

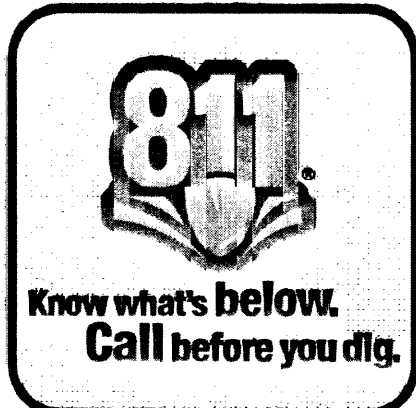
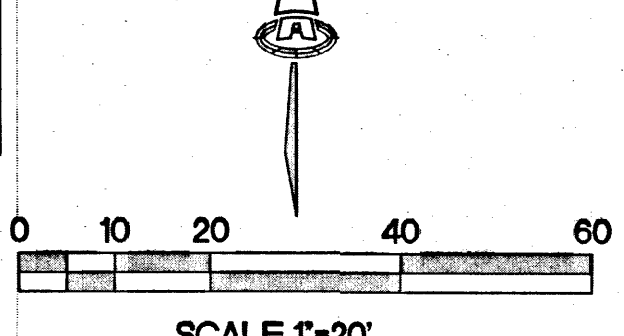
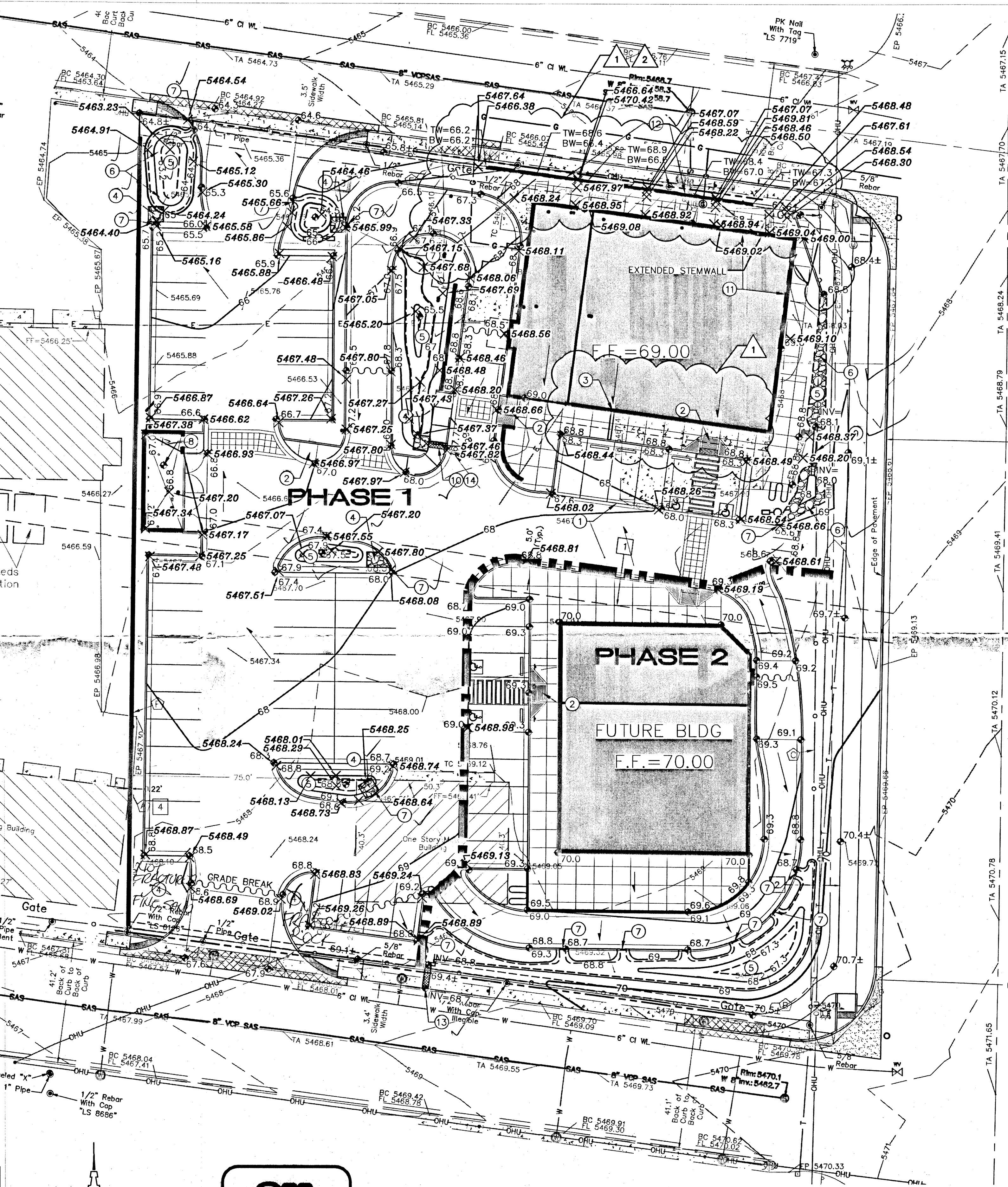
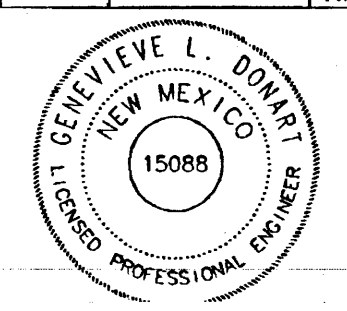
I, Genevieve L. Donart, NMPE, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11/13/2014. The record information edited onto the original design document has been obtained by a licensed surveyor as noted in the table below. I further certify that I have personally visited the project site on the date below and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief with the following exceptions:

- PHASE 1:**
- Roof drains were directed to the back (north) of the building instead of the front (south). To accommodate this drainage, trench drains were placed across the sidewalk, a concrete swale was installed between the sidewalk and retaining wall. Water from this swale was captured in 3" pipes, and directed to two of the designed ponds.
 - Exterior doors were added along the north side of the building. The sidewalk was lifted, and the retaining wall extended to the east.
- PHASE 2:**

This certification is submitted in support of a request for Certificate of Occupancy for the appropriate phase.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Phase	Date	Certifying Engineer	Surveyor of Record
1	08/24/15	Genevieve L. Donart NMPE#13088	Russ Hugg NMPLS #9750, of the firm Surv-Tek, Inc.
2		NMPE#	



- HANDICAP RAMP PER ARCHITECTURAL SITE PLAN.
- TRENCH DRAIN THROUGH SIDEWALK PER DETAIL ON SHEET CG-501. ADJUST LOCATION AS NECESSARY TO MATCH ROOF DRAIN.
- 5'X5'X12" THICK FRACTURED FACE ROCK, AT DOWNSTREAM SIDE OF CURB CUT/SIDEWALK CULVERT. INSTALL OVER GEOTEX 501 NON-WOVEN GEO-TEXTILE. VARY ROCK SIZE FROM 4" TO 8" DIA. (6" MEDIAN.) TOP OF ROCK ELEVATIONS MUST MATCH PROPOSED GRADE TO CONVEY WATER AT DISCHARGE POINTS.
- WATER HARVESTING AREA TO TREAT "FIRST FLUSH". INSTALL PER GRADES SHOWN.
- 12" THICK FRACTURED FACE ROCK, ON SIDE SLOPES OF WATER HARVESTING POND OVER GEOTEX 501 NON-WOVEN GEO-TEXTILE. VARY ROCK SIZE FROM 4" TO 8" DIA. (6" MEDIAN.) TOP OF ROCK ELEVATIONS MUST MATCH PROPOSED GRADE TO CONVEY WATER AT DISCHARGE POINTS.
- 2' WIDE CURB OPENING PER DETAIL ON SHEET CG-501.
- GRADE CONCRETE DUMPSTER PAD TOWARDS DRAIN.
- 2-4" PVC PIPES THROUGH SIDEWALK PER DETAIL ON SHEET CG-501.
- 2' WIDE SIDEWALK CULVERT PER COA STD DWG #2236.
- EXTENDED STEMWALL.
- RETAINING WALL.
- 2' WIDE SIDEWALK CULVERT IN RIGHT-OF-WAY TO BE INSTALLED AND INSPECTED AS PART OF WORK ORDER PERMIT.
- SEE DETAIL "A" ON THIS SHEET.

CALCULATIONS

CALCULATIONS: Innova Plaza :
Based on Drainage Design Criteria for City of Albuquerque
Section 22.2, DPM, Vol.2, dated Jan., 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE: 62108.63 SF = 1.4 AC.

HISTORIC FLOWS:

Area	Treatment	%
Area A	0	0%
Area B	0	0%
Area C	46581.473	75%
Area D	15527.158	25%
TOTAL	62108.63	100%

DEVELOPED FLOWS:

Area	Treatment	%	EXCESS PRECIP:
Area A	0	0%	Precip. Zon 3
Area B	3105	5%	E _A = 0.66
Area C	6211	10%	E _B = 0.92
Area D	52792	85%	E _C = 1.29
TOTAL	62108.63	100%	E _D = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Historic = 1.56 in. Developed E = 2.18 in.

On-Site Volume of Runoff: V₃₆₀ = E * A / 12

Historic = 8061 CF Developed V = 11288 CF

On-Site Peak Discharge Rate: Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D / 43,560

For Precipitation 1.3

Q _{pA} = 1.87	Q _{pC} = 3.45
Q _{pB} = 2.60	Q _{pD} = 5.02
Historic = 5.5 CFS	Developed Q = 6.8 CFS

BASIN NO. A DESCRIPTION Discharges to Trumbull thru sidewalk culvert

Area of basin flows = 11478 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)	
Weighted E	= 218 in.
Sub-basin Volume of Runoff (see formula above)	
V ₆₀	= 2090 CF
Sub-basin Peak Discharge Rate: (see formula above)	
Q _p	= 1.3 cfs

BASIN NO. B DESCRIPTION Discharges to Bell Ave

Area of basin flows = 50611 SF = 1.2 Ac.

The following calculations are based on Treatment areas as shown in table to the right

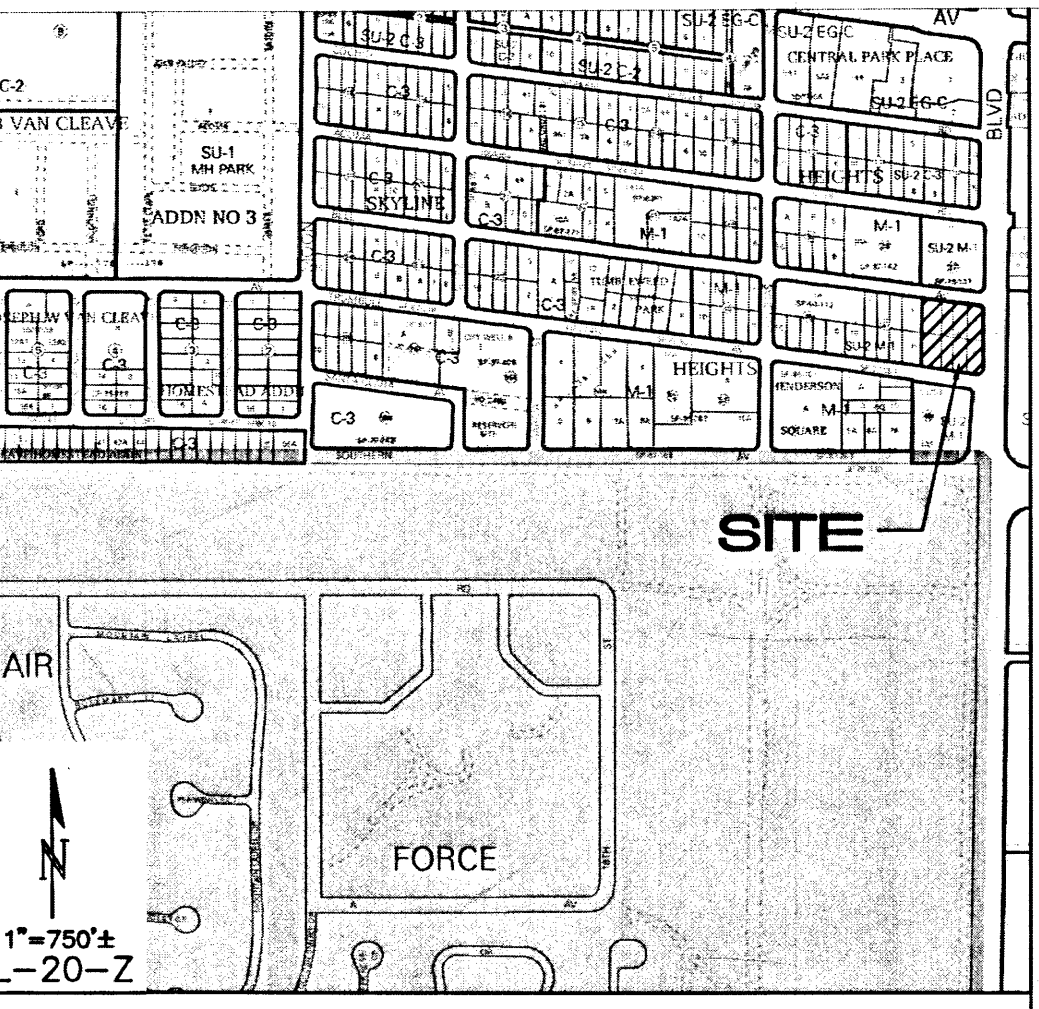
Sub-basin	Weighted Excess Precipitation (see formula above)	LAND TREATMENT
Sub-basin Volume of Runoff (see formula above)	218 in.	A = 0%
V ₃₆₀ = 9198 CF		B = 5%
Sub-basin Peak Discharge Rate (see formula above)		C = 10%
Q _p = 5.5 cfs		D = 85%

90% STORM "FIRST FLUSH" RETENTION:

$$V_{FF} = \text{AREA OF } \phi D \times 0.34" / 12$$

$$V_{FF} = 52,792 \text{ SF } \times 0.34" / 12 = 1,496 \text{ CF}$$

TOTAL PONDING PROVIDED = 1,520 CF > REQUIRED.



PROJECT DATA

LEGAL DESCRIPTION: LOT 1A, BLOCK 48, SKYLINE HEIGHTS SUBDIVISION

SITE AREA: 1.43 ACRES

FLOOD ZONE: THIS SITE IS OUTSIDE THE 100-YEAR FLOODPLAIN PER FEMA FIRM PANEL NO. 35001C00358H DATED 08/16/2012.

