

CITY OF ALBUQUERQUE



August 28, 2015

Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, New Mexico 87108

**RE: Innova Plaza
Grading and Drainage Plan
Permanent CO - Accepted
Engineers Stamp Date 11/13/14 (L20D067)
Certification Date 8/26/15**

Dear Ms. Donart,

Based upon the information provided in your submittal received 8/26/15, the above referenced Certification is acceptable for the release of a permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, please contact me at 924-3695 or Totten Elliott 924-3982.

Albuquerque

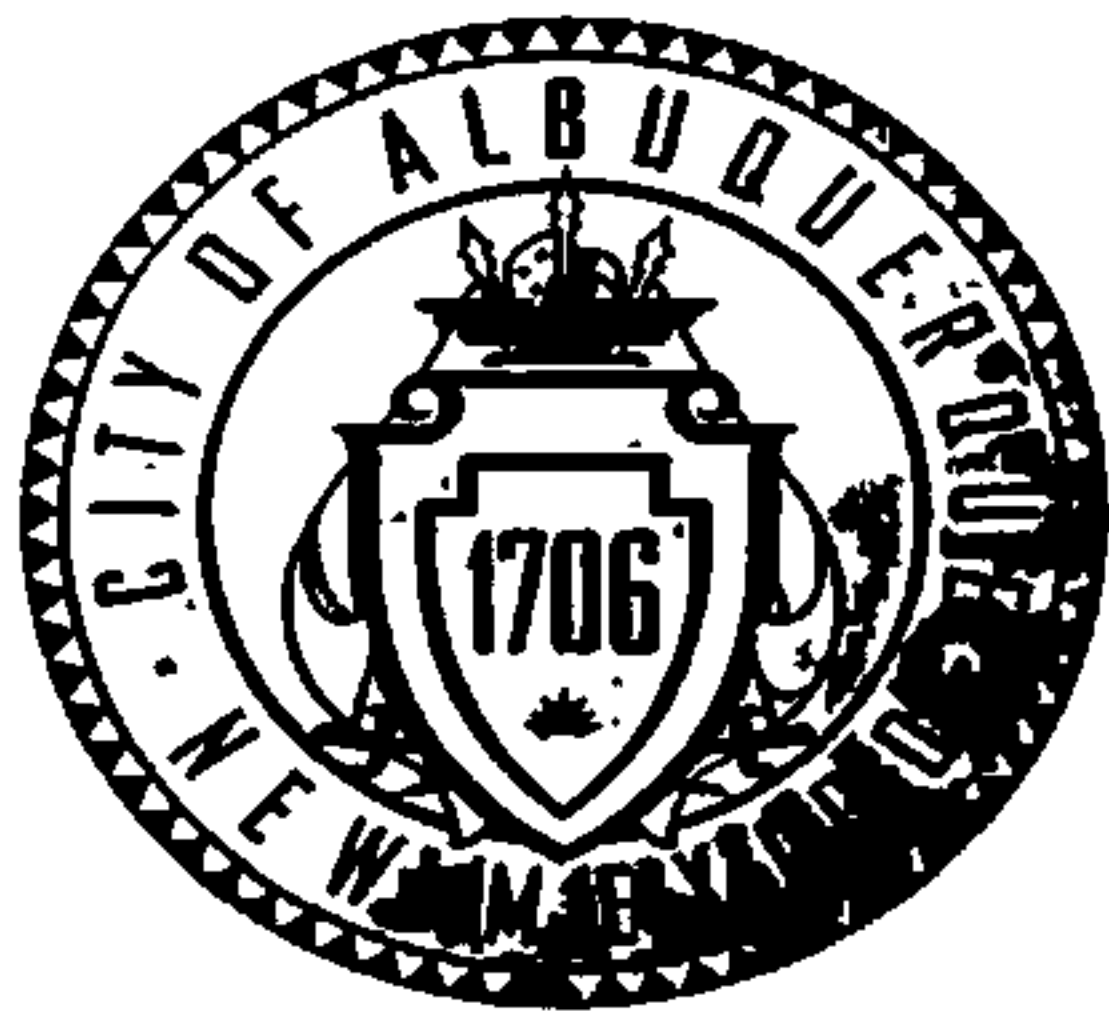
New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

TE/RH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Innova Plaza Building Permit #: _____ City Drainage #: L20/D067
DRB#: _____ EPC#: _____ Work Order#: 638282
Legal Description: Lot 1A, Block 48, Skyline Heights,
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: Glad, LLC Contact: Doug Adams
Address: 39 Canyon Ridge Dr, Sandia Park, NM 87047
Phone#: (505) 379-5341 Fax#: _____ E-mail: dadamsclan@msn.com

Architect: Rick Bennett Architect, Inc. Contact: Rick Bennett
Address: 1104 Park Ave. SW, Albuquerque, NM 87102
Phone#: 505-242-1859 ext 185 Fax#: _____ E-mail: rick@rba81.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

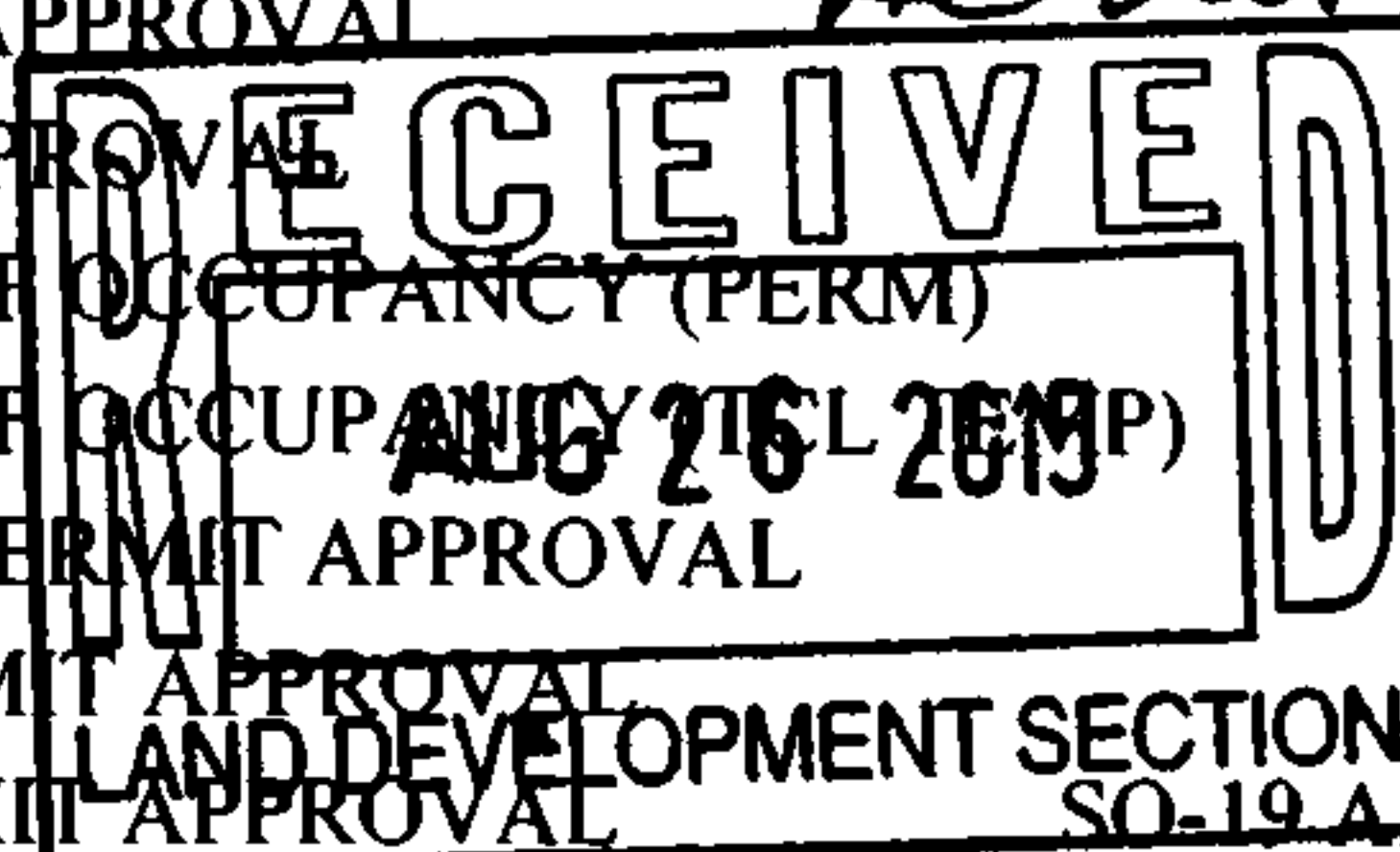
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☒ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL/TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: August 26, 2015 By: Genny Donart

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Genny Donart

From: Genny Donart <gennyd@iacivil.com>
Sent: Wednesday, August 26, 2015 11:31 AM
To: --- PDF Submittals (PLNDRS@cabq.gov)
Cc: Ortiz, Monica; Doug Adams (dadamsclan@msn.com); Pat Kimbro (patkimbro@gmail.com)
Subject: Innova Plaza Drainage Certification
Attachments: Innova Plaza Drainage As-built 05-24-15.pdf; Innova Plaza Drainage Info Sheet 08-26-15.pdf

Good morning,

Attached are the pdfs for the Innova Plaza drainage certification. Hardcopies will be delivered after lunch.

Genny Donart, P.E.
Registered Engineer



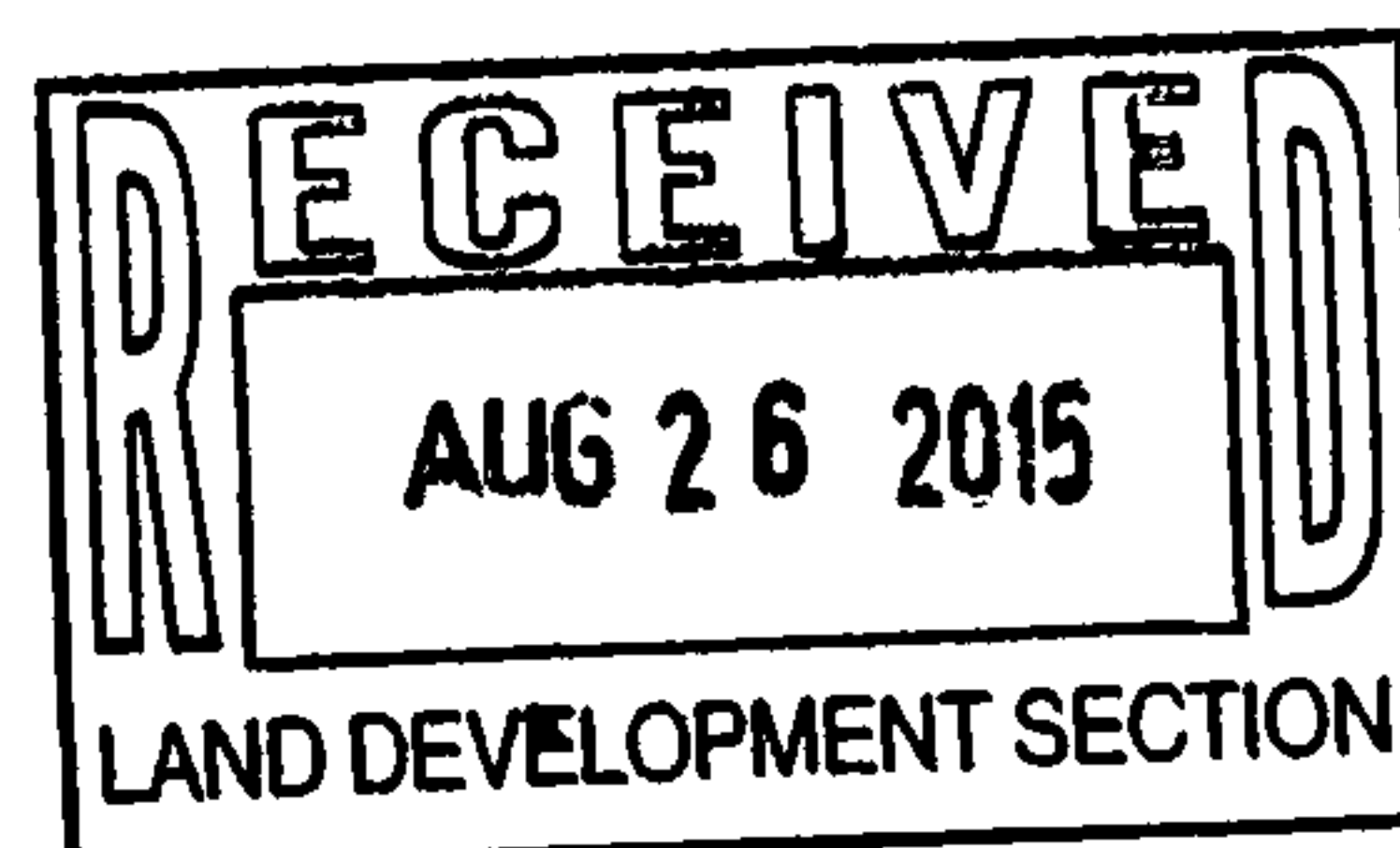
Isaacson & Arfman, P.A.

Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
gennyd@iacivil.com

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Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction documents(s).

This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.



CITY OF ALBUQUERQUE



November 24, 2014

Ms. Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Innova Plaza
Grading and Drainage Plan
Engineer's Date 11-13-14 (L20D067)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 11-14-14, the above referenced plan is approved for Grading Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3994.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail
file

Genny Donart

From: Genny Donart <gennyd@iacivil.com>
Sent: Thursday, November 13, 2014 3:42 PM
To: Ortiz, Monica; Curtis Cherne (CCherne@CABQ.gov); Niese, Amy (AmyNiese@cabq.gov)
Subject: Innova Plaza - G&D pdf's
Attachments: 2055 CG-101 SIGNED 11-13-14.pdf; 2055 CG-501 SIGNED 11-13-14.pdf; 2055 Innova Plaza Drainage Info Sheet 11-13-14.pdf

Good afternoon,

Attached are the pdf's for the Innova Plaza project. We'll be submitting them shortly.

Genny Donart, P.E.
Registered Engineer



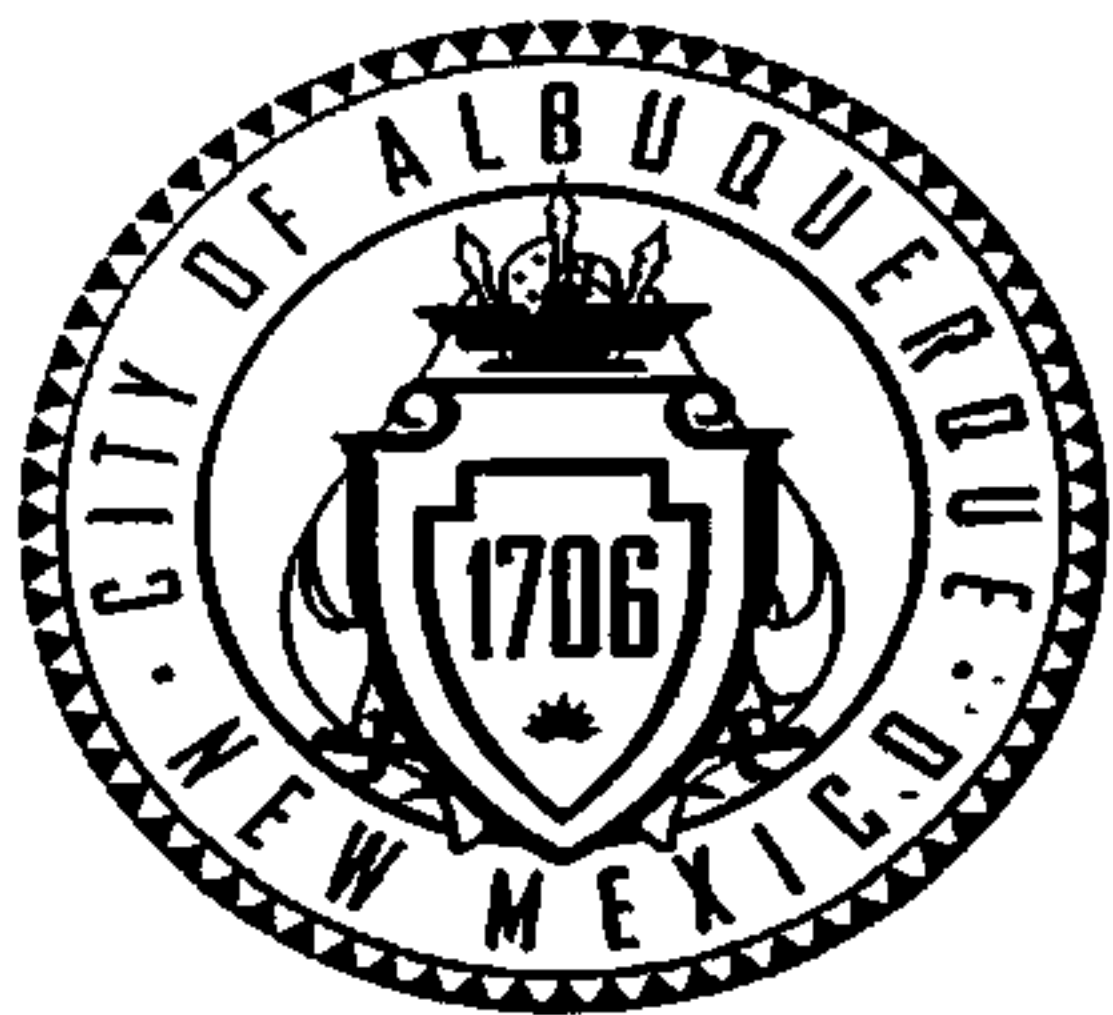
Isaacson & Arfman, P.A.

Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
gennyd@iacivil.com

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Innova Plaza Building Permit #: _____ City Drainage #: L20/D067

DRB#: _____ EPC#: _____ Work Order#: 638282

Legal Description: Lot 1A, Block 48, Skyline Heights,

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: Glad, LLC Contact: Doug Adams

Address: 39 Canyon Ridge Dr, Sandia Park, NM 87047

Phone#: (505) 379-5341 Fax#: _____ E-mail: dadamsclan@msn.com

Architect: Rick Bennett Architect, Inc. Contact: Rick Bennett

Address: 1104 Park Ave. SW, Albuquerque, NM 87102

Phone#: 505-242-1859 ext 185 Fax#: _____ E-mail: rick@rba81.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

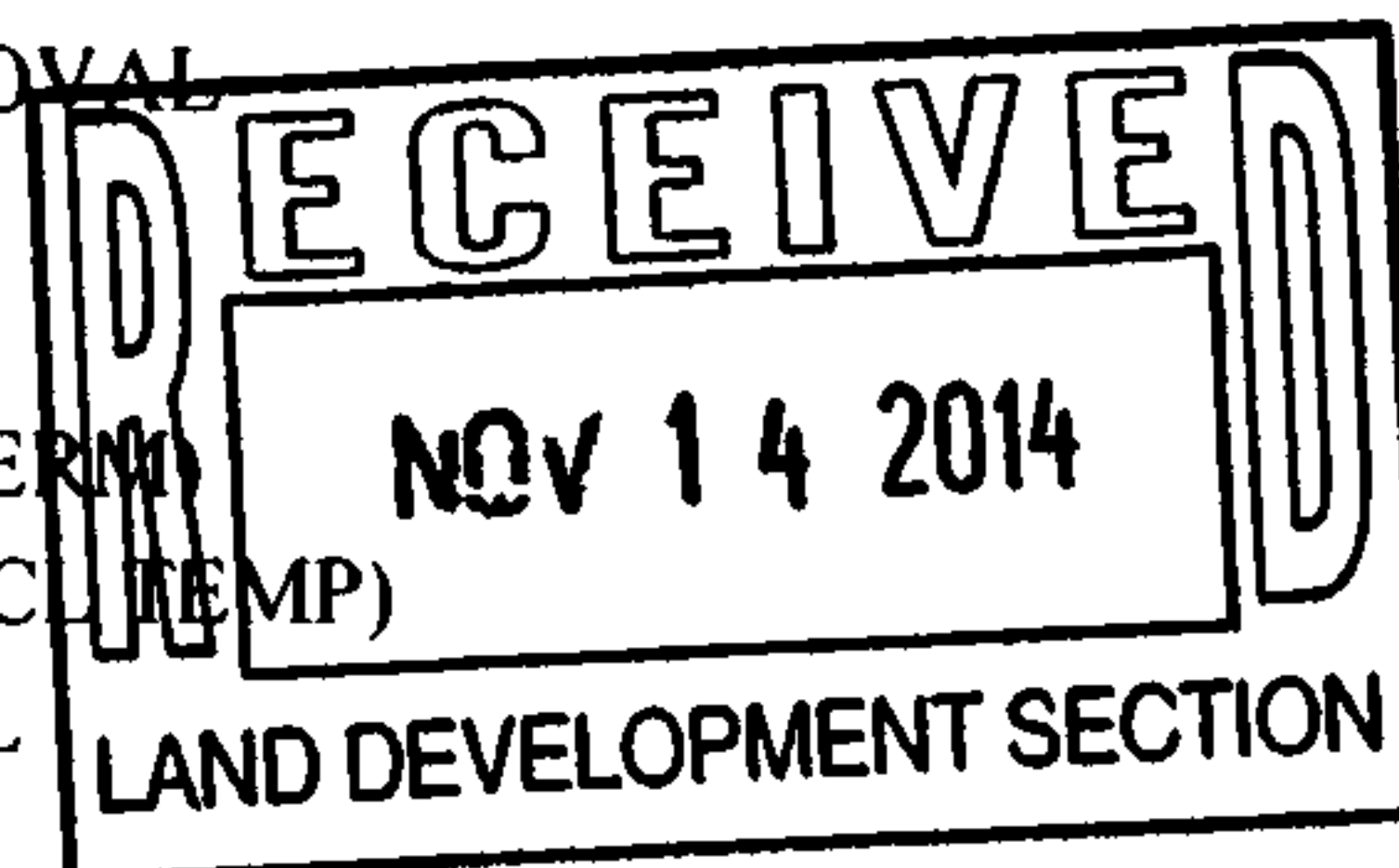
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
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- ☒ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: November 13, 2014 By: Genny Donart

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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AD = 1.21 AC FOUR

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

August 31, 2015

Xavier Nuno-Whelan
RBA Architecture- Planning-Design
1104 Park Ave., SW
Albuquerque, NM 87102

**Re: Innova Plaza
401 Eubank Blvd., SE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-13-15(L20-D067)**

Dear Mr. Nuno-Whelan,

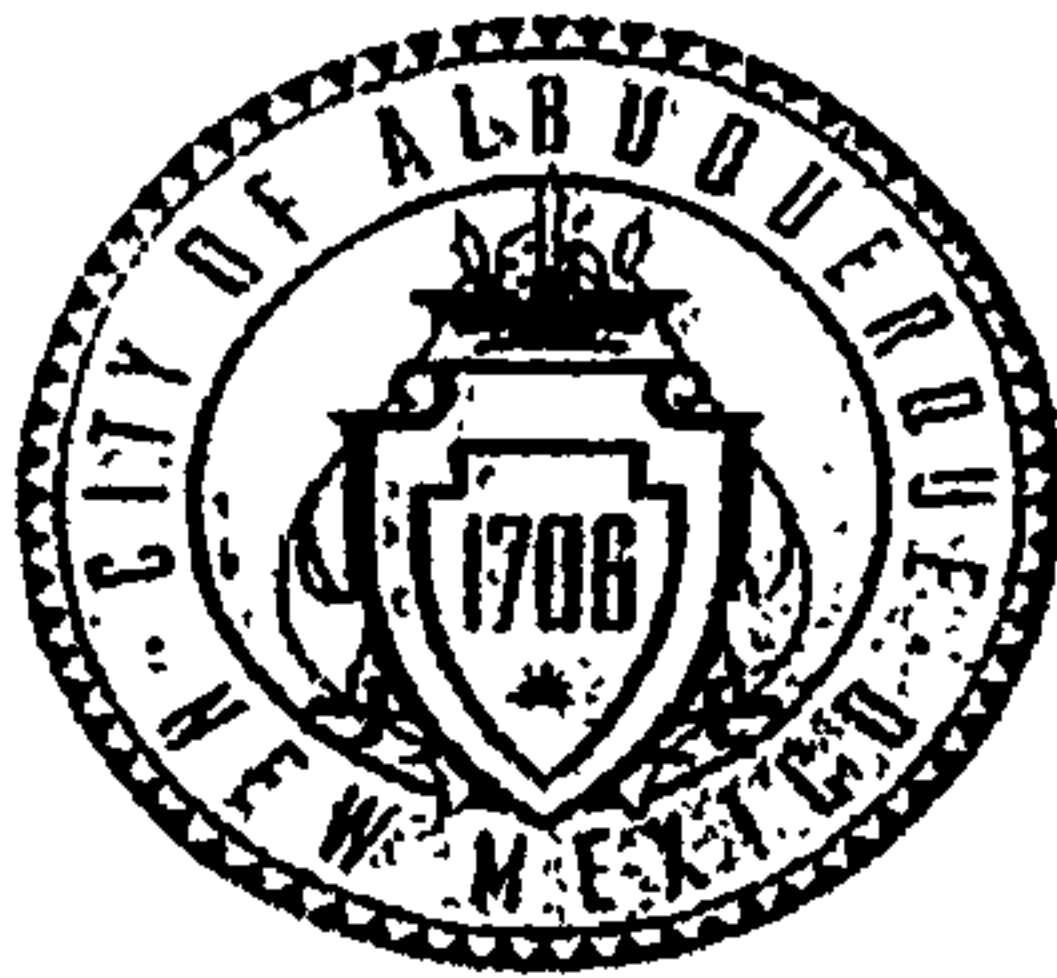
Based upon the information provided in your submittal received 8-27-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3999.

