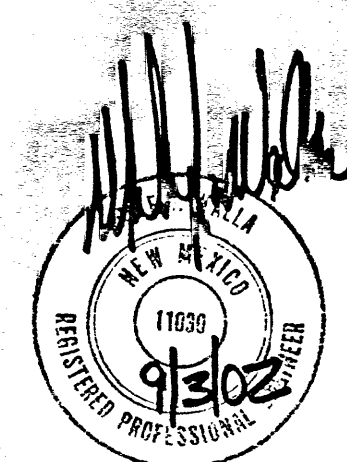
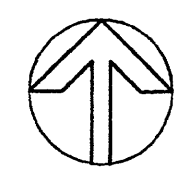
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GRADING and DRAINAGE PLAN

1" = 10'

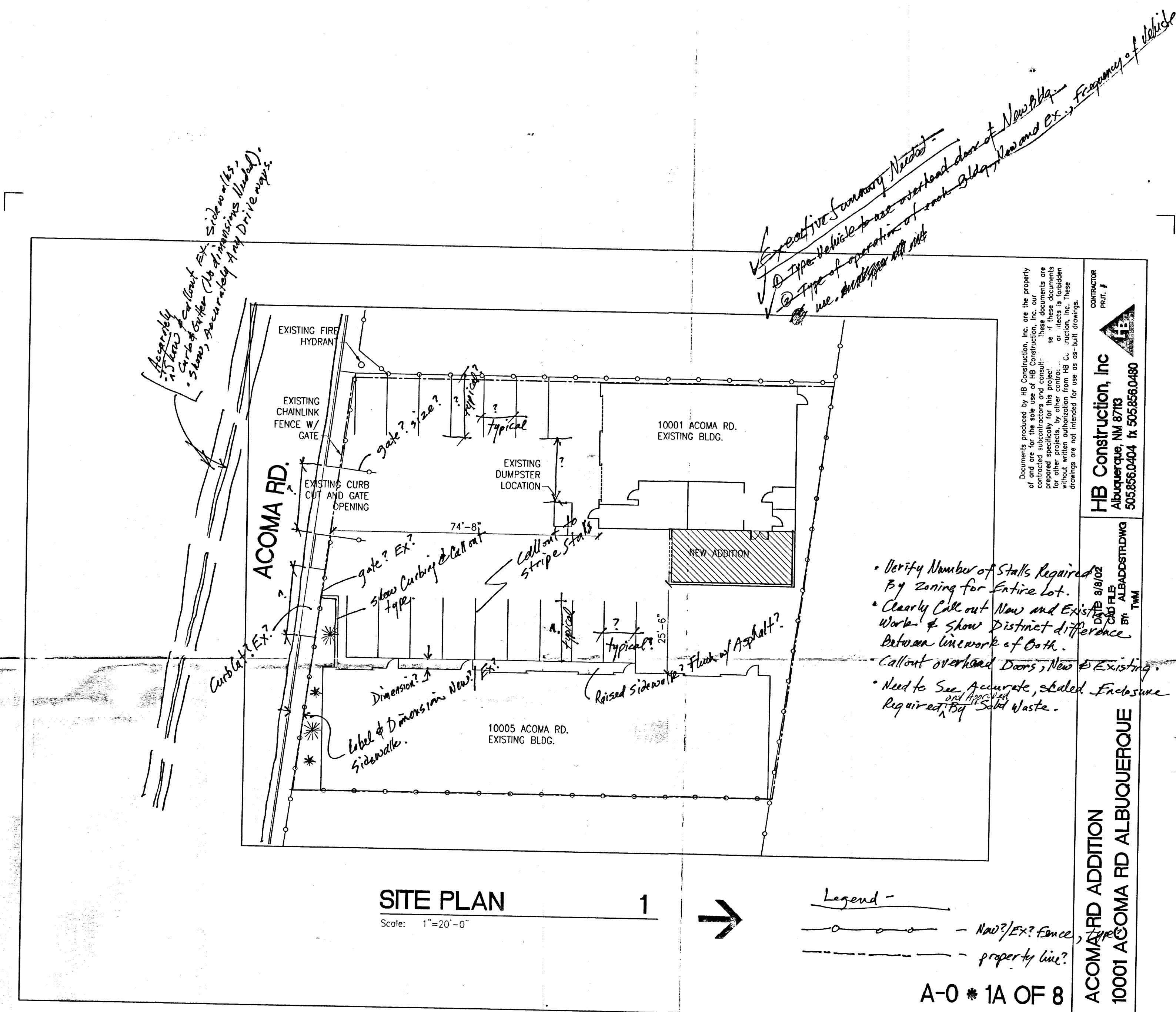


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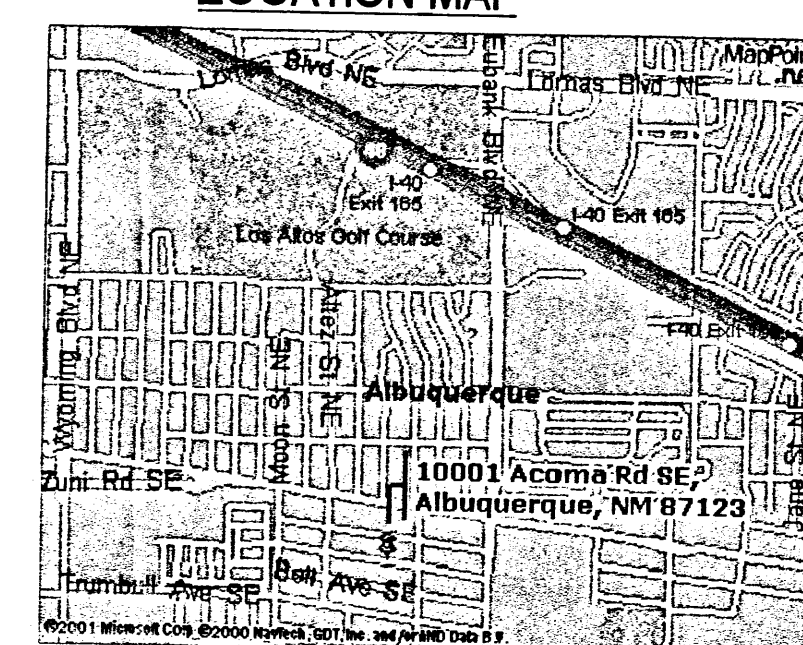
10001 ACOMA ROAD SE ADDITION



TRAFFIC CIRCULATION PLAN

Scale: 1"=20'-0"

LOCATION MAP



DESIGN DATA:

1997 UNIFORM BUILDING CODE
 565 SQ. FT.
 TYPE II-N
 S-1 OCCUPANCY

OCCUPANT LOAD:
 NEW ADDITION: 3
 EXISTING BUILDING: 12
 MANUFACTURING: 1PERSON/200 S.F.

EXISTING BUILDING IS B
 OCCUPANCY - NO SEPERATION
 REQUIRED.
 2342 S.F.

*additional explanation
 for checklist -*
 I C 6 - Number of Stalls Required By Zoning for entire lot or
 I C 7 b - Type of traffic to use New Bldg. *Needs*
 I D 1 e 8 b - No additional parking into or backing from Street
 will Allowed.