ENGINEER: GENEVIEVE DONART ISAACSON & ARFMAN, P.A. 128 MONROE ST NE, APO, NM 87108 PHONE: (505) 268-8828

SURVEYOR: CARTESIAN SURVEYS, INC. P.O. BOX 44414 RIO RANCHO, NM 87174 PHONE: (505) 896-3050

BENCHMARK: ACS MONUMENT "4-L22" ELEV=5586.425 (NAVD 1988)

EXISTING CONDITIONS: THE EXISTING SITE WAS FORMERLY A SCHOOL BUS YARD. THERE IS SOME CONCRETE REMAINING FROM OLD BUILDING FOUNDATIONS. THE SITE SLOPES FROM THE SOUTHWEST TO THE NORTHEAST AT APPROXIMATELY 1.5%.

PROPOSED CONDITIONS: THE PROPOSED SITE WILL HAVE ONE 5,700 SF BLDG, (NORTH) AND A SECOND PAD FOR A FUTURE BUILDING (SOUTH). CURB IS ADDED ALONG THE ADJOINING EDGE OF EUBANK, WHICH WILL REDIRECT OFFSITE FLOW TO THE NORTH. THE SITE DISCHARGES 5.5 CFS TO BELL AVE FROM THE NORTHWEST DRIVEPAD AND 1.3 CFS TO TRUMBULL AVE FROM A 2' WIDE SIDEWALK CULVERT.

LEGEND

EXISTING CONTOUR

PROPOSED CONTOUR

PROPOSED SPOT ELEVATION

FLOW ARROW

FINISH FLOOR ELEVATION

GROUND AT TOP OF RETAINING WALL ELEVATION

GROUND AT BASE OF RETAINING WALL

INVERT ELEVATION

FF = 6881.0

TW=99.0

BW=95.0

INV=72.5

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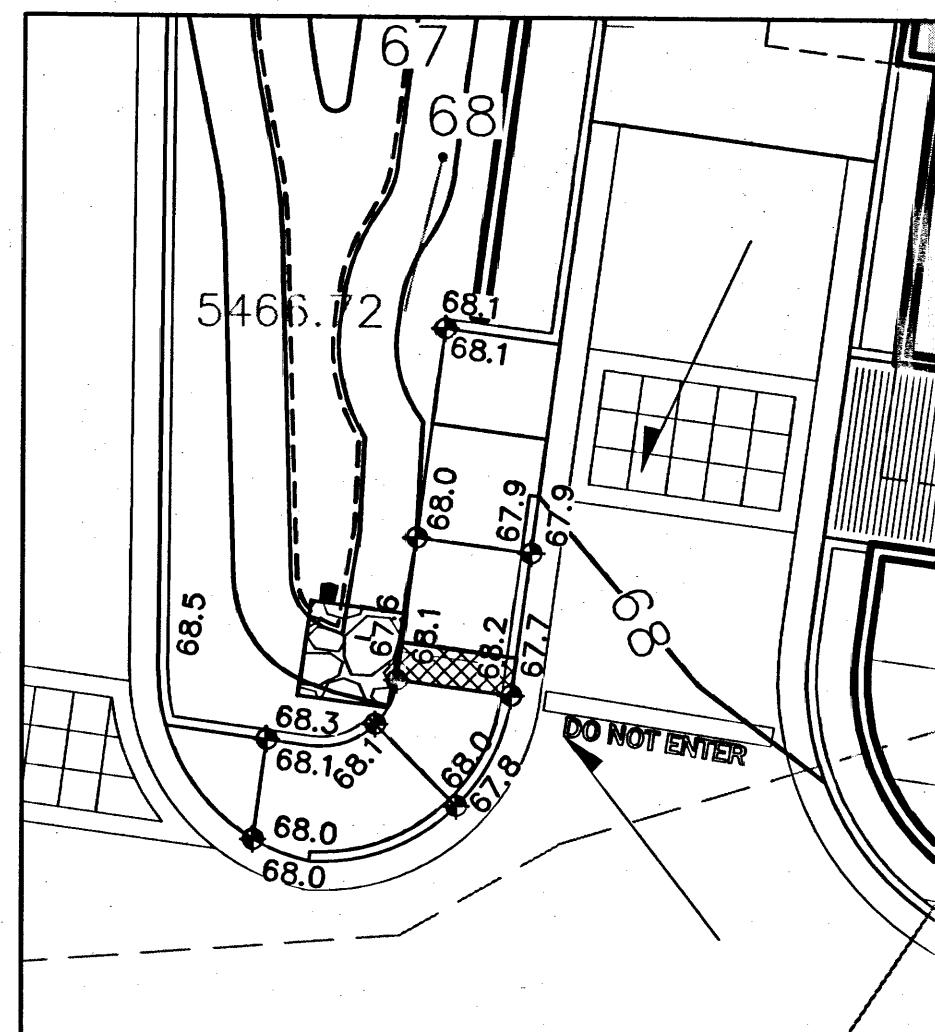
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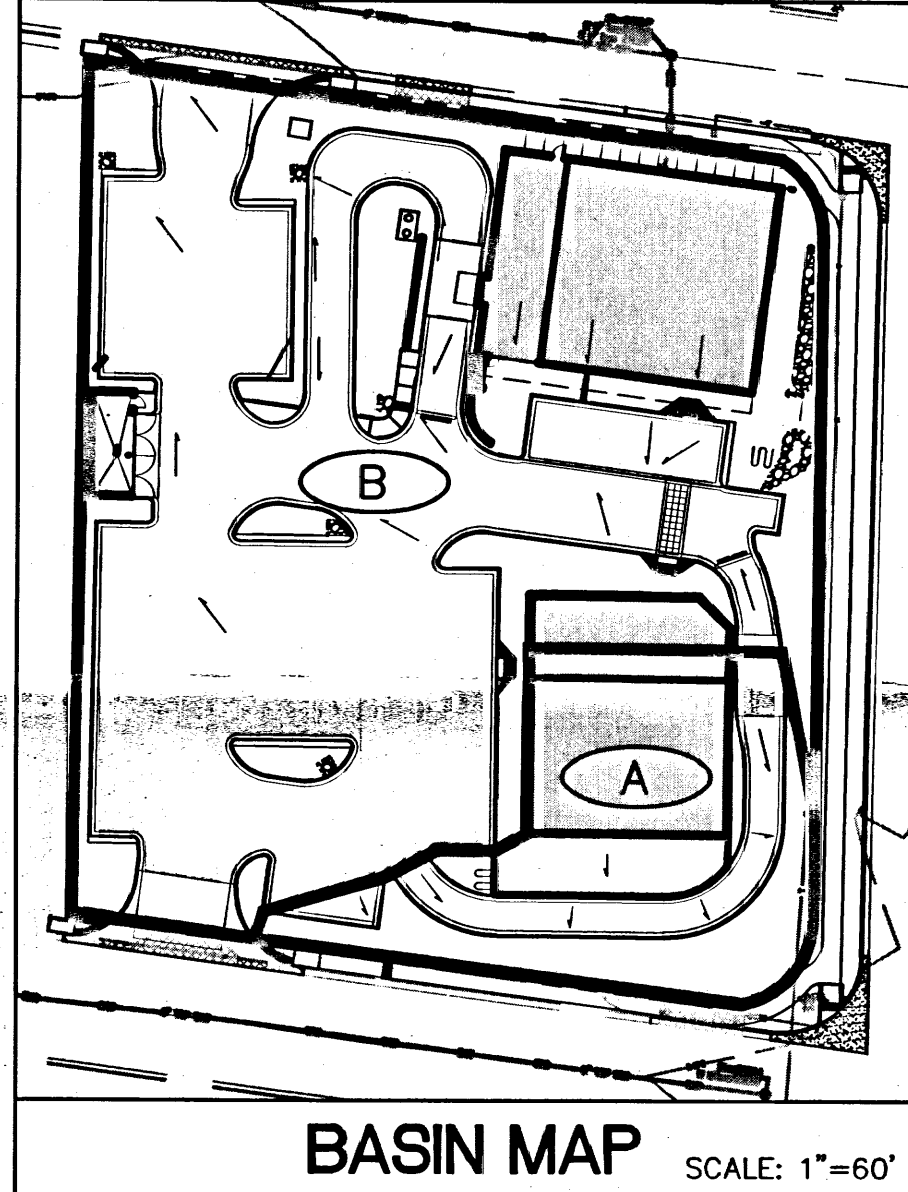
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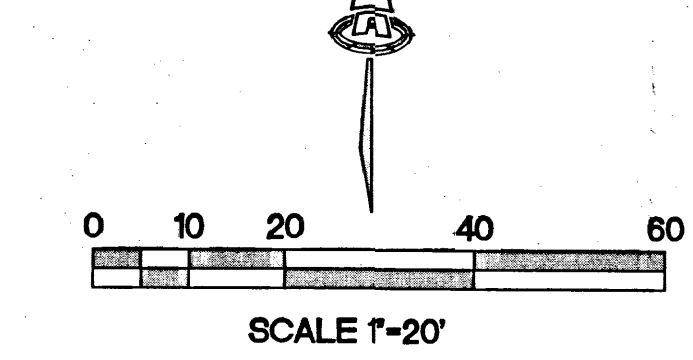
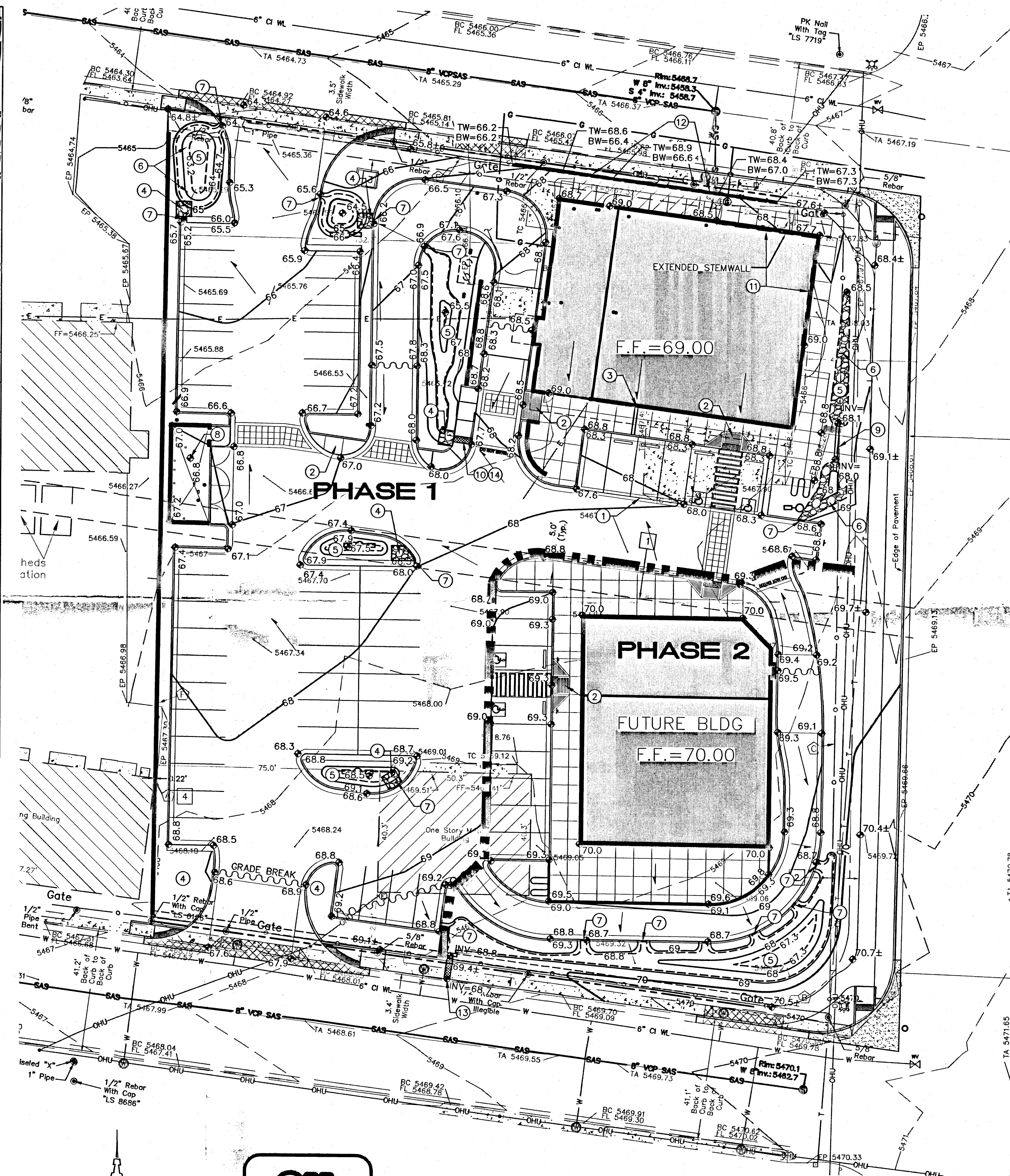
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DETAIL "A"



BASIN MAP SCALE: 1"=60'



KEYED NOTES

1. CONCRETE ALLEY GUTTER PER DETAIL ON SHEET CG-501.
2. HANDICAP RAMP PER ARCHITECTURAL SITE PLAN.
3. TRENCH DRAIN THROUGH SIDEWALK PER DETAIL ON SHEET CG-501. ADJUST LOCATION AS NECESSARY TO MATCH ROOF DRAIN.
4. 5'X5'X12" THICK FRACTURED FACE ROCK, AT DOWNSTREAM SIDE OF CURB CUT/SIDEWALK CULVERT. INSTALL OVER GEOTEX 501 NON-WOVEN GEO-TEXTILE. VARY ROCK SIZE FROM 4" TO 8" DIA. (6" MEDIAN.) TOP OF ROCK ELEVATIONS MUST MATCH PROPOSED GRADE TO CONVEY WATER AT DISCHARGE POINTS.
5. WATER HARVESTING AREA TO TREAT "FIRST FLUSH". INSTALL PER GRADES SHOWN.
6. 12" THICK FRACTURED FACE ROCK, ON SIDE SLOPES OF WATER HARVESTING POND OVER GEOTEX 501 NON-WOVEN GEO-TEXTILE. VARY ROCK SIZE FROM 4" TO 8" DIA. (6" MEDIAN.) TOP OF ROCK ELEVATIONS MUST MATCH PROPOSED GRADE TO CONVEY WATER AT DISCHARGE POINTS.
7. 2' WIDE CURB OPENING PER DETAIL ON SHEET CG-501.
8. GRADE CONCRETE DUMPSTER PAD TOWARDS DRAIN.
9. 2-4" PVC PIPES THROUGH SIDEWALK PER DETAIL ON SHEET CG-501.
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11. EXTENDED STEMWALL.
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AREA OF SITE: 62108.63 SF = 1.4 AC.

HISTORIC FLOWS:

	Treatment	%
Area A	0	0%
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Historic = 1.56 in. Developed E = 2.18 in.