Sincerely,

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

\ via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: INNOVA PLAZA Building Permit #: 201590409 City Drainage #: L200067

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 1A BLOCK 48 SKYLINE HEIGHTS

City Address: 401 EUBANK BLVD. SE ALB. NM 87123

Engineering Firm: ISAACSON & ARFMAN, P.A. Contact: GENNY DONART

Address: 128 MONROE ST. NE

Phone#: 505-268-8828 Fax#: _____ E-mail: GENNYD@IACIVIL.COM

Owner: DOUG ADAMS / GLAD LLC Contact: DOUG ADAMS

Address: P.O. BOX 1111 CEDAR CREST NM

Phone#: 505-379-5341 Fax#: _____ E-mail: DADAMSELAN@MEN.COM

Architect: RBA ARCHITECTS Contact: XAVIER WHELAN

Address: 1104 PARK AVE. SW ALB. NM 87102

Phone#: 505-242-1859 Fax#: _____ E-mail: XAVIER@RBA81.COM

Surveyor: CARTESIAN SURVEYS INC. Contact: DAVID THOMPSON

Address: P.O. BOX 44414 RIO RANCHO NM 87174

Phone#: 505-896-3050 Fax#: _____ E-mail: _____

Contractor: KIMCON INC. Contact: PAT KIMBERG

Address: 405 PARTMOUTH SE ALB. NM 87106

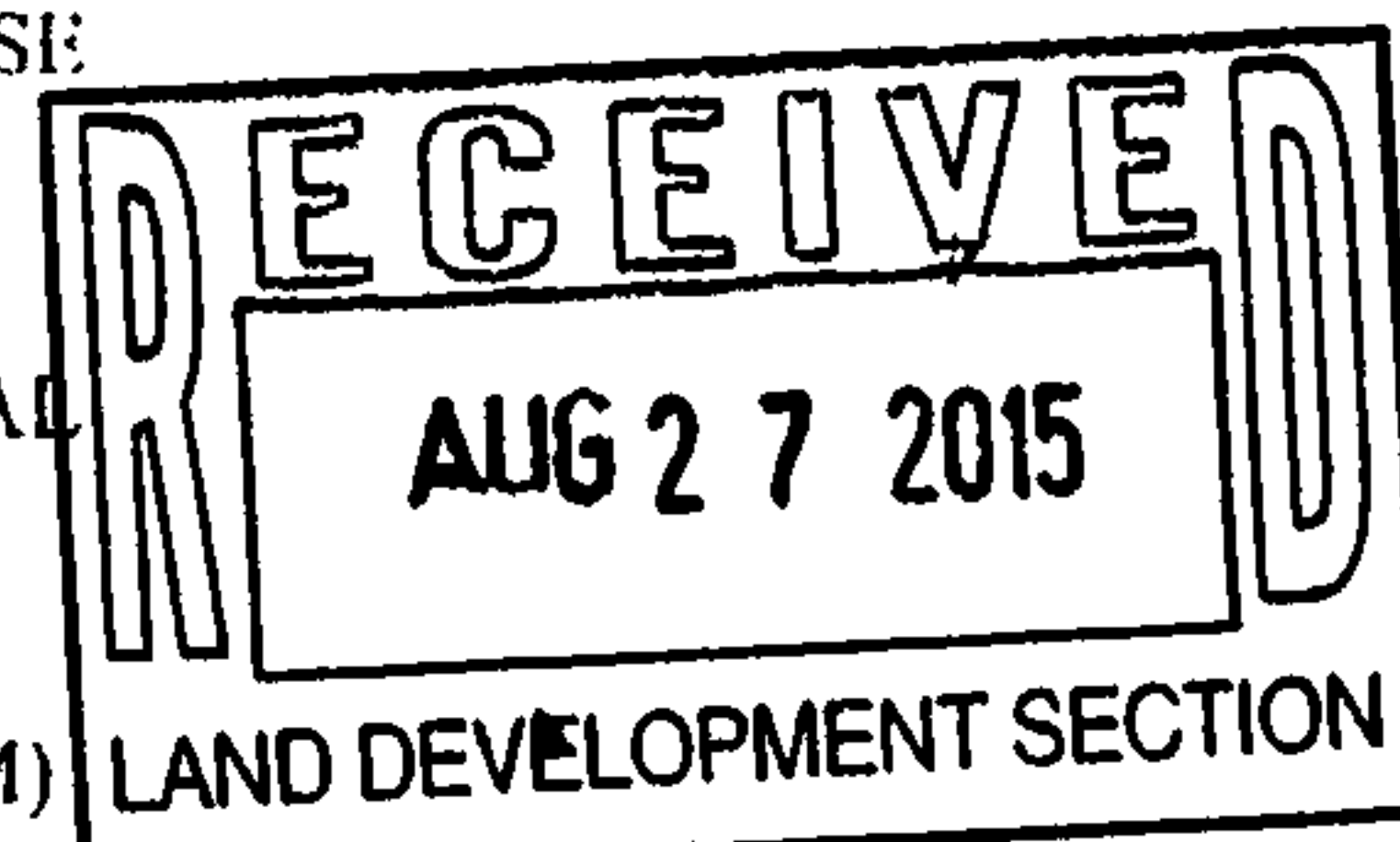
Phone#: 505-620-4993 Fax#: _____ E-mail: PATKIMBERG@GMAIL.COM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☐ GRADING PERMIT APPROVAL
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- ☐ ESC CERT. ACCEPTANCE
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WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

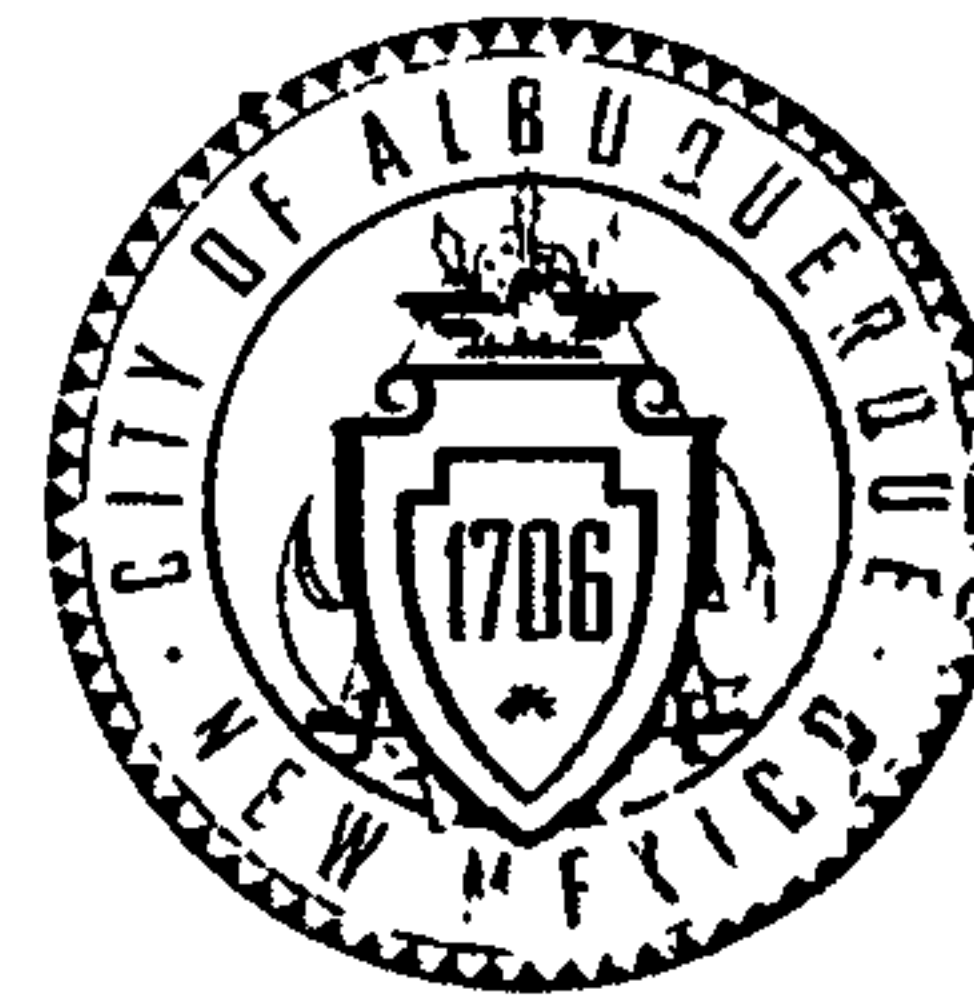
DATE SUBMITTED 8-27-2015

By: [Signature]

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CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

April 15, 2015

Xavier Nuno-Whelan, Project Manager/Intern Architect
RBA Architecture- Planning-Design
1104 Park Ave., SW
Albuquerque, NM 87102

**Re: Innova Plaza
401 Eubank Blvd., SE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-13-15(L20-D067)**

Dear Mr. Nuno-Whelan,

The TCL submittal received 4-14-15 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

New Mexico 87103

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

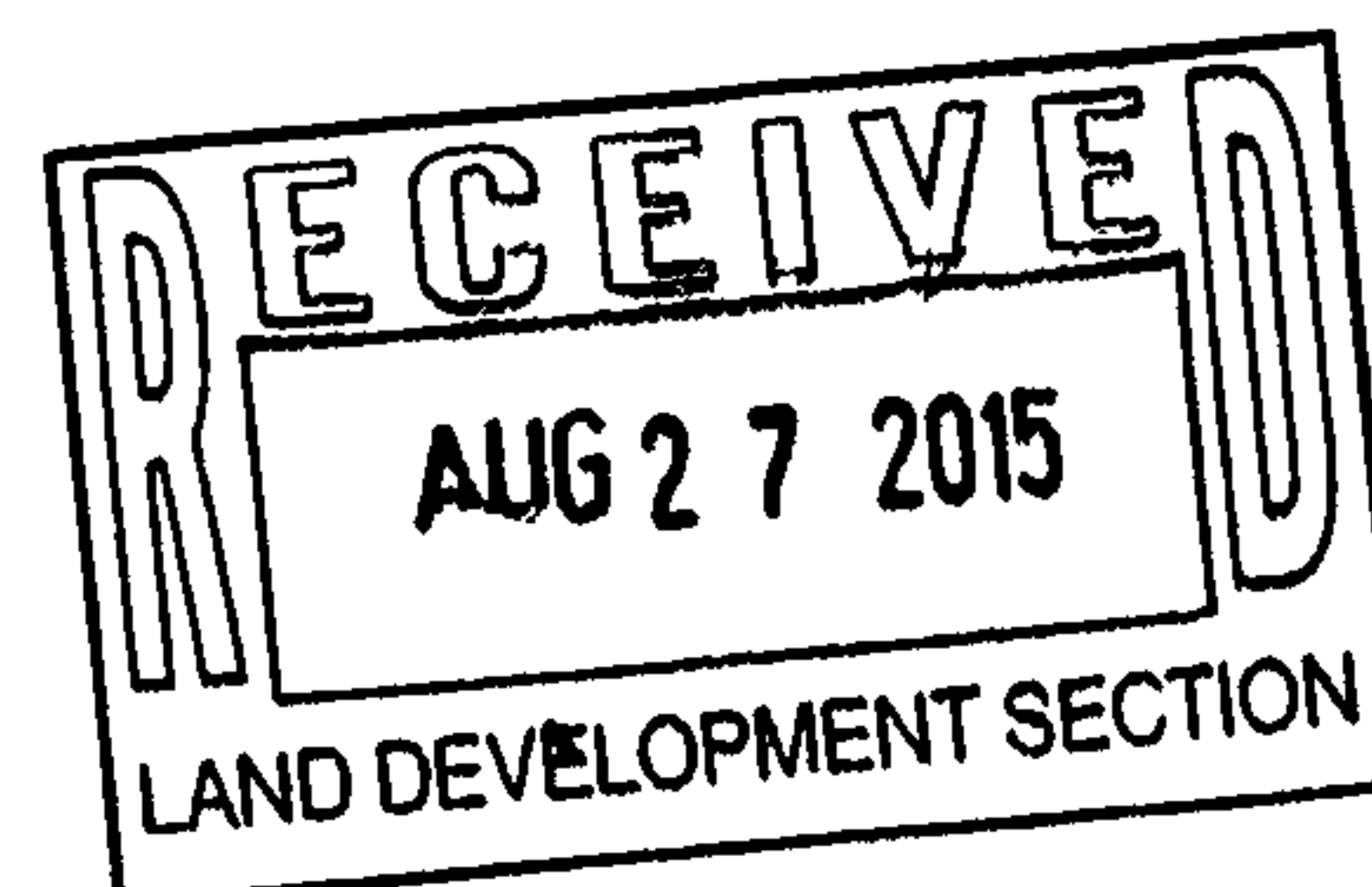
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

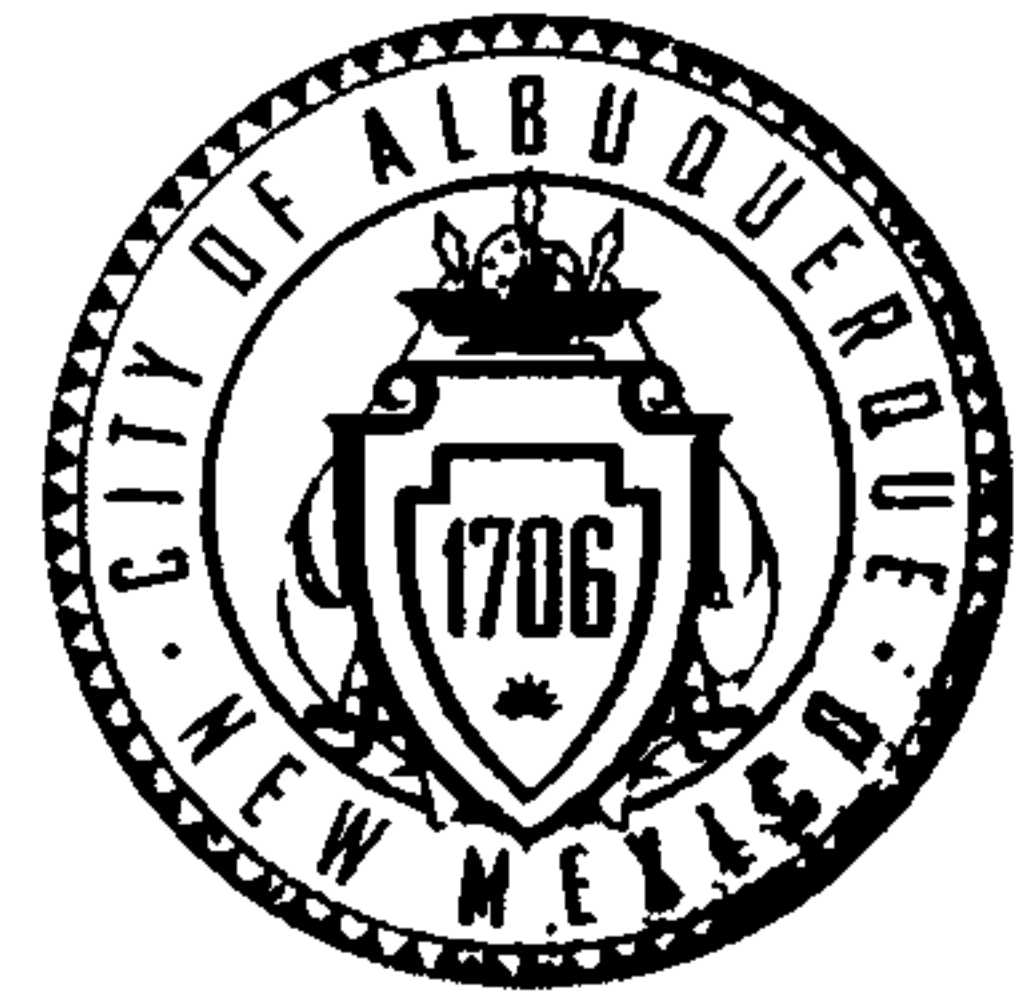
Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

April 15, 2015

Xavier Nuno-Whelan, Project Manager/Intern Architect
RBA Architecture- Planning-Design
1104 Park Ave., SW
Albuquerque, NM 87102

**Re: Innova Plaza
401 Eubank Blvd., SE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-13-15(L20-D067)**

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PO Box 1293

Albuquerque

New Mexico 87103

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Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

April 13, 2015

Xavier Nuno-Whelan, Project Manager/Intern Architect
RBA Architecture- Planning-Design
1104 Park Ave., SW
Albuquerque, NM 87102

**Re: Innova Plaza
401 Eubank Blvd., SE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-7-15(L20-D067)**

Dear Mr. Nuno-Whelan,

Based upon the information provided in your submittal received 4-9-15, the above referenced plan cannot be approved for Building Permit. The following comments were not address from the submittal received on 3-23-15:

1. Upon review, re-platting of property will be required, so application must be submitted through the DRB Process for approval. If this is complete provide, please the DRB Project number.
2. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
3. Please dimension and detail all handicap and pedestrian walkways.
4. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
5. Design delivery vehicle route needs to be shown.
6. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval (if applicable).
7. Please show the "Clear Site Triangle" at the two entrance points per D5, Chapter 23 of the DPM.
8. Please include a copy of your shared access and parking agreement with the adjacent property owner. (If applicable)
9. Work within the public right of way requires a work order with DRC approved plans.

Approved

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



10. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard. Please add detail of existing curb cuts on Trumbull Ave. and Bell Ave. that are to be removed and replaced with sidewalk per COA Standard #2430.
11. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

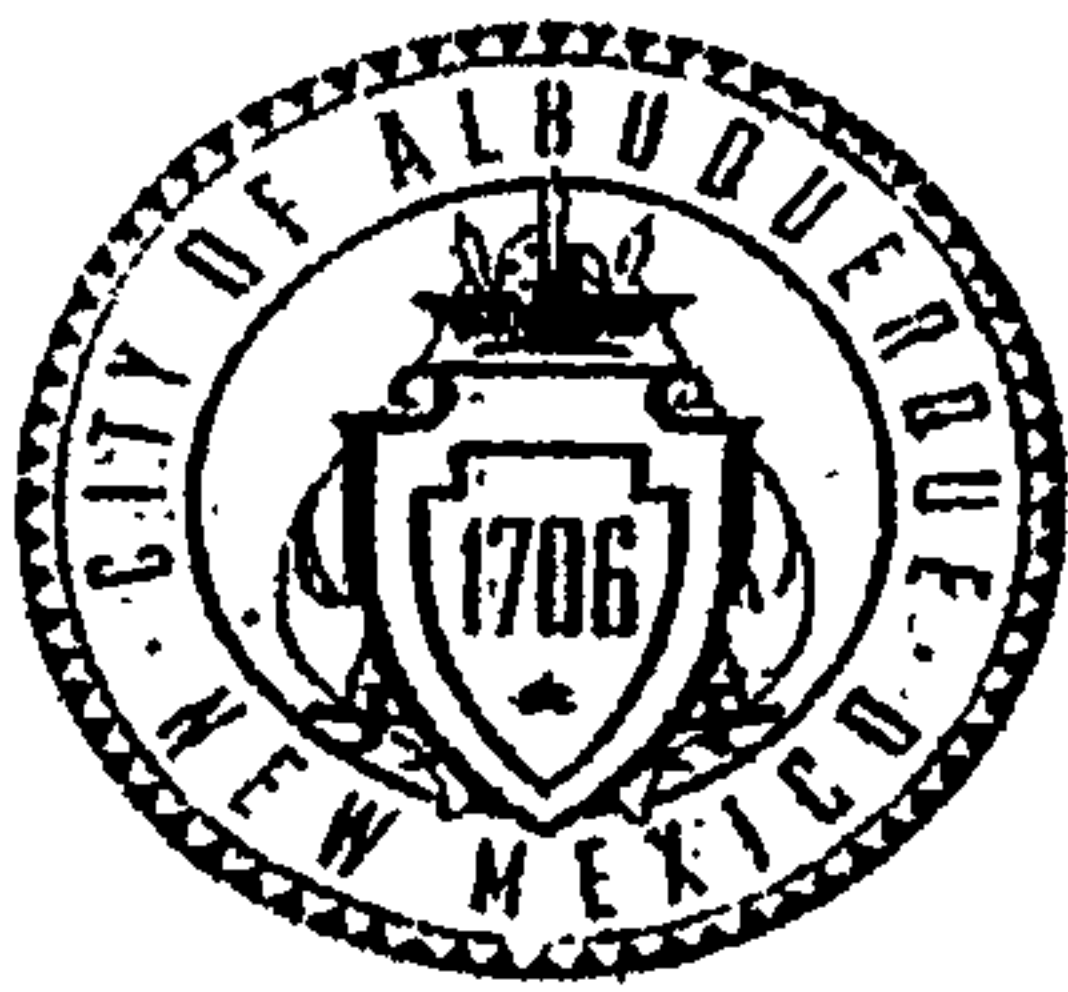
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