On-Site Volume of Runoff: V₃₆₀ = E * A / 12

Historic = 8061 CF Developed V = 11288 CF

On-Site Peak Discharge Rate: Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560

For Precipitation 2.3

Q_{pA} = 1.87 Q_{pC} = 3.45

Q_{pB} = 2.60 Q_{pD} = 5.02

Historic = 5.5 CFS Developed Q = 6.8 CFS

BASIN NO. A DESCRIPTION Discharges to Trumbull thru sdw culvert

Area of basin flows = 11498 SF = 0.3 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

V₃₆₀ = 2090 CF

Sub-basin Peak Discharge Rate: (see formula above)

Q_p = 1.3 cfs

BASIN NO. B DESCRIPTION Discharges to Bell Ave

Area of basin flows = 50611 SF = 1.2 Ac.

The following calculations are based on Treatment areas as shown in table to the right

Sub-basin Weighted Excess Precipitation (see formula above)

Weighted E = 2.18 in.

Sub-basin Volume of Runoff (see formula above)

V₃₆₀ = 9198 CF

Sub-basin Peak Discharge Rate: (see formula above)

Q_p = 5.5 cfs

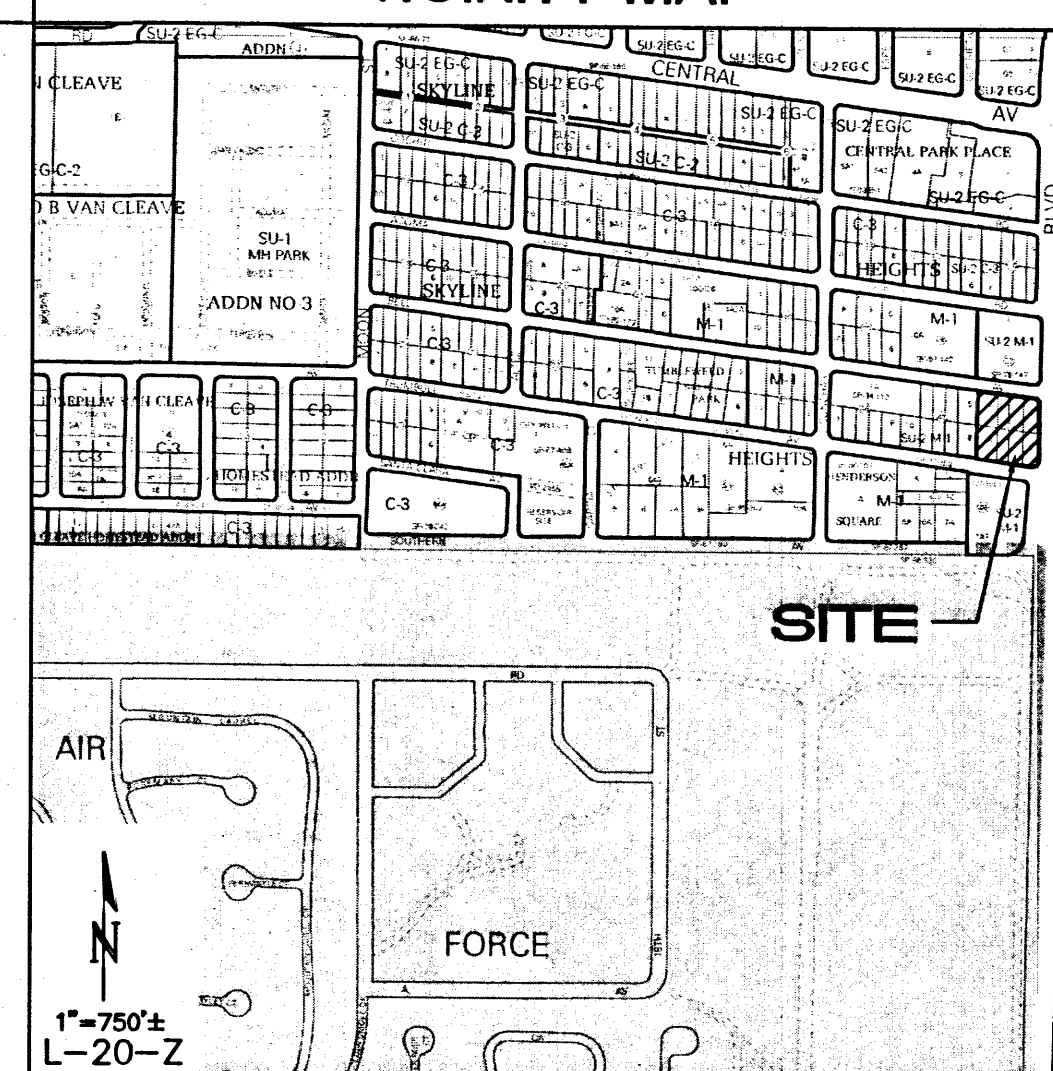
90% STORM "FIRST FLUSH" RETENTION:

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$$V_{FF} = 52,792 \text{ SF} \times 0.34' / 12 = 1,496 \text{ CF}$$

TOTAL PONDING PROVIDED = 1,520 CF > REQUIRED.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: LOT 1A, BLOCK 48, SKYLINE HEIGHTS SUBDIVISION

SITE AREA: 1.43 ACRES

FLOOD ZONE: THIS SITE IS OUTSIDE THE 100-YEAR FLOODPLAIN PER FEMA FIRM PANEL NO. 35001C00358H DATED 08/16/2012.

ENGINEER: GENEVIEVE DONART

ISAACSON & ARFMAN, P.A.

128 MONROE ST NE, ABO. NM 87108

PHONE: (505) 268-8828

SURVEYOR: CARTESIAN SURVEYS, INC.

P.O. BOX 44414

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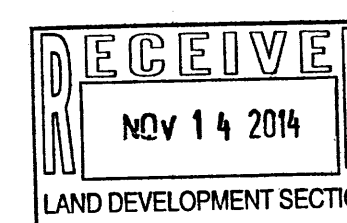
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ON-SITE STORM WATER OF 5.5 CFS DISCHARGES TO BELL AVE OVER THE SIDEWALK. THE ADJACENT HALF OF EUBANK BLVD DRAINS ONTO THE PROPERTY.

PROPOSED CONDITIONS: THE PROPOSED SITE WILL HAVE ONE 5,700 SF BLDG. (NORTH) AND A SECOND PAD FOR A FUTURE BUILDING (SOUTH). CURB IS ADDED ALONG THE ADJOINING EDGE OF EUBANK, WHICH WILL REDIRECT OFFSITE FLOW TO THE NORTH. THE SITE DISCHARGES 5.5 CFS TO BELL AVE FROM THE NORTHWEST DRIVEPAD AND 1.3 CFS TO TRUMBULL AVE FROM A 2' WIDE SIDEWALK CULVERT.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FINISH FLOOR ELEVATION
- GROUND AT TOP OF RETAINING WALL ELEVATION
- GROUND AT BASE OF RETAINING WALL
- INVERT ELEVATION



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates

128 Monroe Street N.E.

Albuquerque, New Mexico 87108

Ph. 505-268-8828 www.isaacson.com

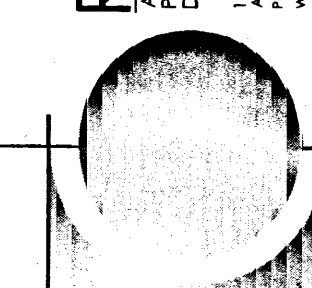
2055 CG-101.dwg Nov 13, 2014

INNOVA PLAZA - SITE DEVELOPMENT
GRADING & DRAINAGE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

REVISION DATE



RBA
ARCHITECTURE
PLANNING
DESIGN
1124 Park Ave. SW
Albuquerque, NM 87102
www.rba.com



DATE
NOVEMBER 13, 2014

SHEET NUMBER

CG-101

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- GENERAL NOTES
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE AND NMDOT STANDARDS APPLY.

2. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.

3. ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.

4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.

5. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.

6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.

7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.

8. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.

9. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.

10. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

11. CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.

12. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

13. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

14. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.

15. SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.

16. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.

17. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.

18. A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE.

19. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.

20. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)

- GRADING GENERAL NOTES
1. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE GROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.

2. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.

3. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.

4. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.

5. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.

6. STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

7. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.

8. ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.

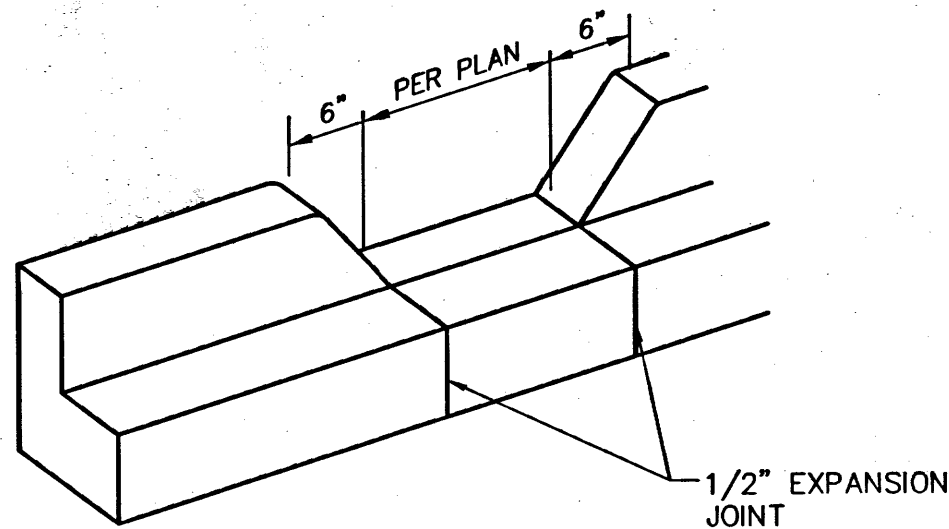
9. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.

10. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.

11. ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.

12. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

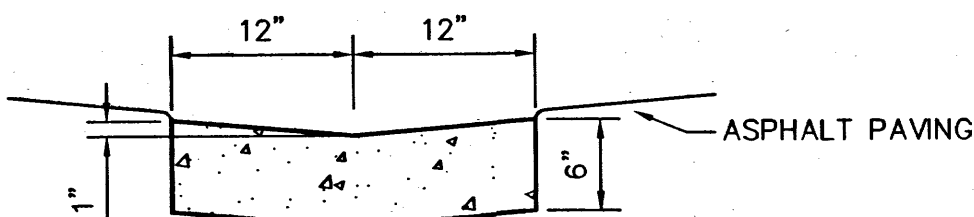
13. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.



- GENERAL NOTES
1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

4 CURB OPENING

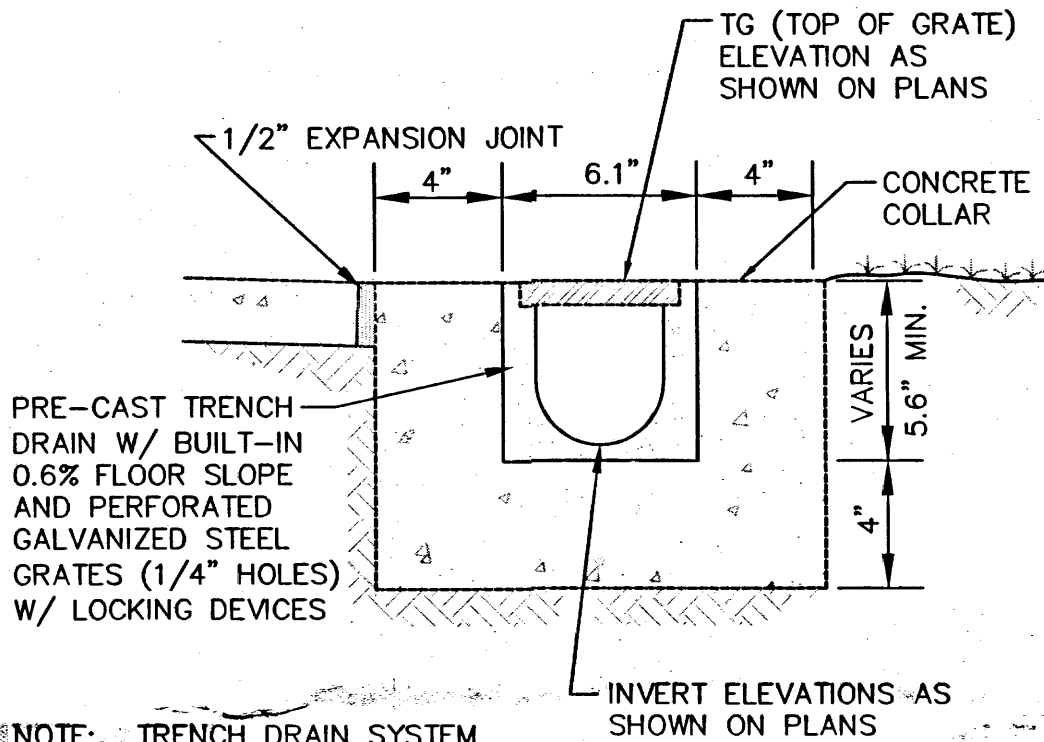
SCALE: N.T.S.



- GENERAL NOTES
1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
3. 1/2" EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES. SEAL WITH _____
4. EDGE OF ASPHALT PAVING TO BE 1" ABOVE EDGE OF CONCRETE (TYP).

1 CONCRETE ALLEY GUTTER

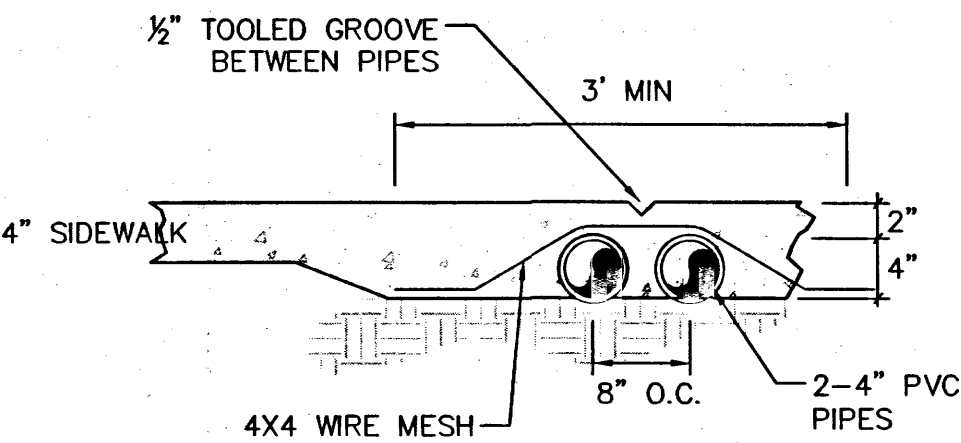
SCALE: N.T.S.



NOTE: TRENCH DRAIN SYSTEM BY ACO POLYMER PRODUCTS, OR APPROVED EQUAL.

2 TRENCH DRAIN THROUGH SIDEWALK

SCALE: N.T.S.