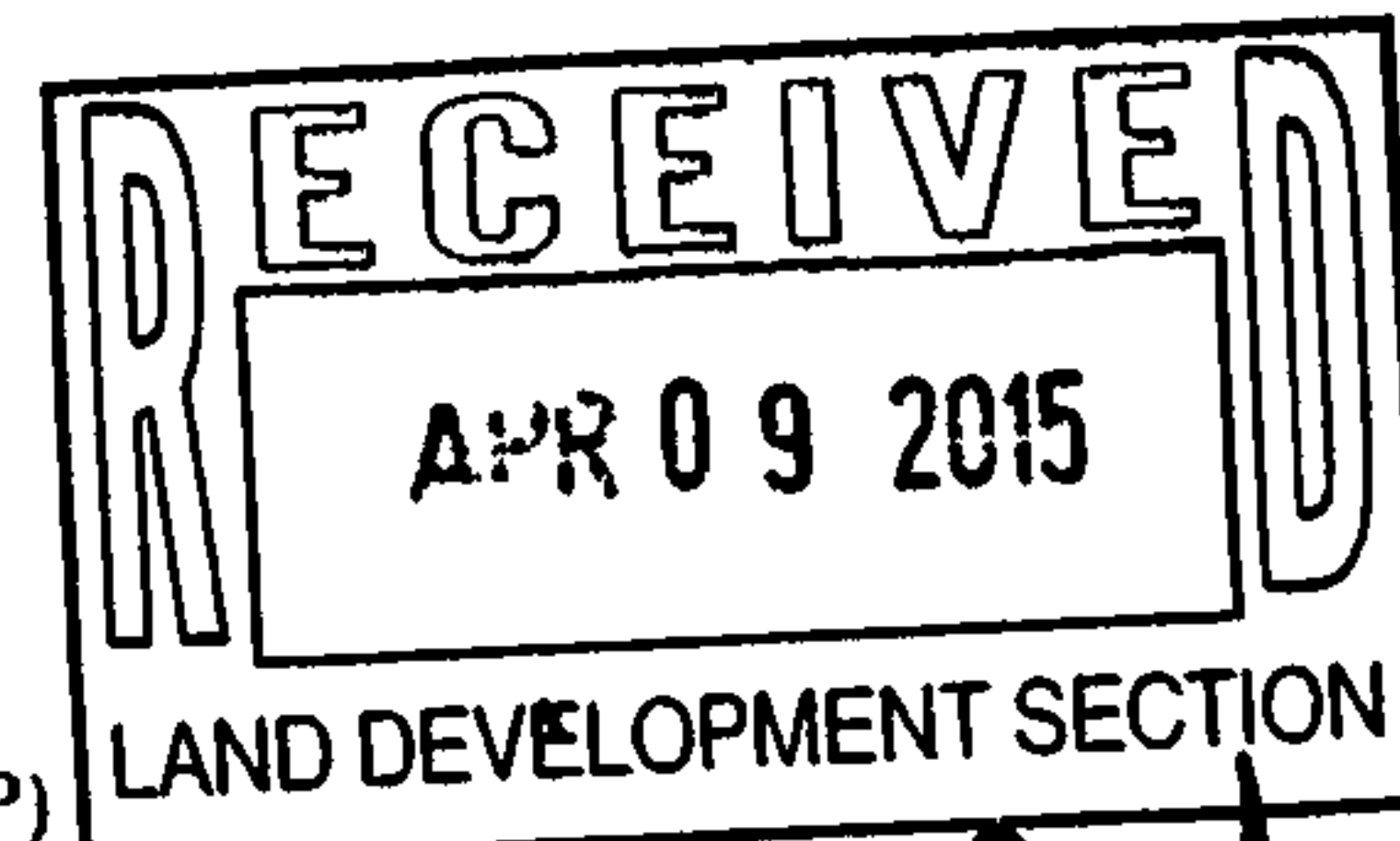
Project Title: INNOVA PLAZA Building Permit #: 201590409 City Drainage #: 20 LT2D067
DRB#: _____ EPC#: _____ Work Order#: 638282
Legal Description: LOT 1A BLOCK 48 SKYLINE HEIGHTS
City Address: 401 EUBANK BLVD. SE ALB. NM 87123
Engineering Firm: ISAACSON & ARFMAN, P.A. Contact: GENNY DONART
Address: 128 MONROE ST. NE
Phone#: 505-268-8828 Fax#: _____ E-mail: GENNYD@IACIVIL.COM
Owner: DOUG ADAMS / GLAD LLC Contact: DOUG ADAMS
Address: P.O. BOX 1111 CEDAR CREST NM
Phone#: 505-379-5341 Fax#: _____ E-mail: DADAMSCLAN@MSN.COM
Architect: RBA ARCHITECTS Contact: XAVIER WHELAN
Address: 1104 PARK AVE. SW ALB. NM 87102
Phone#: 505-242-1859 Fax#: _____ E-mail: XAVIER@RBAB1.COM
Surveyor: CARTESIAN SURVEYS INC. Contact: DAVID THOMPSON
Address: P.O. BOX 44414 RIO RANCHO NM 87174
Phone#: 505-896-3050 Fax#: _____ E-mail: _____
Contractor: KIMCON INC. Contact: PAT KIMBER
Address: 405 PARTMOUTH SE ALB. NM 87106
Phone#: 505-620-4993 Fax#: _____ E-mail: PATKIMBER@GMAIL.COM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



vs verified

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 4-8-15

By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Xavier Nuno-Whelan <xavier@rba81.com>

TCL - Innova Plaza - Re-submittal

Xavier Nuno-Whelan <xavier@rba81.com>

Thu, Apr 9, 2015 at 9:26 AM

To: plndrs@cabq.gov

Attached are the 2 sheets that are being re-submitted after responding to comments for Innova Plaza.

Thank you.

--

RBA Architecture - Planning - Design

Xavier Nuño-Whelan

Project Designer / Intern Architect

xavier@rba81.com

1104 Park Ave. SW

Albuquerque, NM 87102

tel: 505-242-1859

fax: 505-242-6630

mobile: 505-507-3408

2 attachments



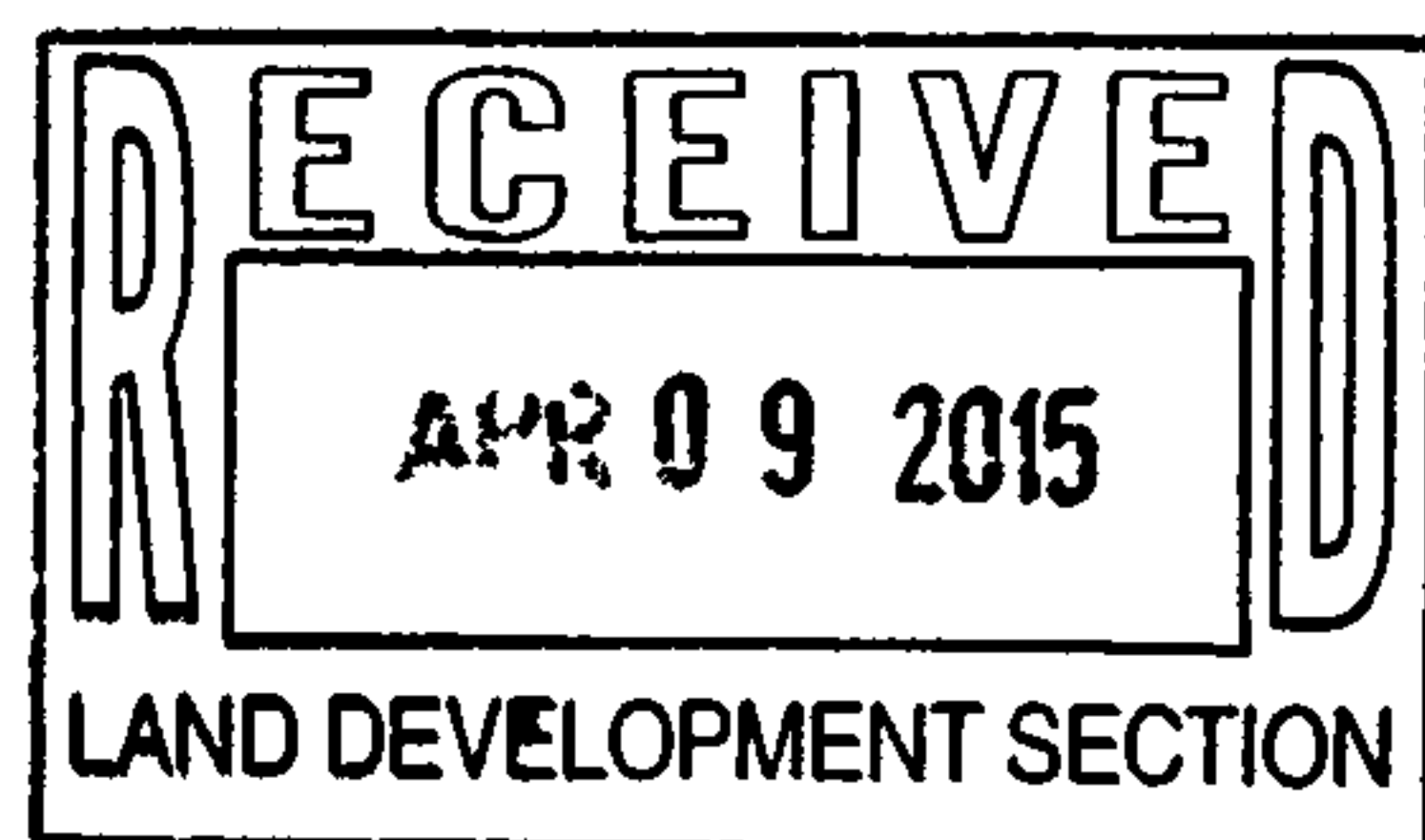
INNOVA C-1 SITE PLAN (TCL2).pdf

777K

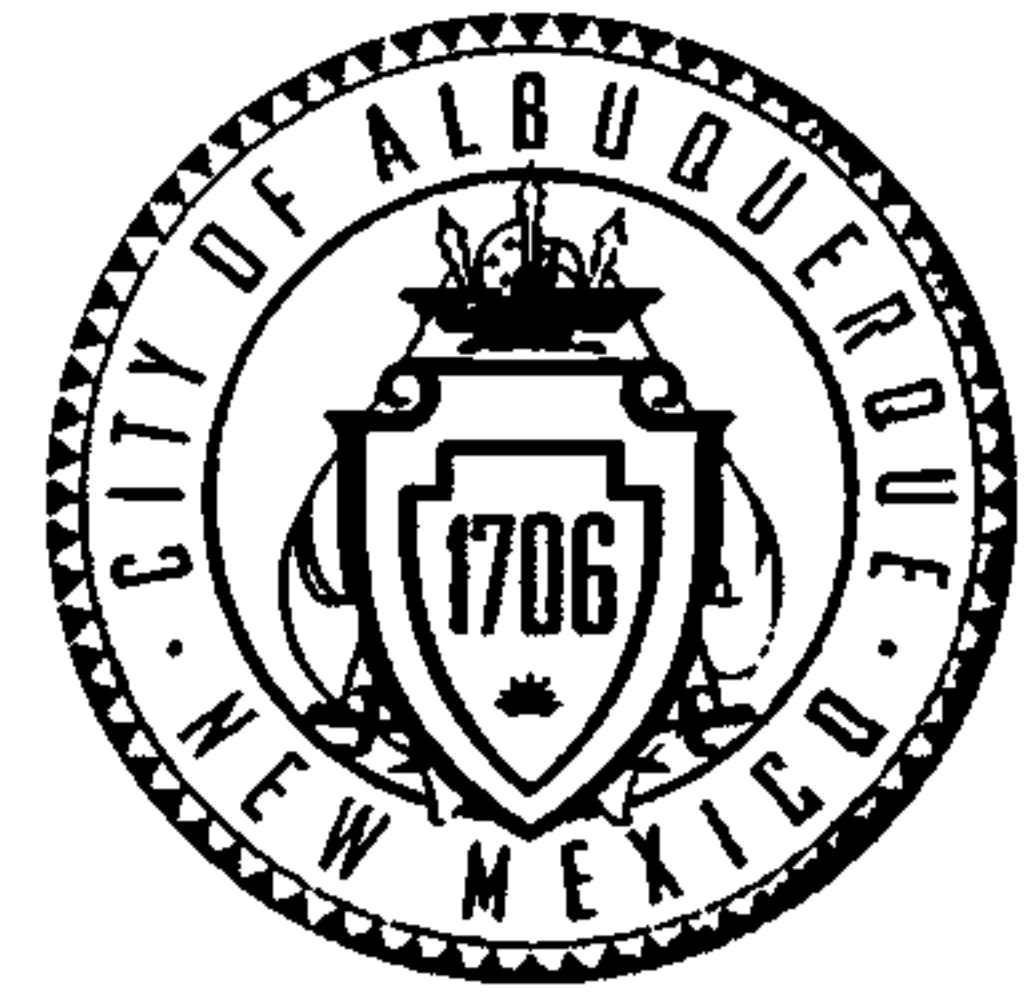


INNOVA C-2 SITE DETAILS (TCL2).pdf

555K



CITY OF ALBUQUERQUE



September 25, 2014

Ms. Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Innova Plaza
Grading and Drainage Plan
Engineer's Date 9-2-14 (L20D067)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 9-3-14, the above referenced plan is not approved for Grading Permit or Building Permit until the comments below are addressed.

1. Water harvesting ponds have been provided with the design. Provide retention for the First Flush. Include a narrative about the First Flush (remove references to water harvesting) and the amount being retained by the ponds. Per the City Drainage ordinance, the 90th Percentile Storm Event, which is 44 inches, is to be managed. Reduce 0.44 inch by the 0.1 inch for the initial impervious abstraction in Table A-6 of Section 22 of the DPM. Multiply the remaining 0.34 inch by your impervious area. This is the portion to retain.
2. What portion of the plan will be completed with the first building? All drainage improvements must be completed with the first building. Indicate that on the plans as well.

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Albuquerque

New Mexico 87103

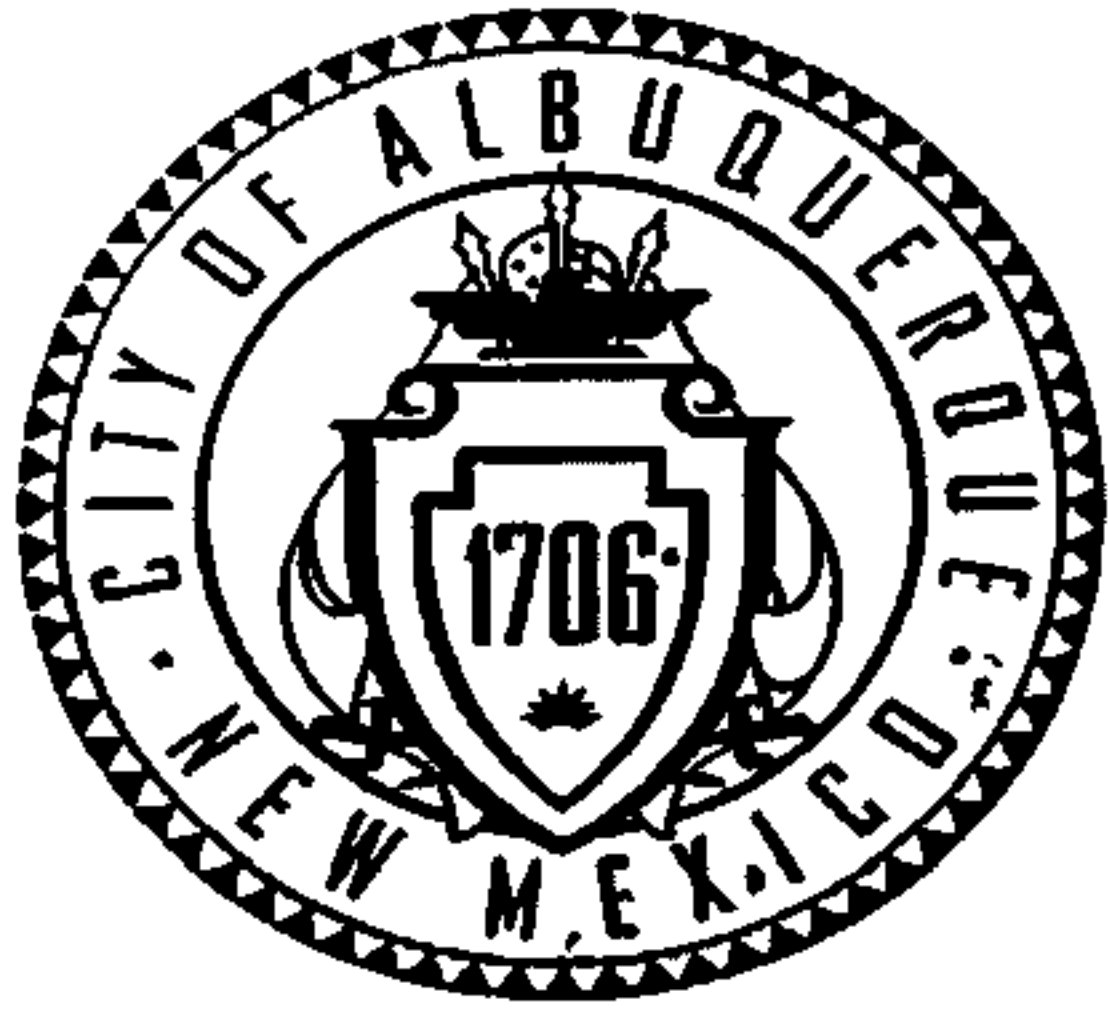
If you have any questions, you can contact me at 924-3994.

www.cabq.gov

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

L20D067

Project Title: Innova Plaza Building Permit #: _____ City Drainage #: L20/
DRB#: _____ EPC#: _____ Work Order#: 638282
Legal Description: Lot 1A, Block 48, Skyline Heights,
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: Glad, LLC Contact: Doug Adams
Address: 39 Canyon Ridge Dr, Sandia Park, NM 87047
Phone#: (505) 379-5341 Fax#: _____ E-mail: dadamsclan@msn.com

Architect: Rick Bennett Architect, Inc. Contact: Rick Bennett
Address: 1104 Park Ave. SW, Albuquerque, NM 87102
Phone#: 505-242-1859 ext 185 Fax#: _____ E-mail: rick@rba81.com

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

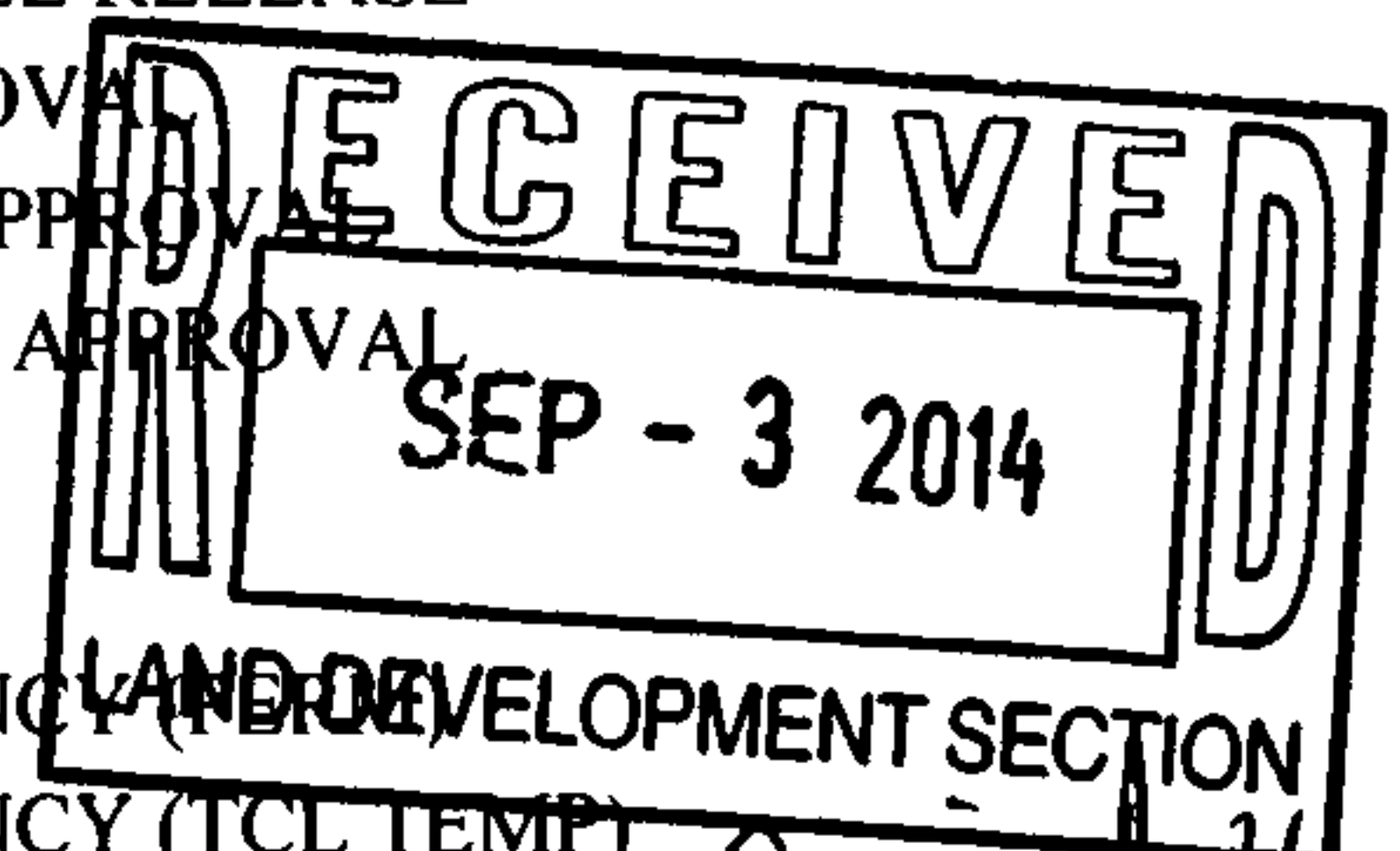
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (LAND DEVELOPMENT SECTION)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



paid \$50.00

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: September 3, 2014

By: Genny Donart

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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$A_D = 1.21 \text{ AC FREE}$

LaODD67 Inova Plaza

9/24/14

No FF discussion

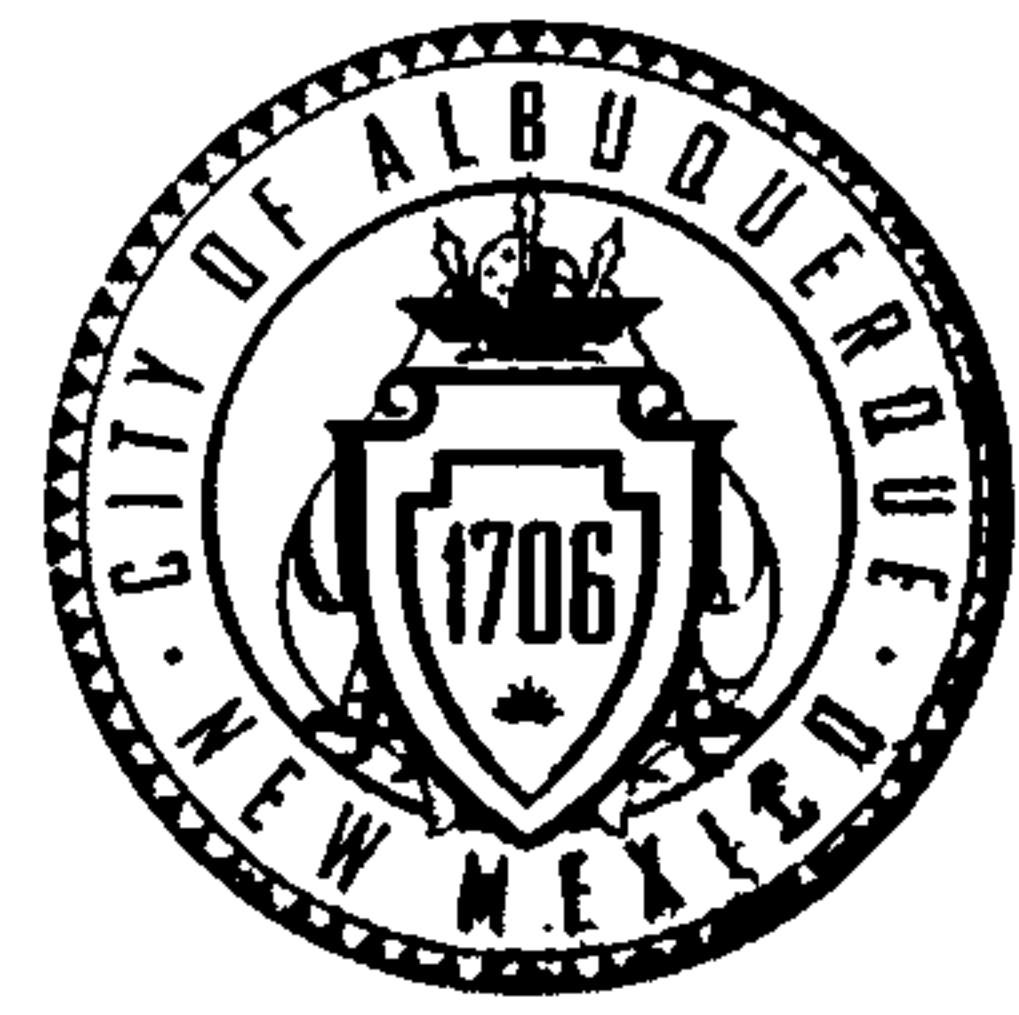
Detention / Retention via 10 day
1.3 CFS

Will all ponds be constructed
w/ first building? State
Need all diam constructed if just one

*Curtis says OK to free discharge

N pond draining?
S pond " ?

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

March 27, 2015

Xavier Nuno-Whelan, Project Manager/Intern Architect
RBA Architecture- Planning-Design
1104 Park Ave., SW
Albuquerque, NM 87102

**Re: Innova Plaza
401 Eubank Blvd., SE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated (Not Date Stamped) (L20-D067)**

Dear Mr. Nuno-Whelan,

Based upon the information provided in your submittal received 3-23-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify the extents of the current phase.
2. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
3. Please identify all existing setbacks, sidewalks, curbs, drive pads, walls and anything that influences the parking and circulation on the site.
4. If the curb, gutter and sidewalk are being built by Work Order, please provide the City Project Number.
5. Identify all existing access easements and rights of way with dimensions.
6. Identify the right of way width, medians, curb cuts, and street widths on Eubank Blvd., Bell Ave. and Trumbull Ave.
7. Upon review, re-platting of property will be required, so application must be submitted through the DRB Process for approval. If this is complete provide, please the DRB Project number.
8. Please list the width and length for all parking spaces.
9. Please label motorcycle parking and detail signage.
10. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
11. The handicap accessible spaces must be a minimum of 8.5 feet in width. Please dimension and detail all handicap parking spaces and walkways.