3 4" PIPES THROUGH WALK

SCALE: N.T.S.

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

128 Monroe Street N.E.

Albuquerque, New Mexico 87108

Ph. 505-268-8828 www.iacivil.com

2055 CG-501.dwg Aug 26, 2014

INNOVA PLAZA - SITE DEVELOPMENT
GRADING DETAILS
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT # 1459

REVISION DATE

NEW MEXICO
15068

ISAACSON & ARFMAN, P.A.

DATE

NOVEMBER 13, 2014

SHEET NUMBER

CG-501

INNOVA PLAZA

PROJECT TEAM

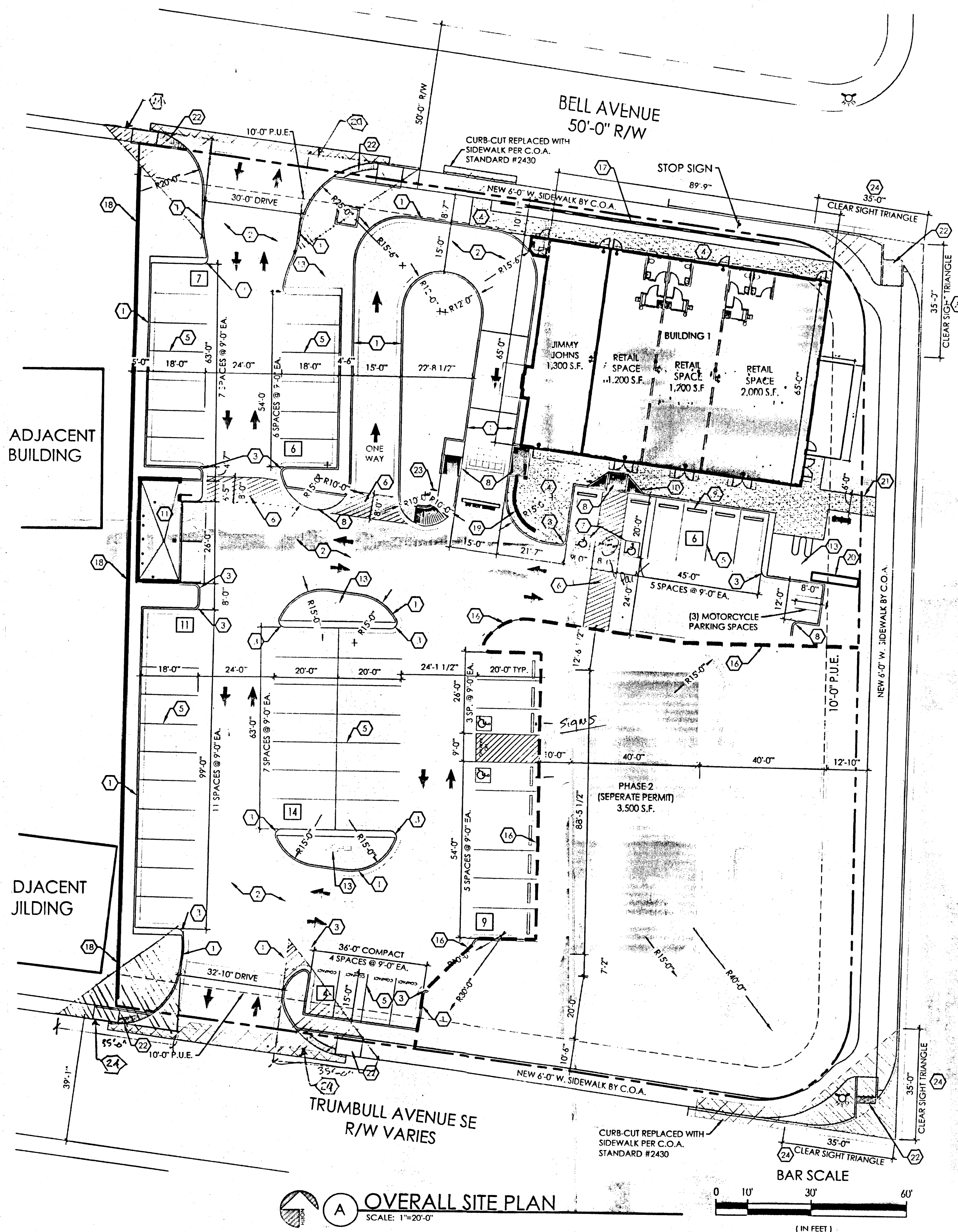
OWNER
DOUG ADAMS
GLAD LLC
P.O. BOX 1111
CEDAR CREST, NM 87008

ARCHITECT
RBA Architecture
110 4 Park Ave. SW
Albuquerque, NM 87102
505-242-1859

ELECTRICAL
NORTHEDGE ELEC.
328 RANCHITOS NW
ALBUQUERQUE, NM 87114
(505) 898-7245

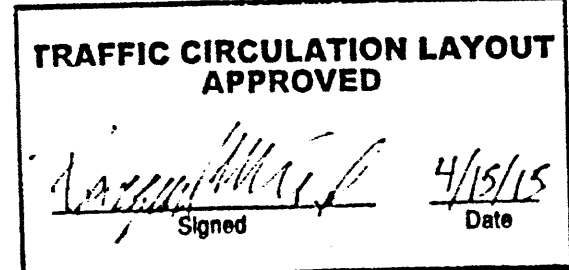
MECHANICAL
DSL ASSOCIATES
299 Garcia Rd. NW
Albuquerque, NM 87114
(505) 980-0238

CONTRACTOR
KIMCON INC.
405 DARTMOUTH SE
ALBUQUERQUE, NM 87106
(505) 620-4993



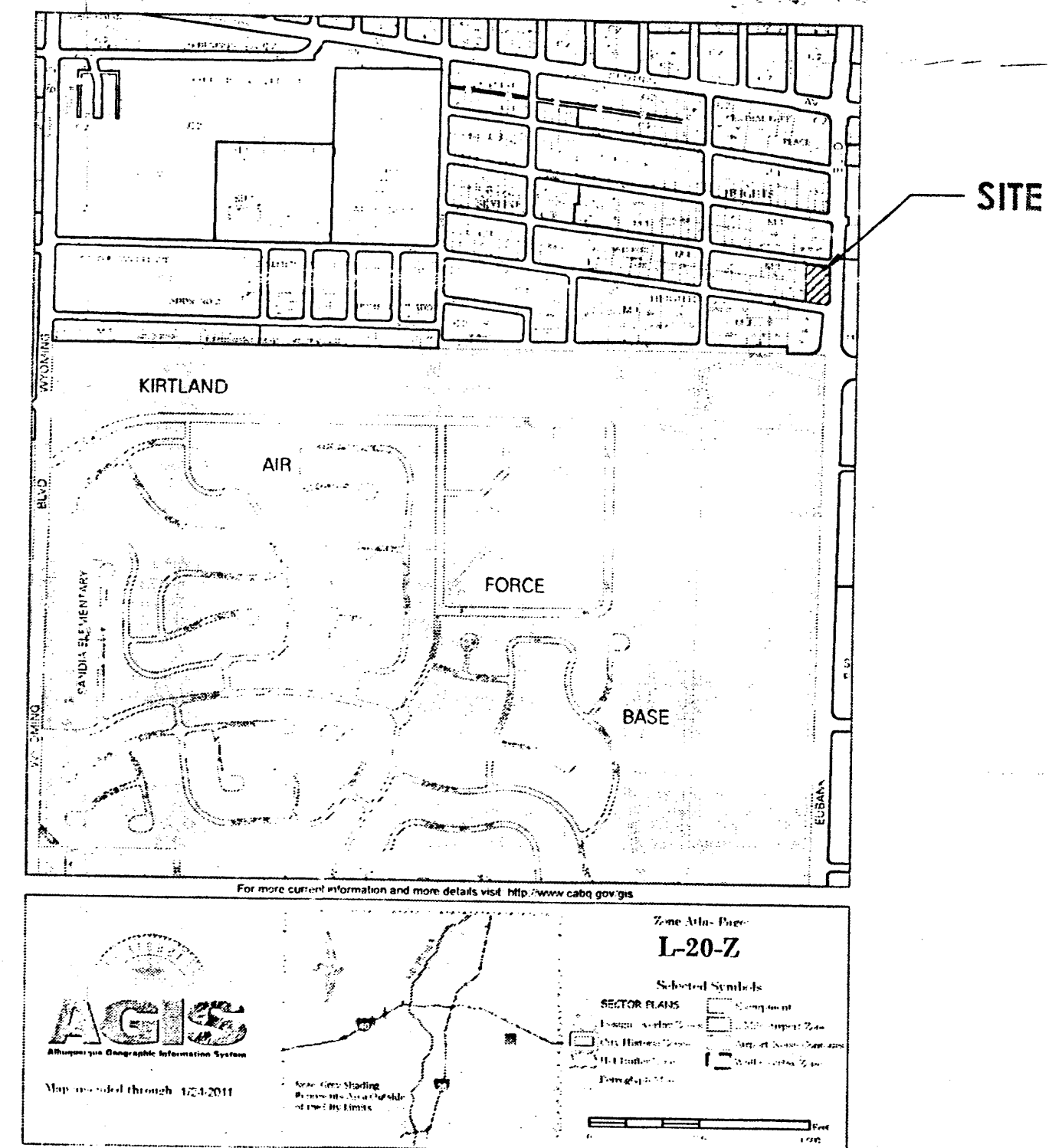
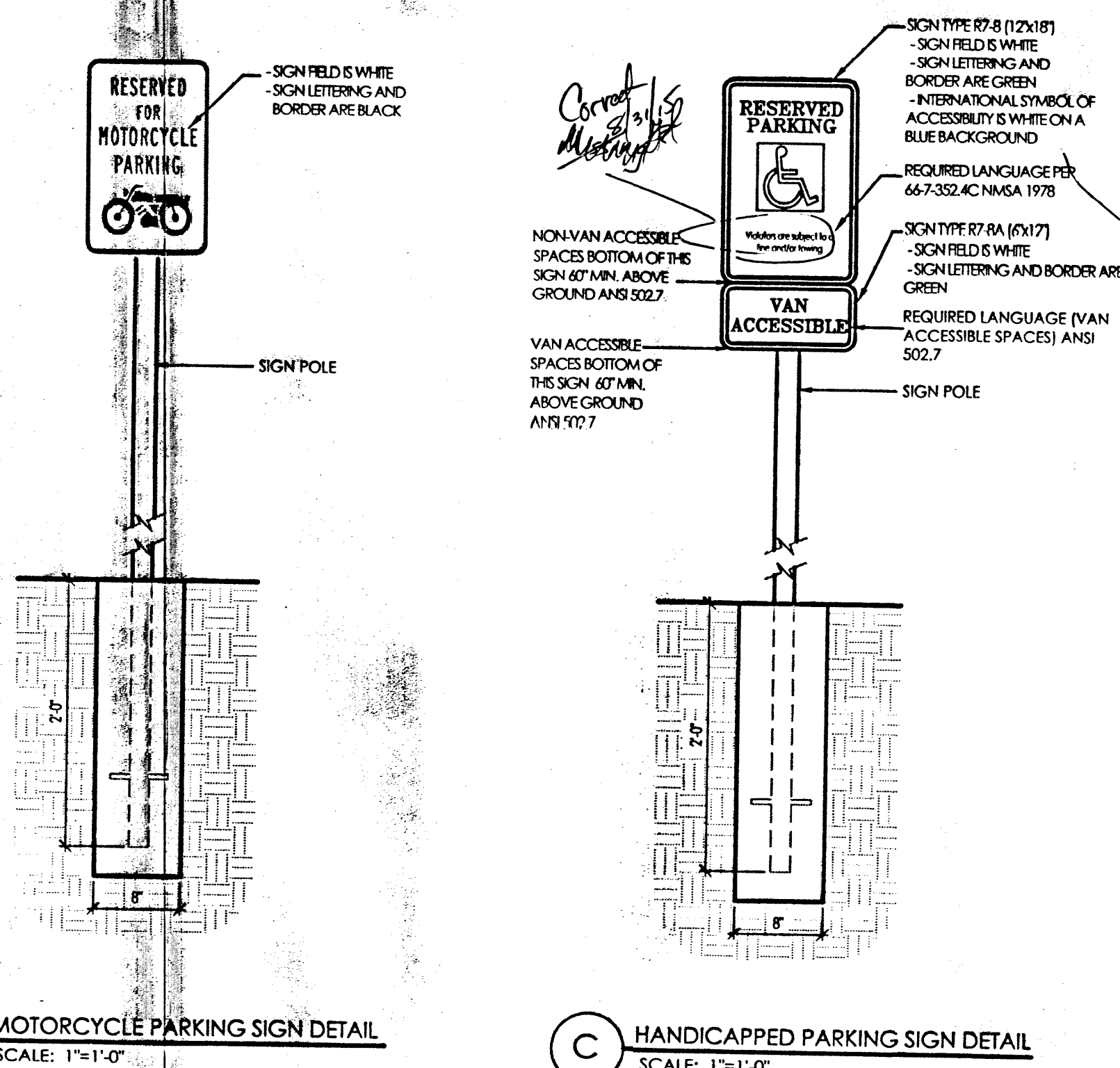
SOUTHWEST RENDERING

- ### KEYED NOTES
1. CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
 2. ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
 3. 2'-0" RADIUS.
 4. CONSTRUCT CONCRETE SIDEWALK.
 5. 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
 6. HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
 7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
 8. CONSTRUCT HANDICAP ACCESSIBLE CURB RAMP, REF: DETAIL 07/C-2
 9. INSTALL CONCRETE WHEEL STOP.
 10. INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 1/C-1
 11. DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
 12. FIRE HYDRANT
 13. SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS.
 14. SIGNAGE, BY OWNER, INSTALLED BY OWNER.
 15. LINE OF PHASE 2 DEVELOPMENT
 16. C.M.U. RETAINING WALL, SEE DETAIL 27/C-1 (THIS SHEET)
 17. 6'-0" HIGH C.M.U. WALL, SEE DETAIL 1/C-1 (THIS SHEET)
 18. 3'-0" HIGH C.M.U. WALL, SEE DETAIL 1/C-1 (THIS SHEET)
 19. 12'-0" HIGH MONUMENT SIGN - SEE ATTACHED ELEVATIONS FROM ZEON SIGN
 20. 6'-0" WIDE A.D.A. ACCESSIBLE PEDESTRIAN PATHWAY, SEE DETAIL 1/C-2, PER D.P.M.
 21. NEW A.D.A. ACCESSIBLE RAMP BY C.O.A. - REFER TO WORK ORDER #638282
 22. "DO NOT ENTER" SIGN PER C.O.A. STANDARDS
 23. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA, PER DPM CHAPTER 23.



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.



INDEX OF DRAWINGS

C-1.0	SITE PLAN, INDEX, COVER	M-0	GENERAL NOTES
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CG-10.1	GRADING & DRAINAGE PLAN	M-2	PLUMBING PLAN
CG-50.1	GRADING DETAILS	M-3	ISOMETRIC PLAN
CU-10.1	UTILITY PLAN	M-4	ROOF & GAS PLAN
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A-3.0	EXTERIOR ELEVATIONS	M-7	SPECIFICATIONS
A-4.0	R.M. FINISH, DR. & WIN. SCHEDULES	E-1	1 LINE DIAGRAM
A-5.0	DETAILS	E-2	PANEL SCHEDULES
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A-7.0	ROOF DETAILS	E-4	SITE PLAN
A-8.0	BUILDING SECTIONS		
A-9.0	WALL SECTIONS		
A-10.0	WALL SECTIONS		
S-1.0	FOUNDATION PLAN		
S-1.2	FOUNDATION DETAILS		
S-2.0	FOUNDATION DETAILS		

GENERAL NOTES

1. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
3. PREMIS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x 5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
4. PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C. SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
5. FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT, G.C. TO PROVIDE KEY BOX, KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION, THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
6. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT:	= 32' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS:	NORTH = 5' PER COA 14-16-2-15(E) EAST = 35' PER COORS CORRIDOR PLAN WEST = 5' PER COA 14-16-2-15(E)