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12. The handicap accessible spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
13. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**"
14. The ADA access aisle shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
15. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
16. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances.
17. Please detail handicap access ramps into proposed buildings and on pedestrian sidewalks at the corners of Eubank at Bell Ave. and Trumbull Ave.
18. Design delivery vehicle route needs to be shown.
19. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval (if applicable).
20. One-way vehicular paths require pavement directional signage and a posted "**Do Not Enter**" sign at the point of egress (if applicable).
21. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
22. Drive Thru exit wall called out #19 cannot be over 3 Ft. in height, so as to not interfere with clear sight triangle.
23. Please specify the City Standard Drawing Number when applicable.
24. Please include a copy of your shared access and parking agreement with the adjacent property owner.
25. Work within the public right of way requires a work order with DRC approved plans.
26. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard.
27. Please include two copies of the traffic circulation layout at the next submittal.

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New Mexico 87103

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CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

A handwritten signature in black ink, appearing to read 'Racquel M. Michel', written in a cursive style.

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

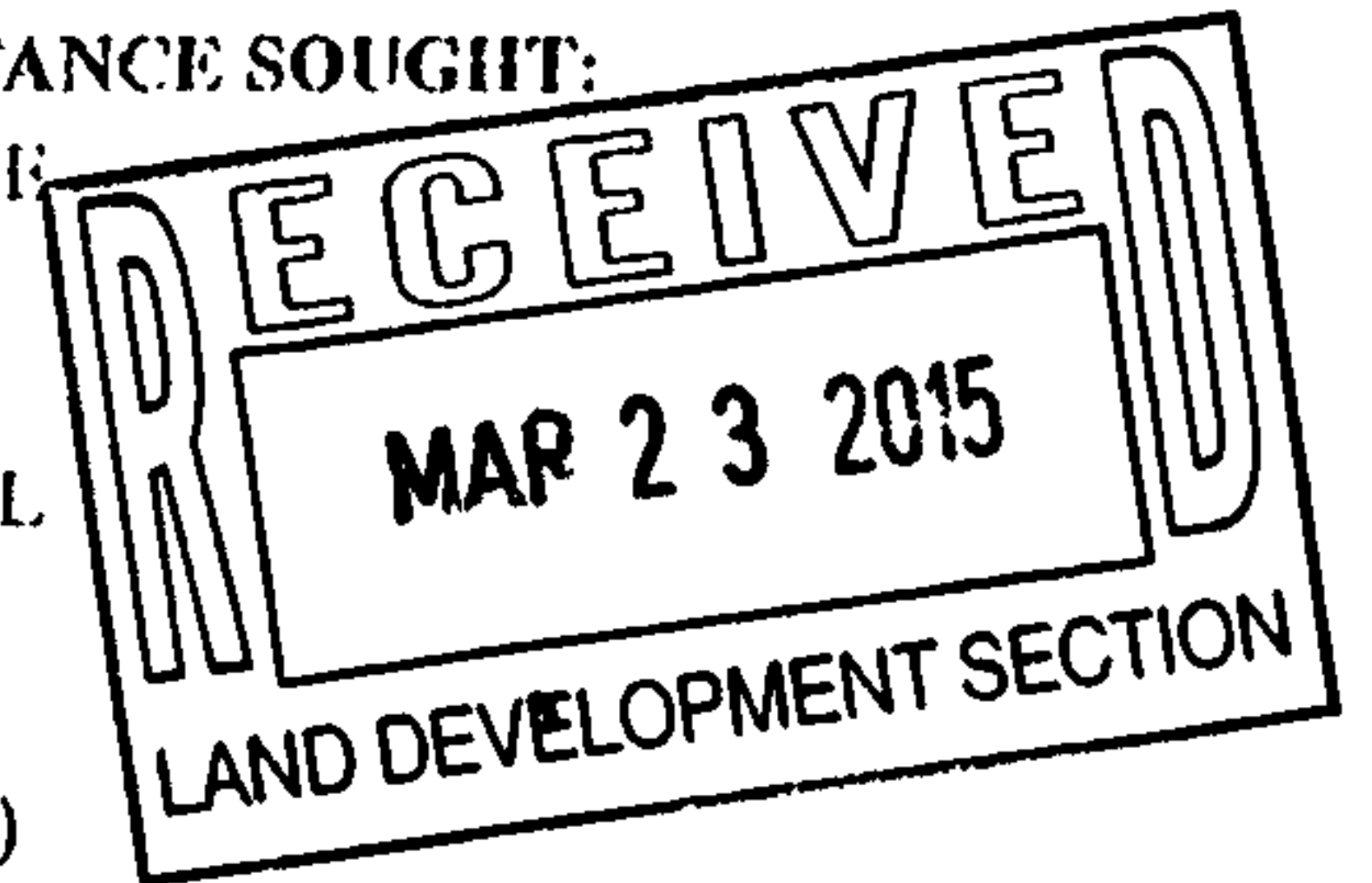
Project Title: INNOVA PLAZA Building Permit #: 201590409 City Drainage #: L205067
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 1A BLOCK 48 SKYLINE HEIGHTS
City Address: 401 EUBANK BLVD. SE ALB. NM 87123
Engineering Firm: ISAACSON & ARFMAN, P.A. Contact: GENNY DONART
Address: 128 MONROE ST. NE
Phone#: 505-268-8828 Fax#: _____ E-mail: GENNYD@IACIVIL.COM
Owner: DOUG ADAMS / GLAD LLC Contact: DOUG ADAMS
Address: P.O. BOX 1111 CEDAR CREST NM
Phone#: 505-379-5341 Fax#: _____ E-mail: DADAMSCLAN@MSN.COM
Architect: RBA ARCHITECTS Contact: XAVIER WHELAN
Address: 1104 PARK AVE. SW ALB. NM 87102
Phone#: 505-242-1859 Fax#: _____ E-mail: XAVIER@FBAB1.COM
Surveyor: CARTESIAN SURVEYS INC. Contact: DAVID THOMPSON
Address: P.O. BOX 44414 RIO RANCHO NM 87174
Phone#: 505-896-3050 Fax#: _____ E-mail: _____
Contractor: KIMCON INC. Contact: PAT KIMBERG
Address: 405 DARTMOUTH SE ALB. NM 87106
Phone#: 505-620-4993 Fax#: _____ E-mail: PATKIMBERG@GMAIL.COM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
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☐ SO-19
☐ OTHER (SPECIFY)

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☐ CERTIFICATE OF OCCUPANCY (PERM)
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☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 3-23-15

By: _____

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Xavier Nuno-Whelan <xavier@rba81.com>

TCL - Innova Plaza - Permit #201590409

Xavier Nuno-Whelan <xavier@rba81.com>

Mon, Mar 23, 2015 at 3:18 PM

To: mortiz@cabq.gov, rmichel@cabq.gov

Monica Ortiz,

Attached is a copy of the Site Plan submitted today for review for an approved TCL for building permit. I spoke with you this morning and was hoping to expedite this review because unfortunately we did this backwards and have everything signed off for building permit but this. Was unaware of this process and would really appreciate any help you can provide with this.

I am available to meet with you or Rachel Michel for a pre-design meeting as soon as possible.

Thank you very much.

--

RBA Architecture - Planning - Design

Xavier Nuño-Whelan

Project Designer / Intern Architect

xavier@rba81.com

1104 Park Ave. SW

Albuquerque, NM 87102

tel: 505-242-1859

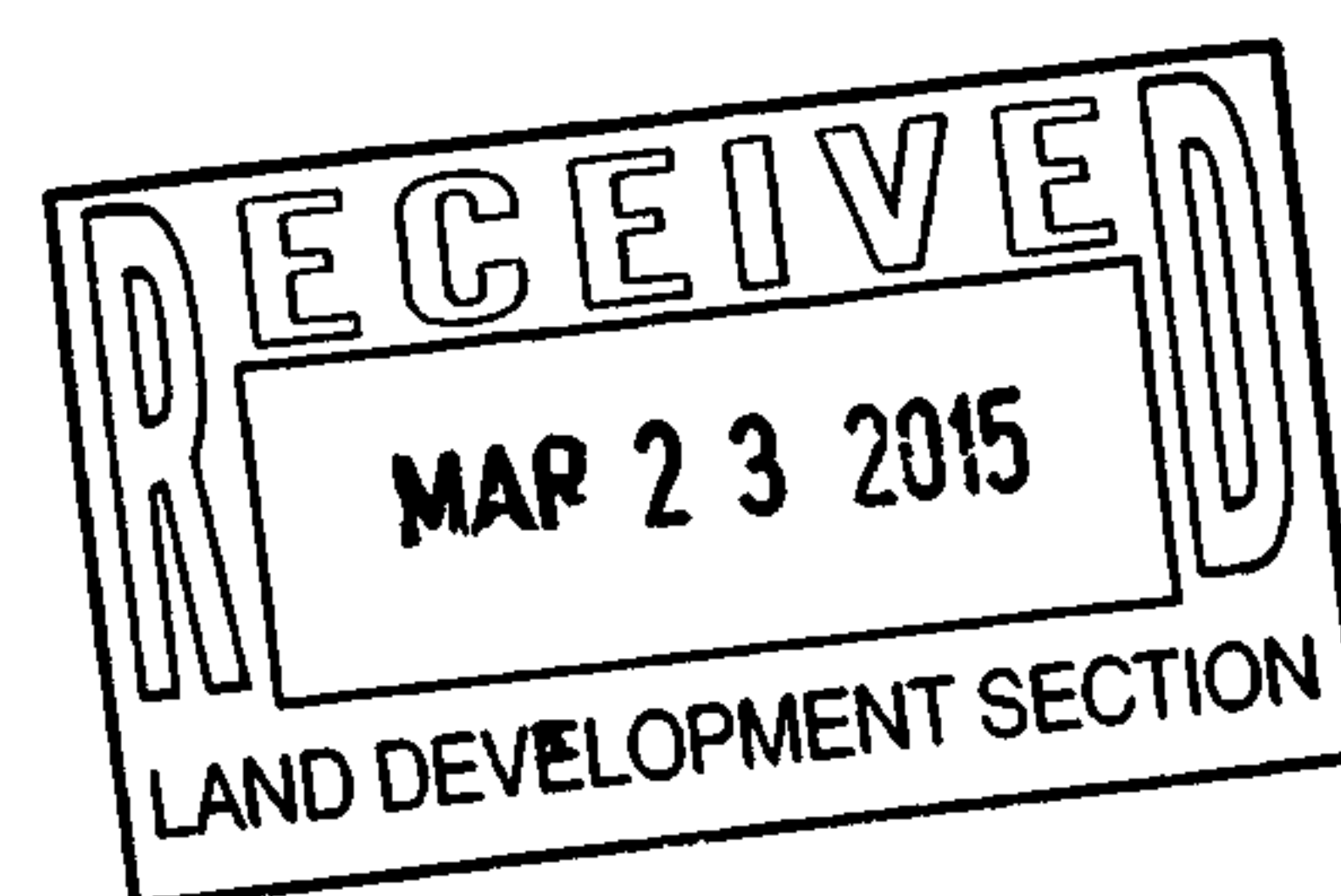
fax: 505-242-6630

mobile: 505-507-3408

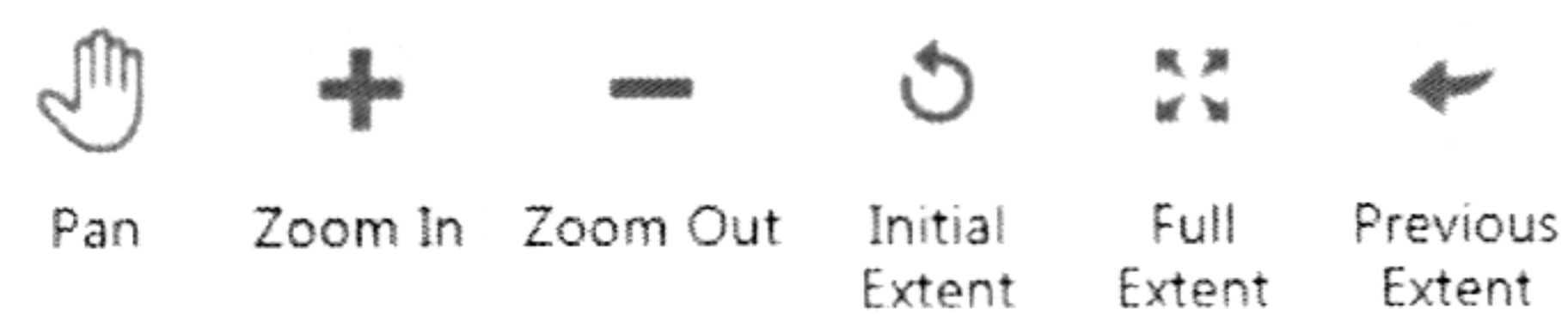


INNOVA PLAZA -C-1 SITE PLAN.pdf

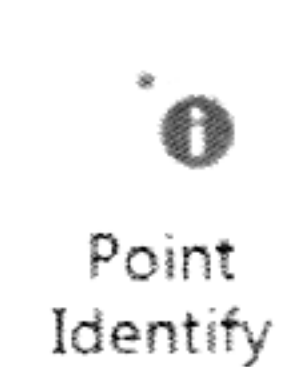
725K







Navigation Tools



Location Info

Scale: 1: 973

+ Jump to a map bookmark...