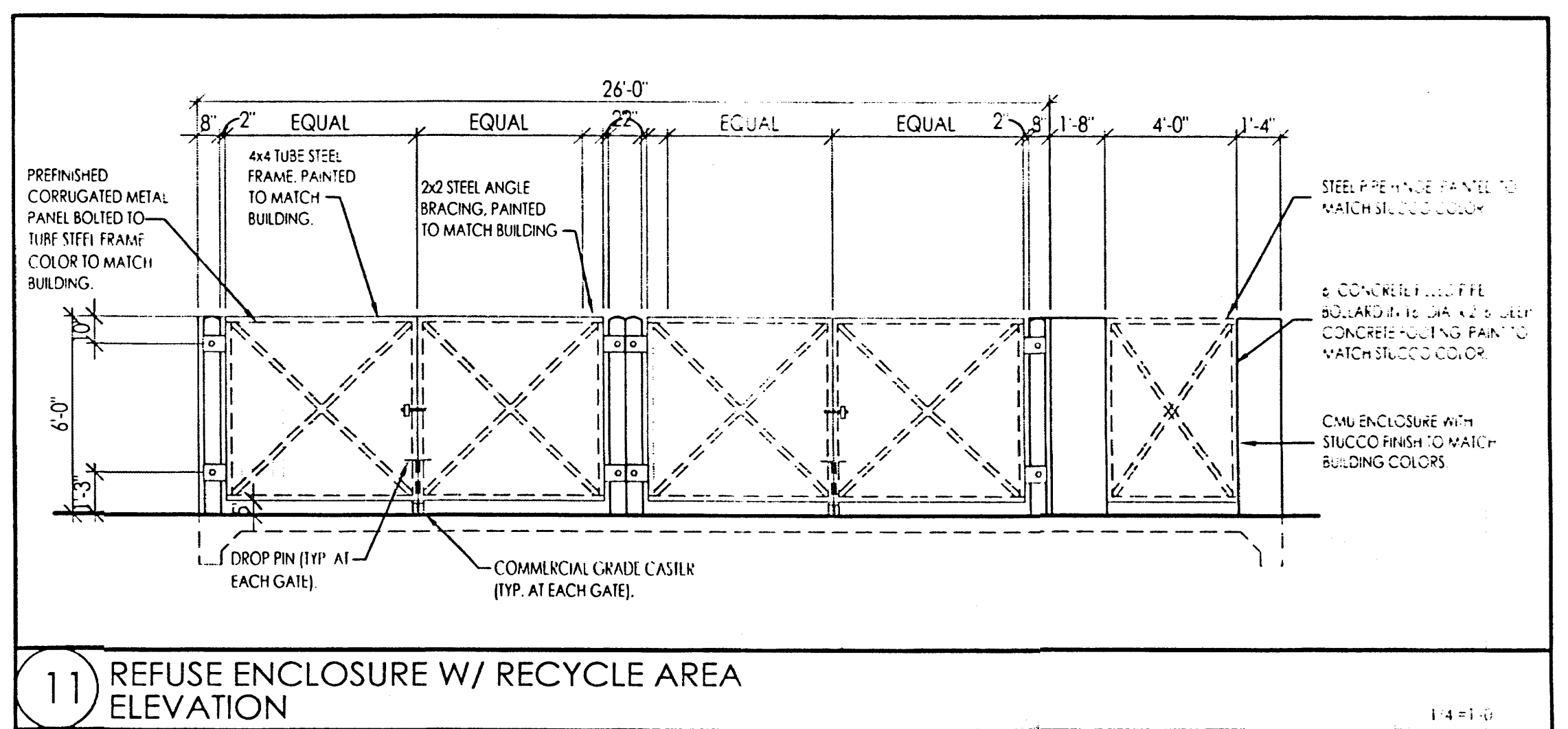
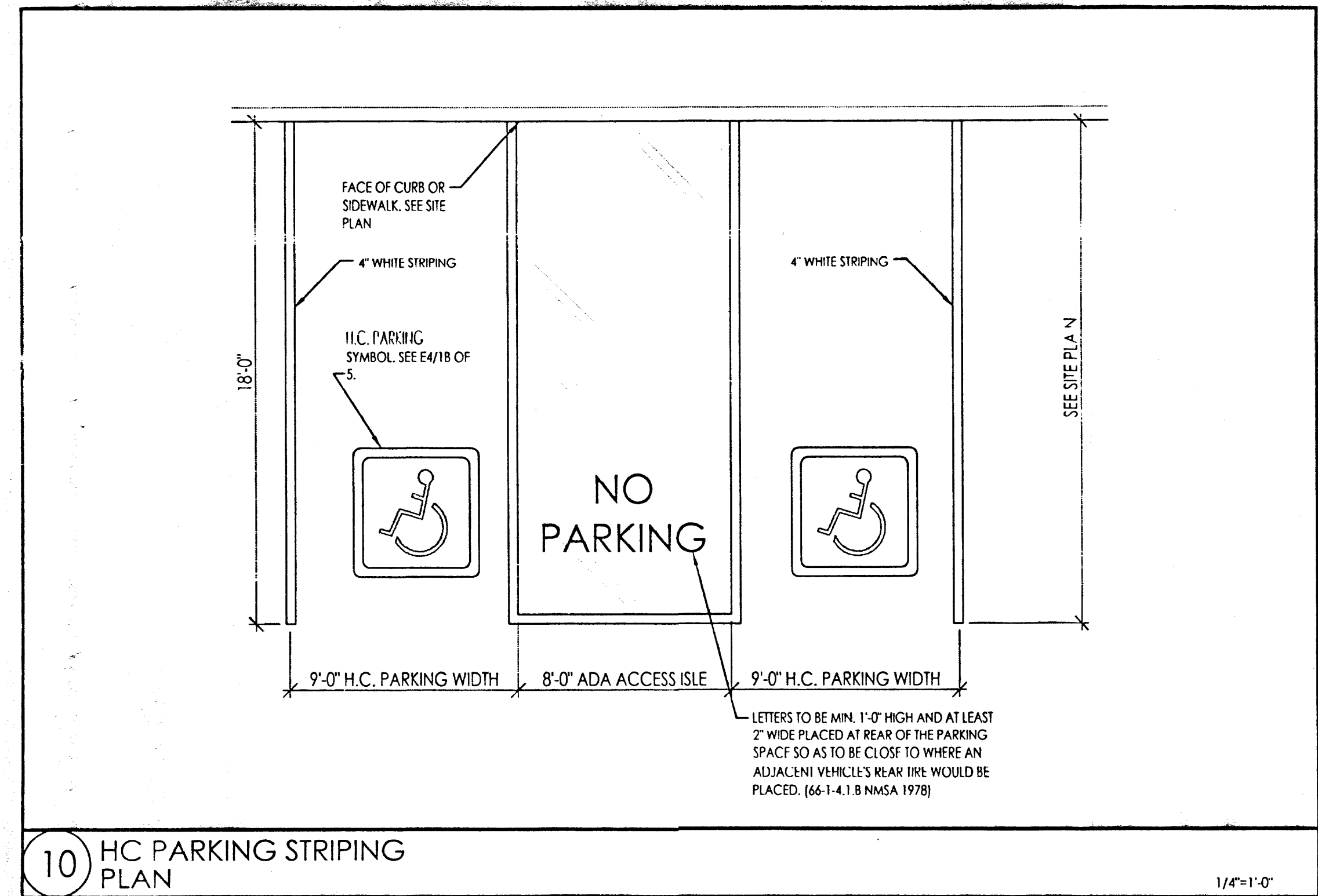
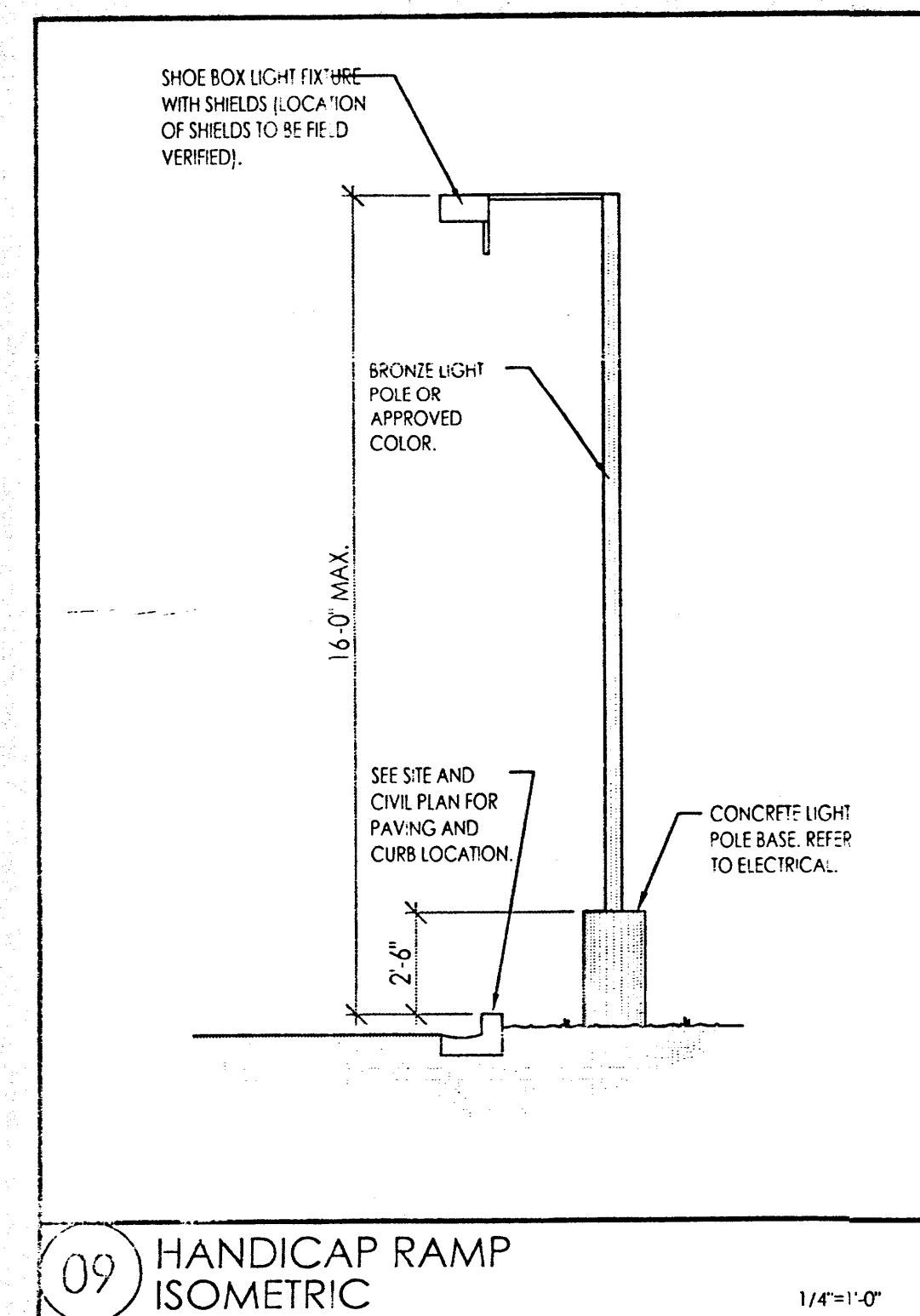
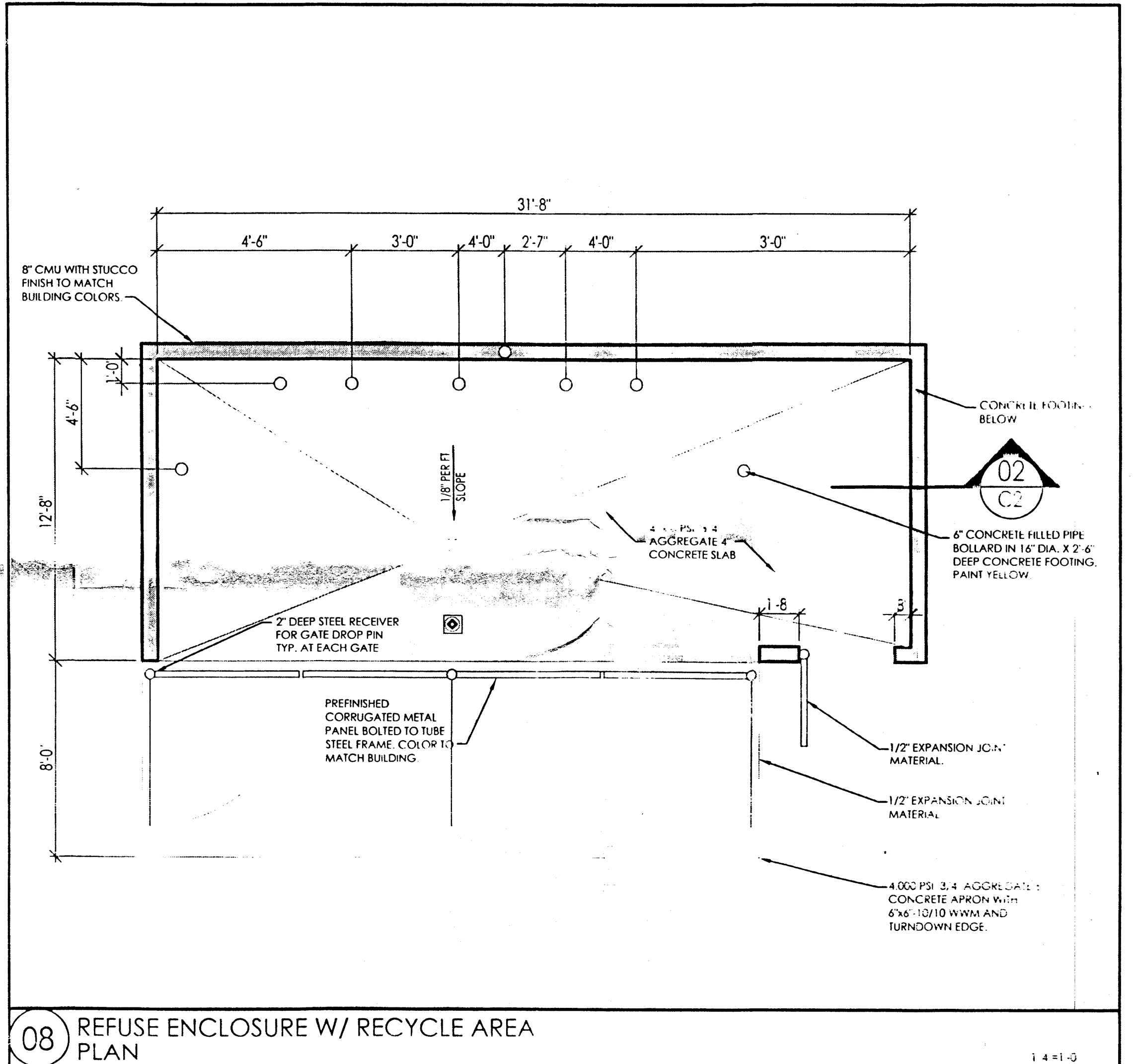
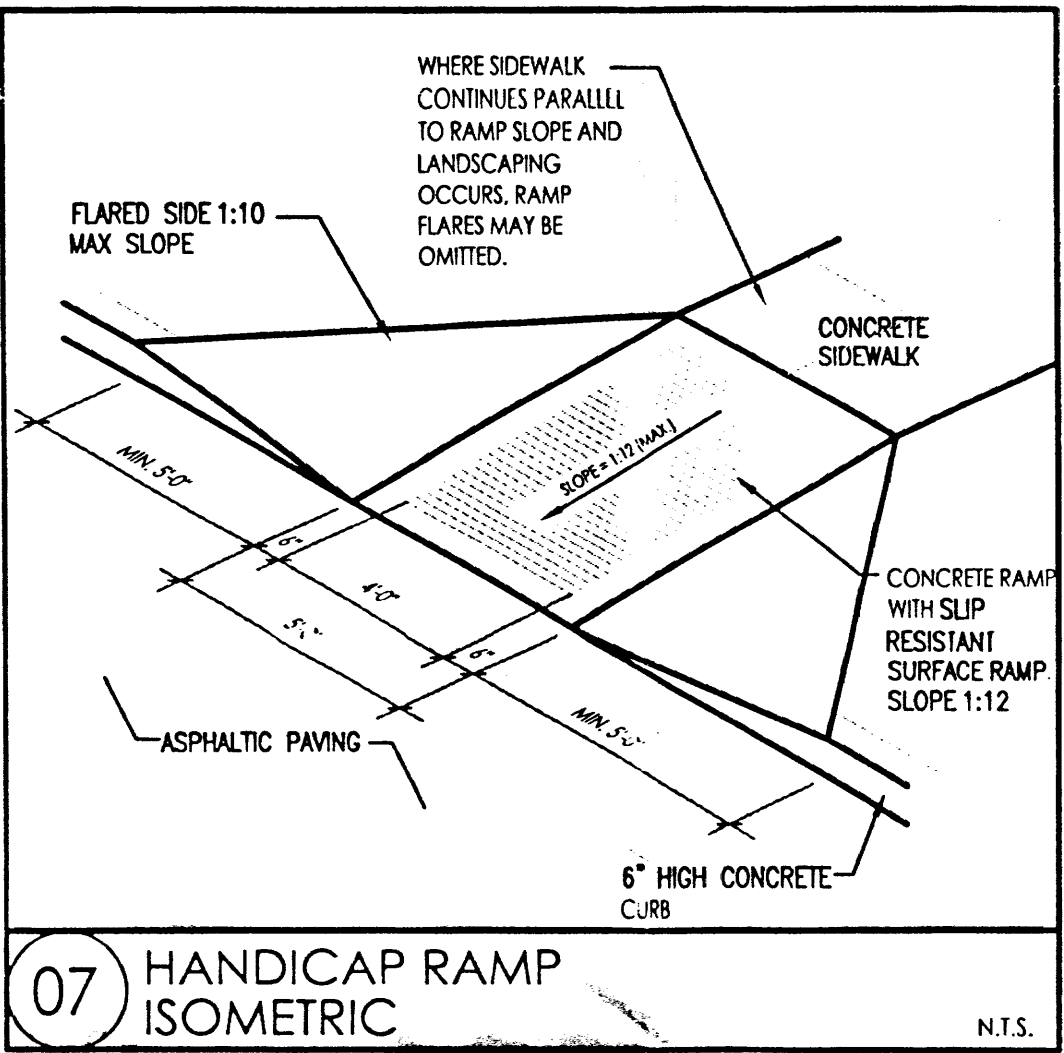
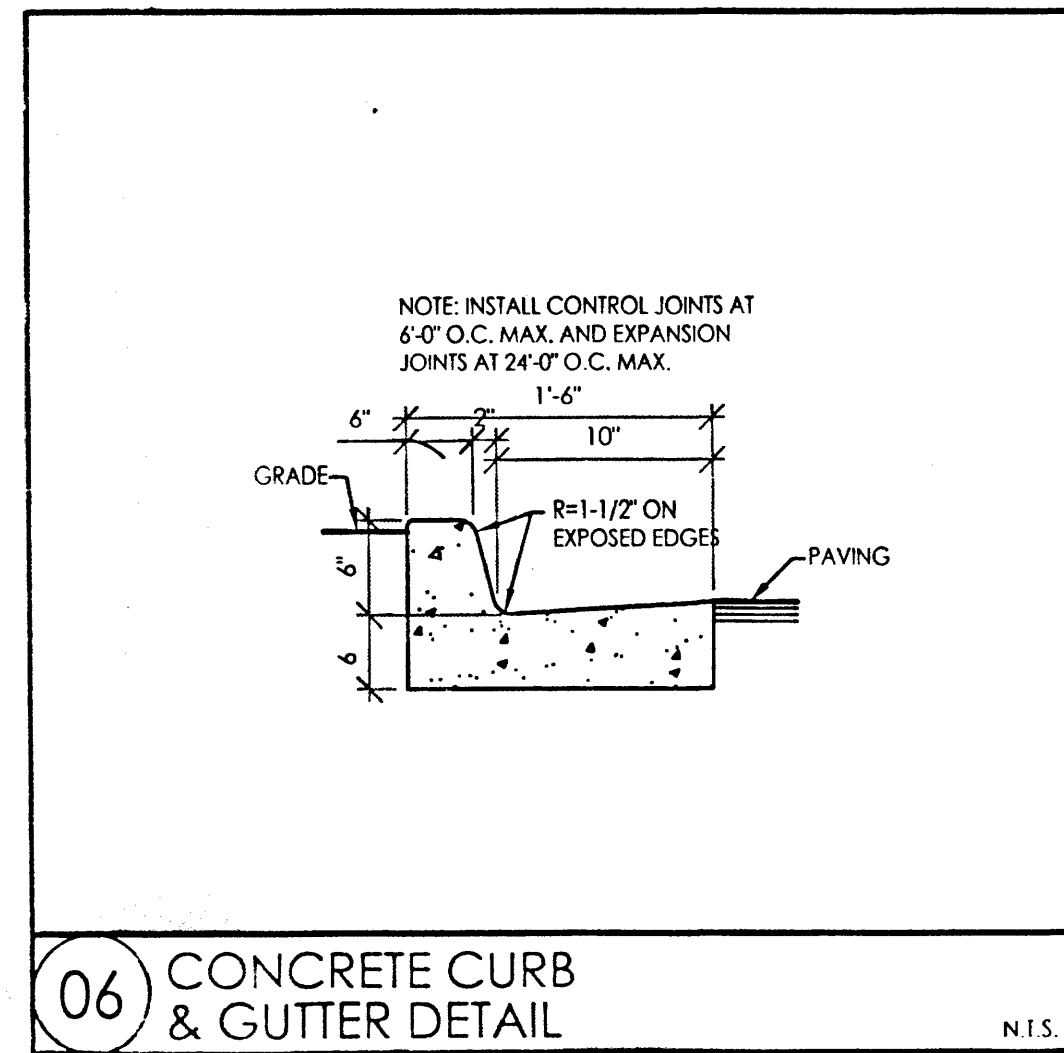
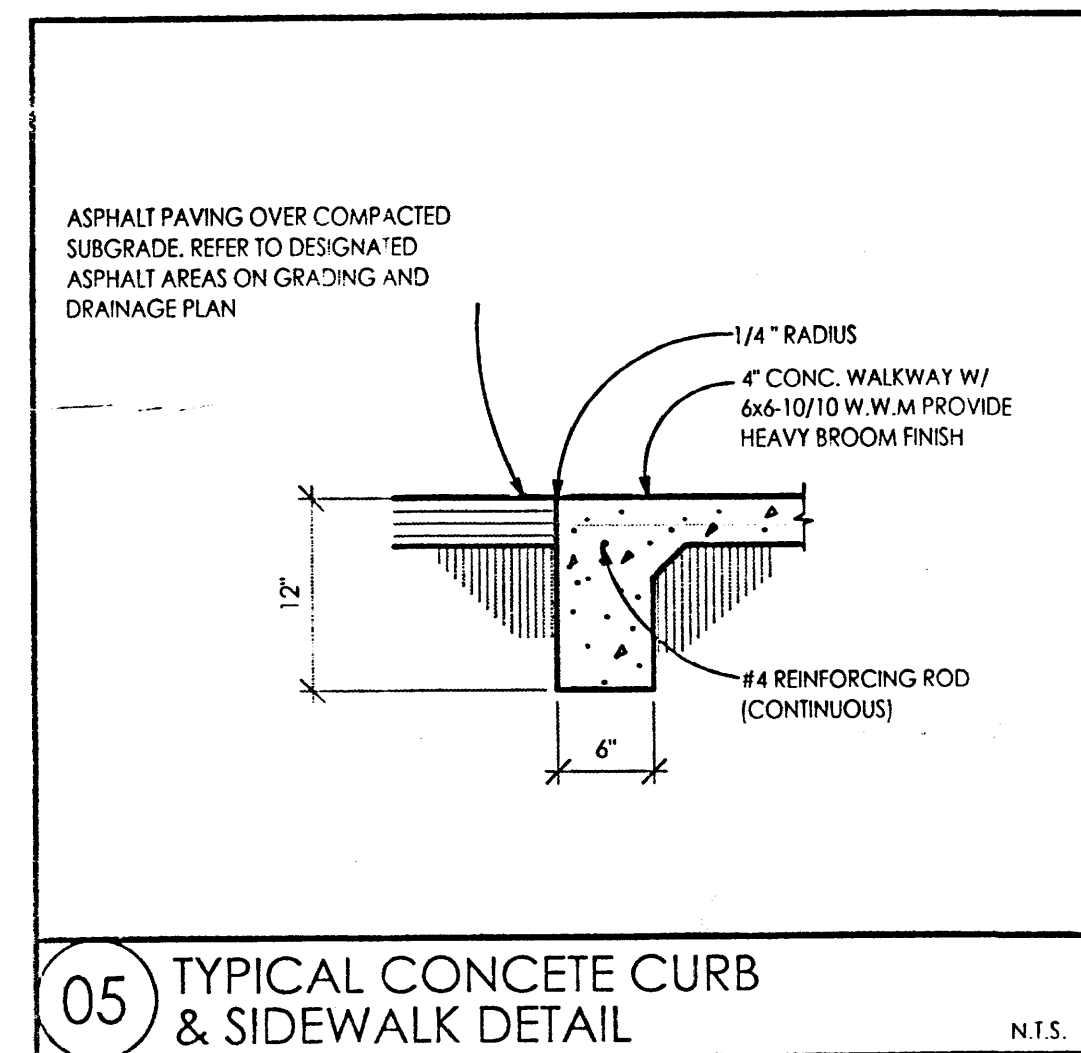
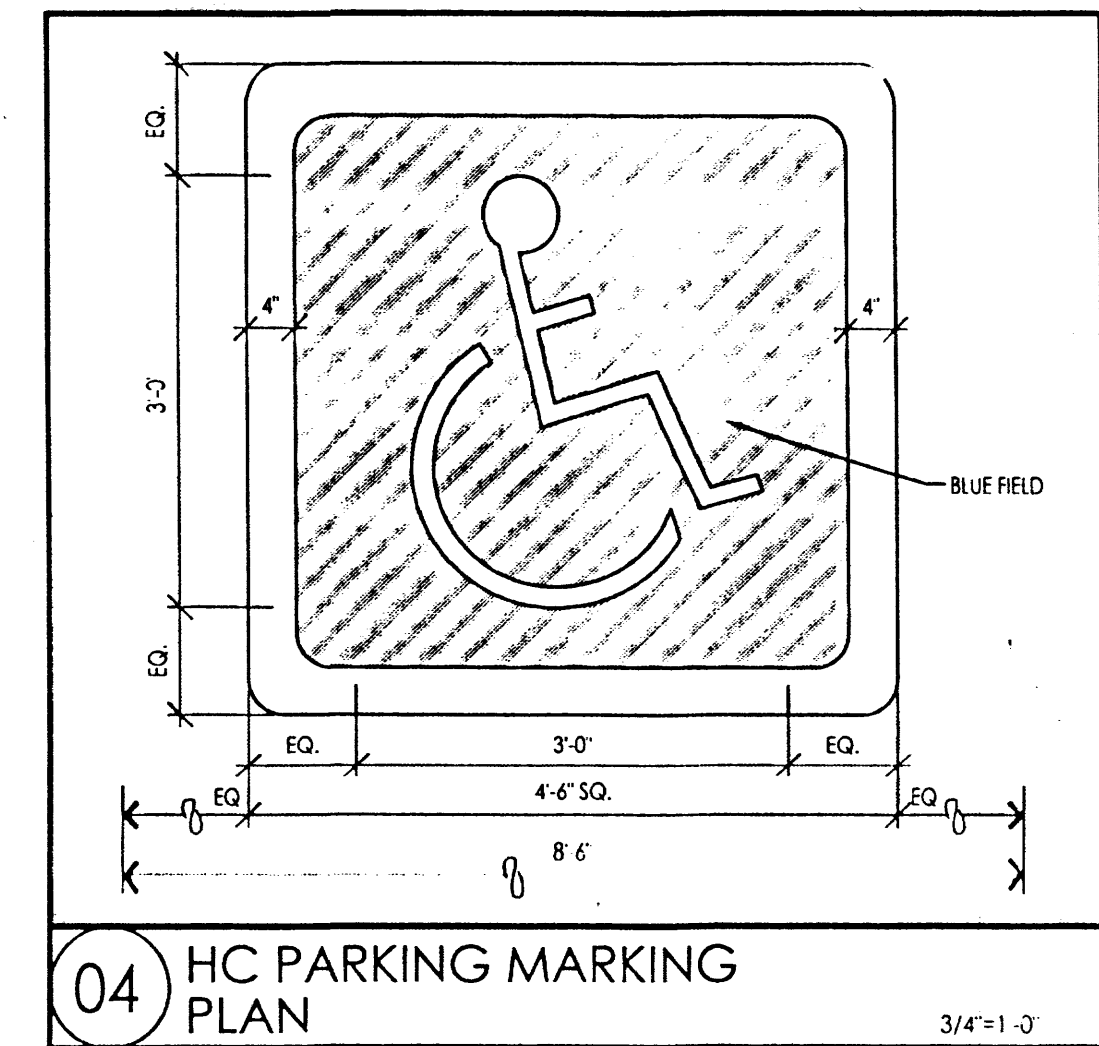
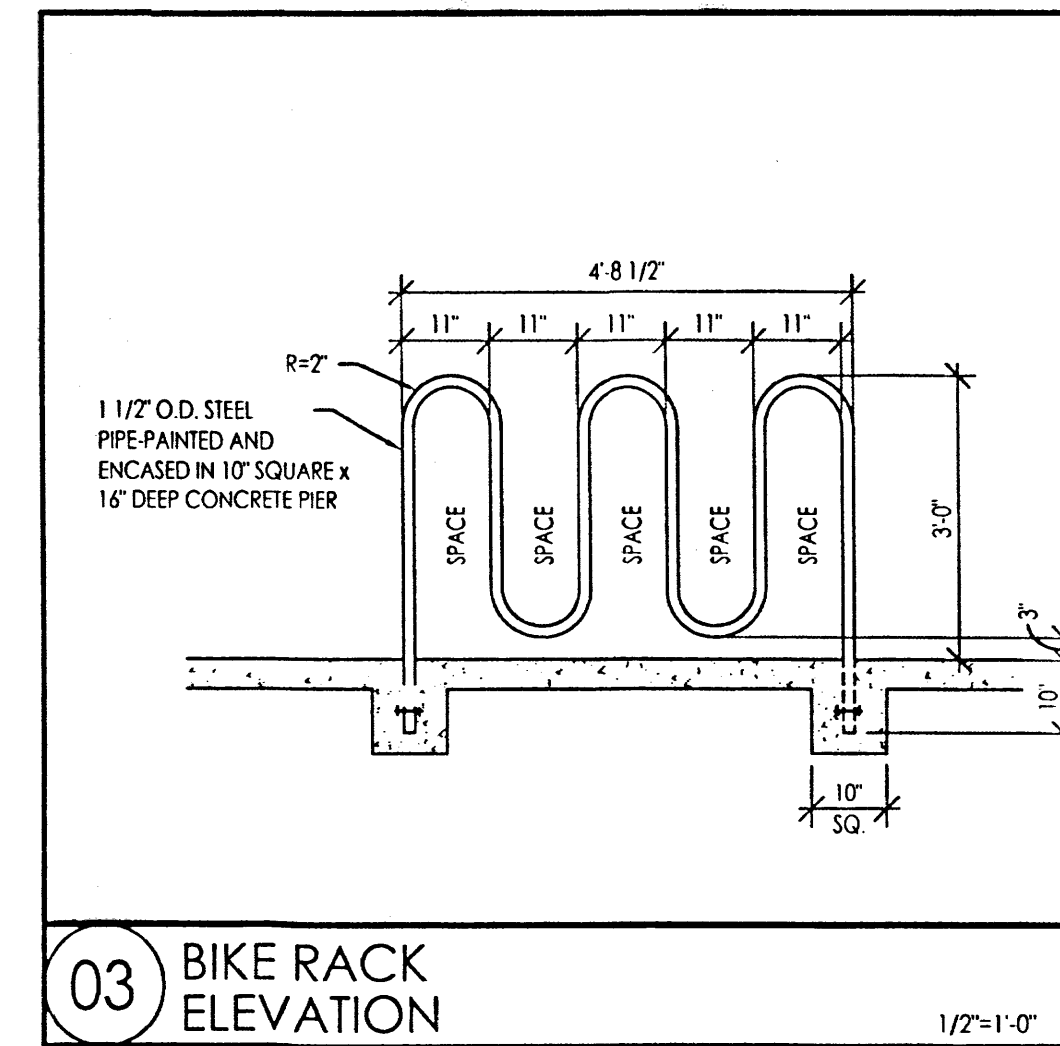
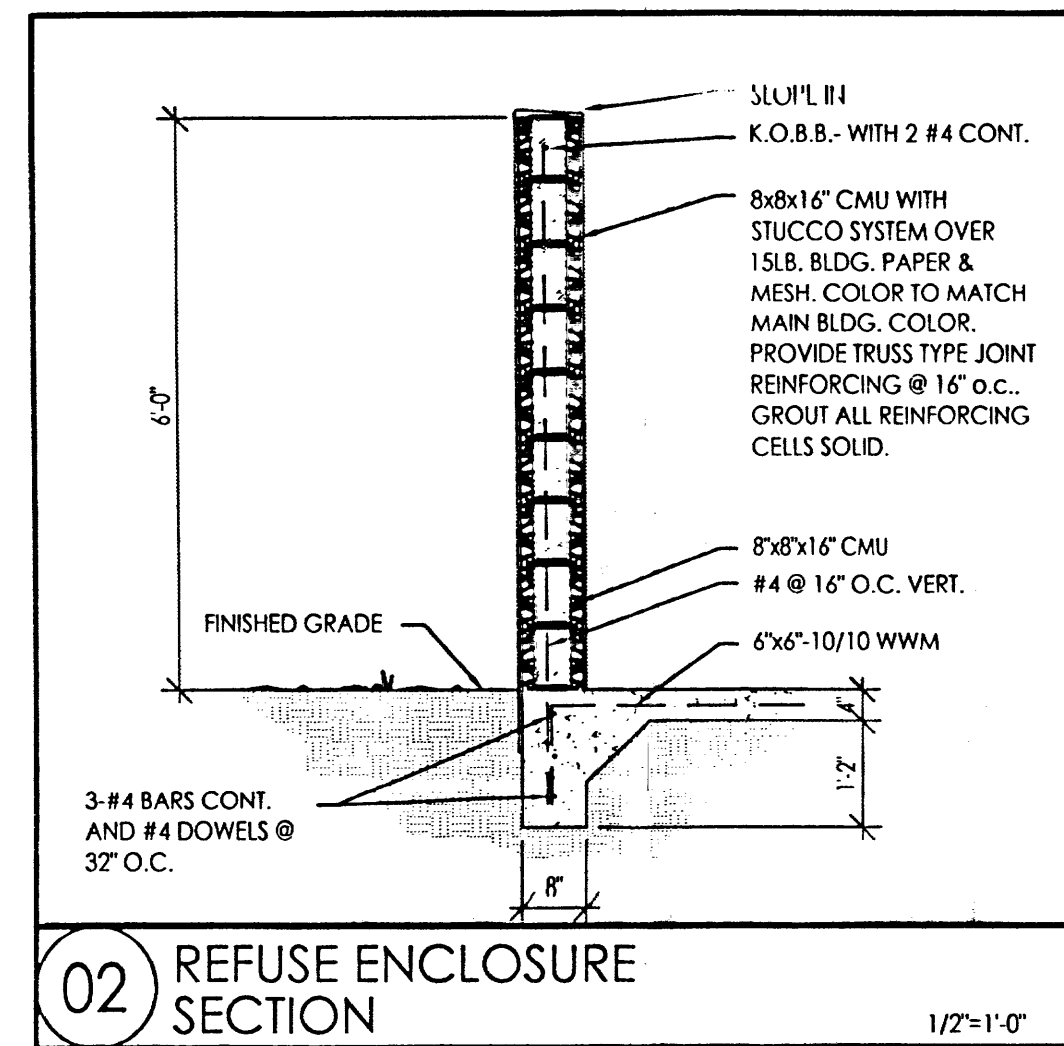