Print Map



Help



What's This?

Results (13)

<< View History

View Selected >>

Refine Results Table View Charting View
Export to Shapefile Select All Select None

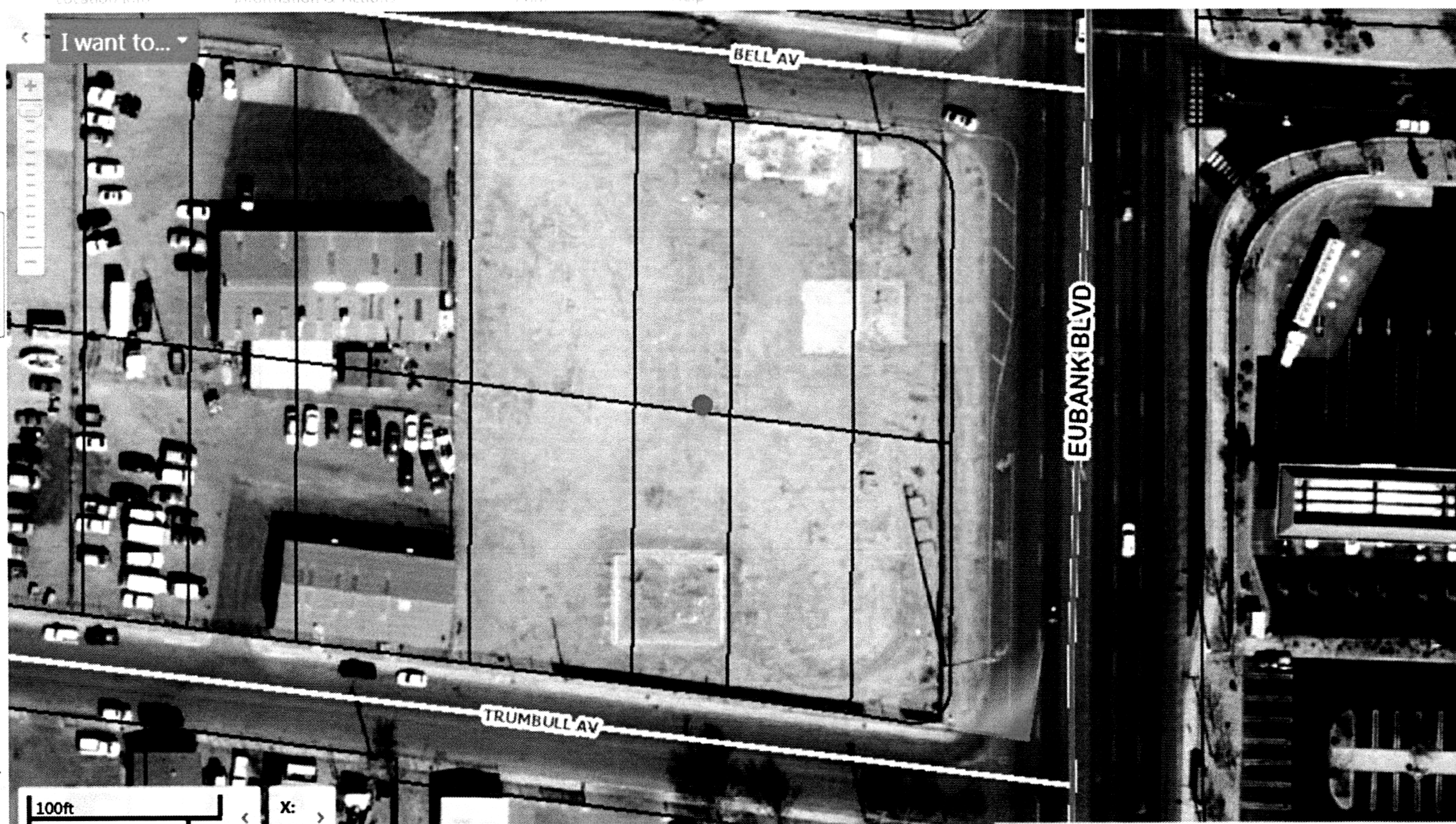
Bernalillo County Parcels
UPC: 102005651939710717
Owner: GLAD LLC
Owner Address: 39 CANYON RIDGE DR SANDIA PARK NM 87047
Situs Address: 10200 BELL AVE SE ALBUQUERQUE NM 87123
Legal Description: * 002 048SKYLINE HTS ADDN
Acres: 0.1395

Zoning
Designation: [SU-2](#)
Description: M-1
Land Use Classification: [5000](#)
Category: INDUSTRIAL / WHOLESALE / MANUFACTURING

Municipal Limits
ALBUQUERQUE

Zone Grid: L20
[Zone Atlas Page PDF Map](#)

Map Layers Results (13)





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: INNOVA PLAZA Building Permit #: 201590409 City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 1A BLOCK 48 SKYLINE HEIGHTS

City Address: 401 EUBANK BLVD. SE ALB. NM 87123

Engineering Firm: ISAACSON & ARPMAN, P.A. Contact: GENNY DONART

Address: 128 MONROE ST. NE

Phone#: 505-268-8828 Fax#: _____ E-mail: GENNYD@IACVIL.COM

Owner: DOUG ADAMS / GLAD LLC Contact: DOUG ADAMS

Address: P.O. BOX 1111 CEDAR CREST NM

Phone#: 505-379-5341 Fax#: _____ E-mail: DADAMSCLAN@MSN.COM

Architect: RBA ARCHITECTS Contact: XAVIER WHELAN

Address: 1104 PARK AVE. SW ALB. NM 87102

Phone#: 505-242-1859 Fax#: _____ E-mail: XAVIER@RBA81.COM

Surveyor: CARTESIAN SURVEYS INC. Contact: DAVID THOMPSON

Address: P.O. BOX 44414 RIO RANCHO NM 87174

Phone#: 505-896-3050 Fax#: _____ E-mail: _____

Contractor: KIMCON INC. Contact: PAT KIMBER

Address: 405 PARTMOUTH SE ALB. NM 87106

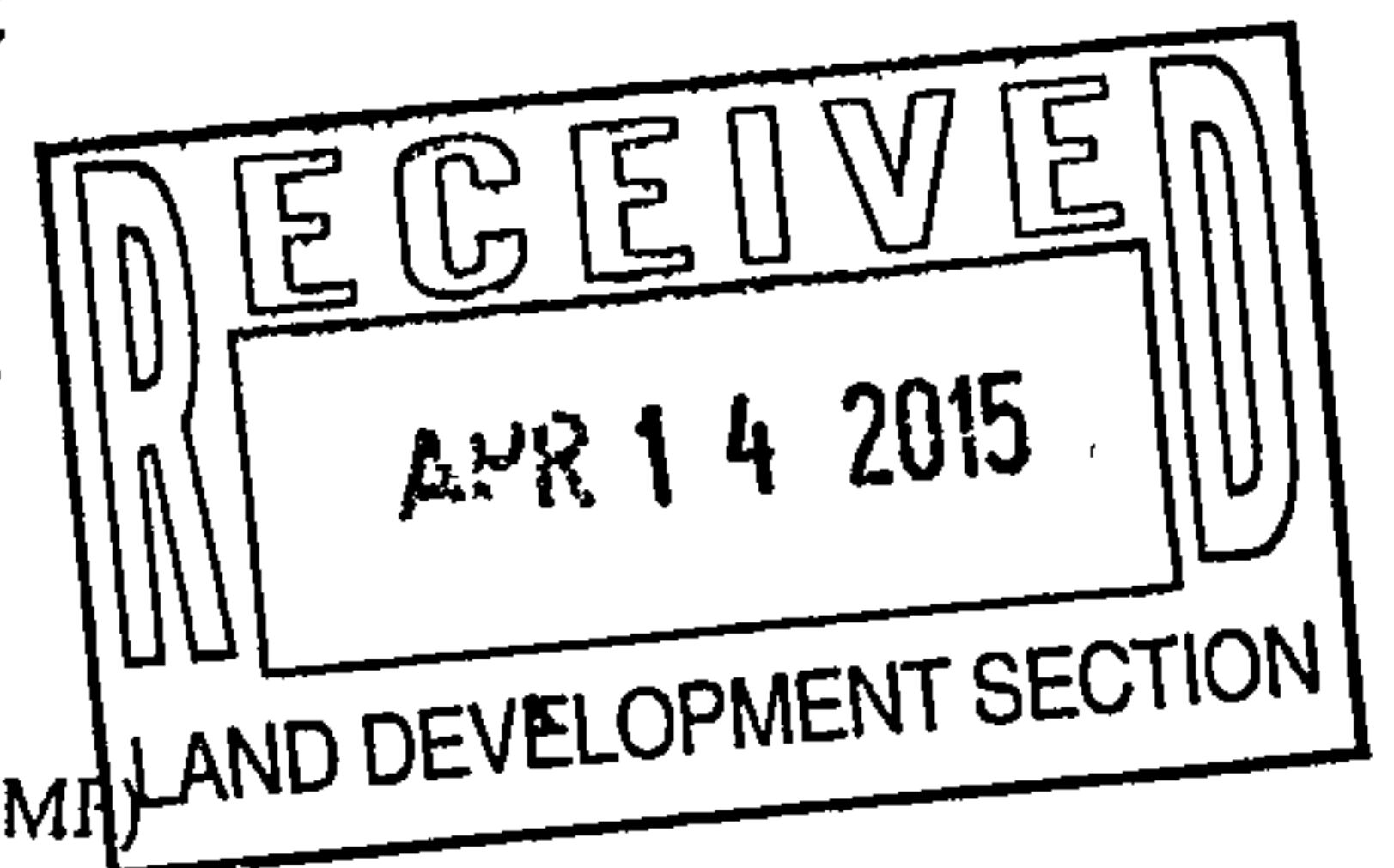
Phone#: 505-620-4993 Fax#: _____ E-mail: PATKIMBER@GMAIL.COM

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

Yes ☒ No ☐ Copy Provided

DATE SUBMITTED 4-13-15

By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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Xavier Nuno-Whelan <xavier@rba81.com>

Innova Plaza - TCL 401 Eubank Blvd SE

Xavier Nuno-Whelan <xavier@rba81.com>

Mon, Apr 13, 2015 at 1:47 PM

To: plndrs@cabq.gov, "Sandoval, Gary L." <glsandoval@cabq.gov>

Attached are the sheets responding to comments dated April 13, 2015. I've also included the information sheet. Please let me know if this is enough for Submittal. Clarification to comments not on plan are below:

1. No DRB process required for this site. Plat of site is attached.
6. Refuse has seen and approved permit set of drawings for permit #201590063
8. No shared parking access agreement for this site

Thank you,

—
RBA Architecture - Planning - Design

Xavier Nuño-Whelan

Project Designer / Intern Architect

xavier@rba81.com

1104 Park Ave. SW

Albuquerque, NM 87102

tel: 505-242-1859

fax: 505-242-6630

mobile: 505-507-3408

4 attachments

- 2014 08 26 Recorded PLAT.pdf
456K
- INNOVA C-2 SITE DETAILS (TCL3).pdf
555K
- INNOVA C-1 SITE PLAN (TCL3).pdf
816K
- DRAIN & TRANS INFORMATION SHEET.pdf
55K