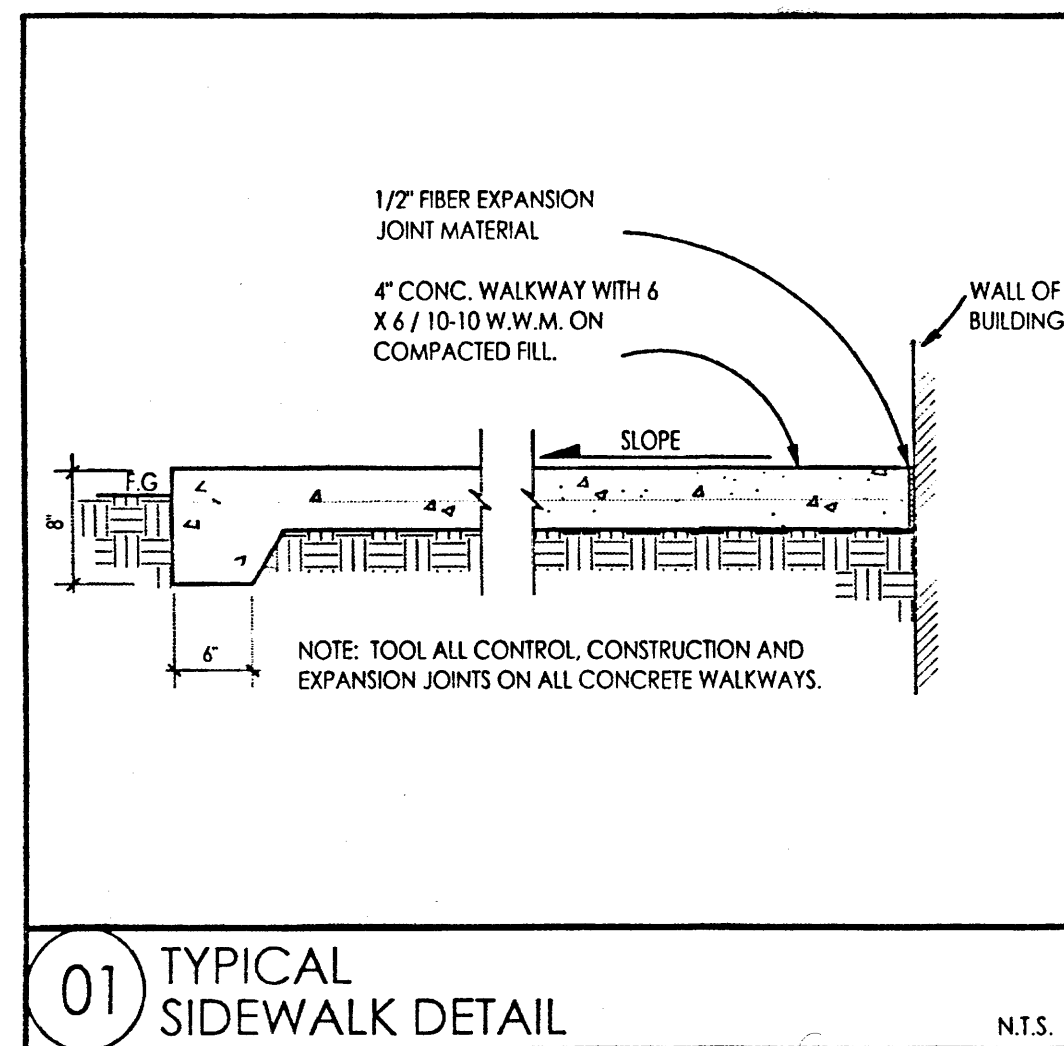
SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE AND THE C-1 COMMERCIAL ZONE. ANY SIGN WITH MOVING LUMENS OR FLASHING LIGHTS, INCLUDING ELECTRONIC SIGNS ARE NOT PERMITTED. SHADOWS AND INTERNAL IMAGES THAT MEET THE DEFINITION OF A SIGN ARE NOT PERMITTED. FUTURE TENANT SIGNAGE IS LIMITED TO A MAXIMUM OF 8 ADDITIONAL WORDS OR ITEMS OF INFORMATION, PER STREET FRONTAGE.

PARKING CALCULATIONS

PARKING REQUIRED:	PROVIDED:
PER C.O.A. ZONING 14-16-3-1(27) (RETAIL) 10,010 SF (GROSS) FIRST FLOOR/200	= 50 SPACES
TOTAL PARKING REQUIRED:	= 50 SPACES
PARKING REDUCTIONS:	
PER C.O.A. 14-16-3-1(E)6a TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.	
PARKING REQUIRED AFTER TRANSIT REDUCTIONS (AT 10%)	= 45 SPACES
PER C.O.A. ZONING 14-16-3-1(c)1 MOTORCYCLE PARKING REQUIRED	= 2 SPACES
PER C.O.A. ZONING 14-16-3-1(f)9a HANDICAP PARKING REQUIRED	= 3 (1 VAN) 4 (2 VAN)
PER C.O.A. ZONING 14-16-3-1(b)3 BICYCLE SPACES 1 PER 20 VEHICLES REQUIRED	= 3 SPACES
	8 + SPACES

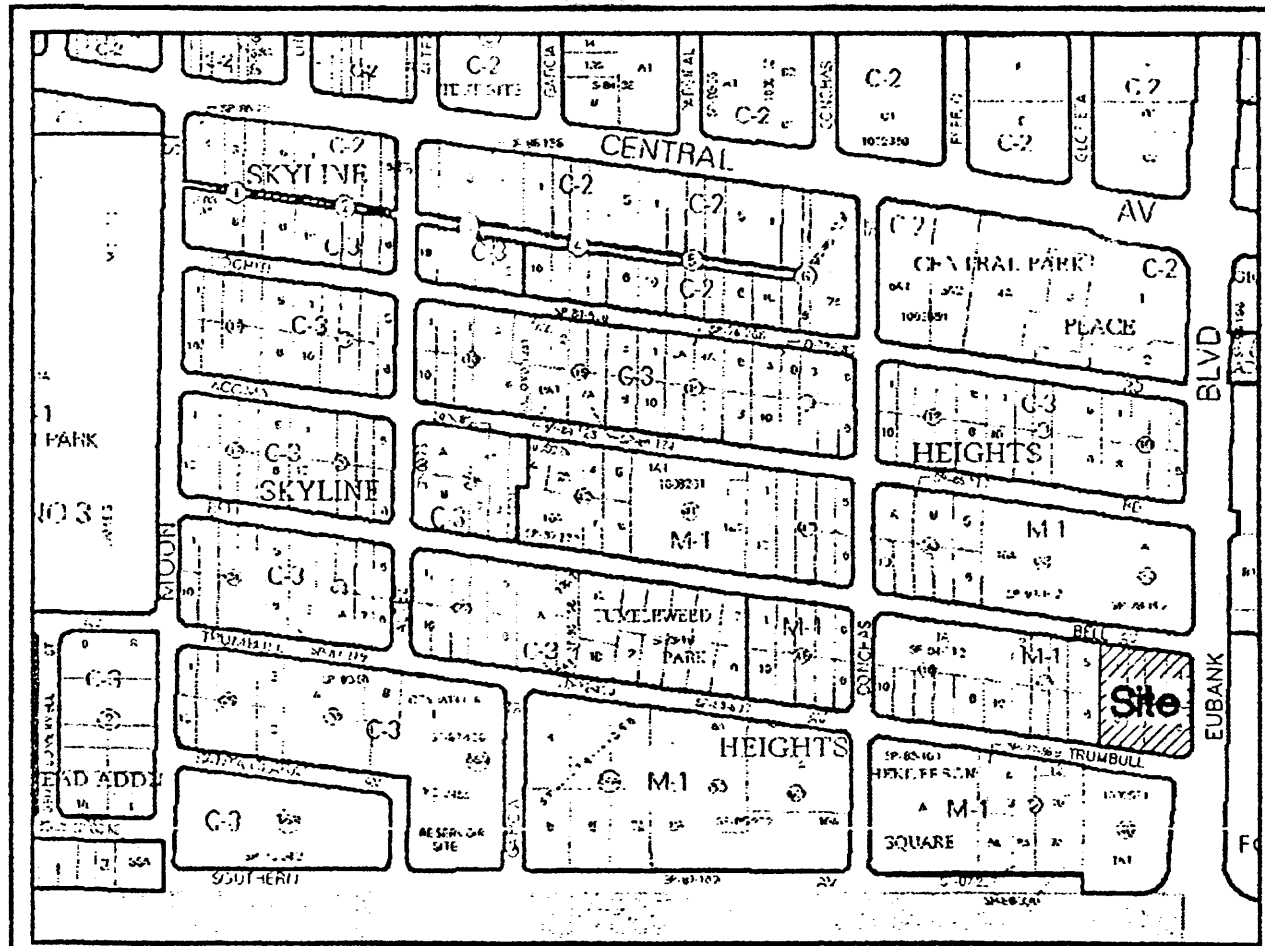
INNOVA PLAZA - SITE DEVELOPMENT
OVERALL SITE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT # 1459

REVISION DATE
1. RBA ARCHITECTURE 110 4 Park Ave. SW Albuquerque, NM 87102 505-242-1859 RBA ARCHITECTURE 110 4 Park Ave. SW Albuquerque, NM 87102 505-242-1859 RBA ARCHITECTURE 110 4 Park Ave. SW Albuquerque, NM 87102 505-242-1859
DATE 04-13-2015
SHEET NUMBER C-1.0



INNOVA PLAZA - SITE DEVELOPMENT
SITE DETAILS
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

REVISION DATE
DATE
04-13-2015
SHEET NUMBER
C-2.0



Vicinity Map Zone Atlas L-20-Z

Notes

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2013.
2. ALL DISTANCES ARE GROUND DISTANCES, U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES RECORD ROTATED TO NEW MEXICO STATE PLANE COORDINATES (NAD83-GRID).
4. LOT LINES BEING ELIMINATED BY PLAT ARE SHOWN AS THUS:

Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND GRANT ALL UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, IMPROVE, MAINTAIN FACILITIES THEREIN, AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL, POWER, AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED, SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

GLAD, LLC
DOUGLAS A. ADAMS, MANAGING MEMBER

6/20/14
DATE

Acknowledgment

STATE OF NEW MEXICO } SS

COUNTY OF }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 20th June 2014

BY: GLAD, LLC, DOUGLAS A. ADAMS, MANAGING MEMBER

Notary Public
MY COMMISSION EXPIRES 6-11-18

Indexing Information

Section 29, Township 10 North, Range 4 East, N.M.P.M.
Subdivision: Skyline Heights Subdivision
Owner: Doug Adams
UPC #: Lot 1: 102005651239810718
Lot 2: 102005651939710717
Lot 3: 102005652339610716
Lot 4: 102005653139510715
Lot 5: 102005653038210714
Lot 6: 102005652338310713
Lot 7: 102005651938410712
Lot 8: 102005651238510711

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENT AS SHOWN HEREON.
3. SHOW VACATED EASEMENTS.

Subdivision Data

GROSS ACRES: 1.4282 ACRES
ZONE ATLAS PAGE NO.: L-20-Z
NUMBER OF EXISTING LOTS: 8
NUMBER OF LOTS CREATED: 1
MILES OF FULL WIDTH STREETS: 0.00 MILES
MILES OF HALF WIDTH STREETS: 0.00 MILES
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 0.0000 ACRES
DATE OF SURVEY: SEPTEMBER 2013

Legal

ALL OF BLOCK FORTY-EIGHT (48) OF SKYLINE HEIGHTS SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF BLOCKS 37 TO 52, INCLUSIVE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 1, 1948, AND THE EASTERLY ONE-HALF OF GLORIETA STREET SE, LYING ADJACENT TO AND BEING APPURTENANT TO THE ABOVE DESCRIBED REAL ESTATE, VACATED BY COMMISSION ORDINANCE NO. 1231, ADOPTED JUNE 4, 1957, LESS AND EXCEPTING THEREFROM THAT PORTION DEEDED TO THE CITY OF ALBUQUERQUE BY THAT CERTAIN DOCUMENT RECORDED OCTOBER 2, 2013 AS DOCUMENT NUMBER 2013-109954, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT PROPERTY BEING DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF BELL AVENUE SE, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271", WHENCE A TIE TO ACS MONUMENT "4-L22" WHICH BEARS S 89°54'41" E, A DISTANCE OF 7808.29 FEET;

THENCE, FROM THE POINT OF BEGINNING, 40.50 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 28.00, A DELTA OF 82°52'51", A CHORD OF S 40°52'59" E, A DISTANCE OF 37.06 FEET, BEING A POINT ON THE WESTERLY RIGHT OF WAY OF EUBANK BOULEVARD SE, BEING MARKED BY BATHY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID WESTERLY RIGHT OF WAY OF EUBANK BOULEVARD SE, S 00°33'26" W, A DISTANCE OF 227.45 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271";

THENCE, 27.13 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 12.00, A DELTA OF 97°08'22", A CHORD OF S 49°07'37" W, A DISTANCE OF 23.99 FEET, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF TRUMBULL AVENUE SE, BEING MARKED WITH A BATHY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING WITH THE SAID NORTHERLY RIGHT OF WAY OF TRUMBULL AVENUE SE, N 82°18'12" W, A DISTANCE OF 215.56 FEET, BEING MARKED WITH A 1/2 INCH REBAR WITH CAP "LS 6126";

THENCE, LEAVING SAID NORTHERLY RIGHT OF WAY OF TRUMBULL SE, N 00°57'43" E, A DISTANCE OF 269.99 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF BELL AVENUE SE, BEING MARKED BY A 1/2 INCH REBAR;

THENCE, S 82°19'25" E, A DISTANCE OF 207.04 FEET, TO THE POINT OF BEGINNING, CONTAINING 1.4282 ACRES (62,211 SQ. FT.) MORE OR LESS.

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Plat for Lot 1-A, Block 48 Skyline Heights Subdivision

Being Comprised of
Lots 1-3, 6-8 and Portions of Lots 4 & 5, Block 48
and the E'ly 1/2 of Vacated Glorieta Street SE
Section 29, Township 10 North, Range 4 East
New Mexico Principal Meridian
City of Albuquerque
Bernalillo County, New Mexico
June 2014

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1009920

Application Number 14-70223

Plat approvals:

Plat approvals:
Fernando Vigil 7-16-14
Date
PMM Electric Services
7-2-14
Date
New Mexico Gas Company
7-16-14
Date
Qwest Connection d/b/a CenturyLink, LLC
7-3-14
Date

City approvals:

City approvals:
David P. Austin 6-23-14
Date
City Surveyor
8-26-14
Date
Traffic Engineer
Allen P. Peto 08-20-14
Date
ABCWA
8-20-14
Date
Parks and Recreation Department
8-20-14
Date
AMAFCA
8-20-14
Date
City Engineer
8-20-14
Date
DRB/Chairperson, Planning Department
8-20-14
Date

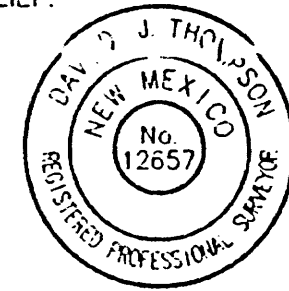
Surveyor's Certificate

I, DAVID J. THOMPSON, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

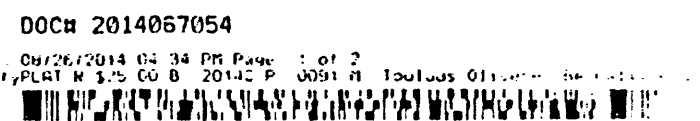
DAVID J. THOMPSON
N.M.P.S. No. 12657

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



Sheet 1 of 2



Plat for Lot 1-A, Block 48 Skyline Heights Subdivision

Being Comprised of
Lots 1-3, 6-8 and Portions of Lots 4 & 5, Block 48
and the E'ly 1/2 of Vacated Glorieta Street SE
Section 29, Township 10 North, Range 4 East
New Mexico Principal Meridian
City of Albuquerque
Bernalillo County, New Mexico
June 2014

ACS Monument " 4 L22 "
NAD 1983 CENTRAL ZONE
X=1563610.492
Y=1480509.445
Z=5586.425 (NAVD 1988)
G-G=0.999643379
Mapping Angle=-0°08'50.94"

Easement Notes

- EXISTING 10' UTILITY EASEMENT (12/01/1948, BK. C. PG. 124) SHOWN HEREON AS THUS TO BE VACATED WITH THE FILING OF THIS PLAT (13DRB-70789)
- EXISTING 14' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (2/18/1970, BK. MISC. 165, PG. 71)
- EXISTING 7' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (12/11/1997, BK. 9734 PG. 7820, D.O.C. NO. 97130569)
- 10' PUBLIC UTILITY EASEMENT GRANTED BY THE FILING OF THIS PLAT
- PUBLIC SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THE FILING OF THIS PLAT

Public Utility Easements:

Public utility easements shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation. (PNM electric) for installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corp. d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

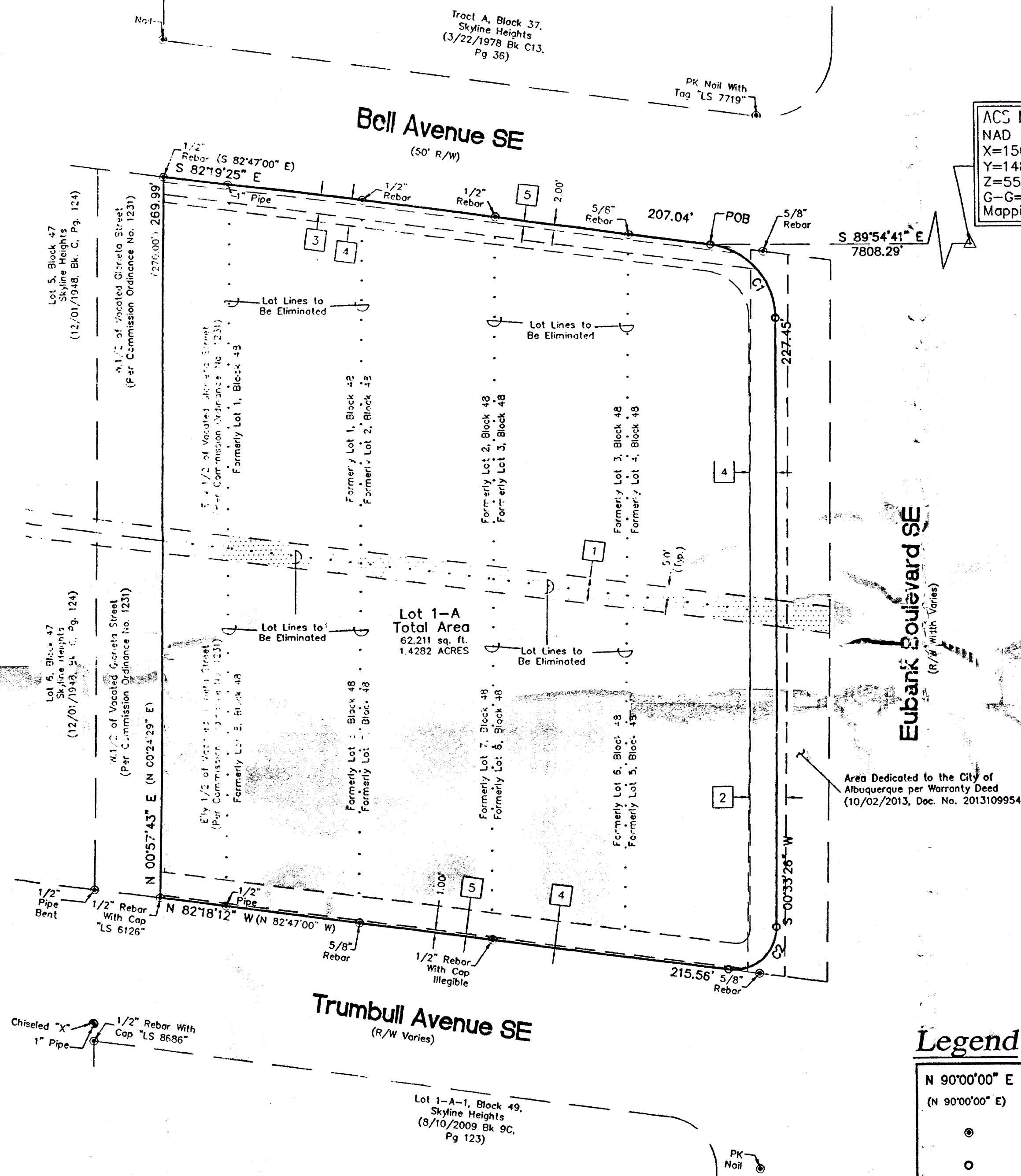
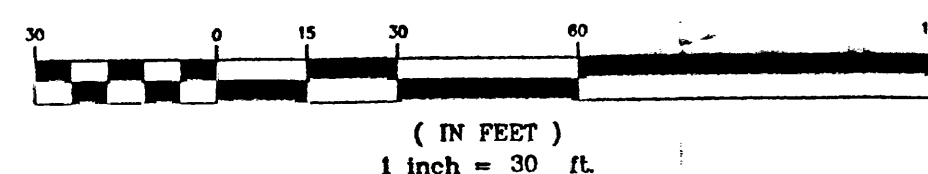
Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest D/B/A Centurylink QC did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and Qwest D/B/A Centurylink QC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Legend

N 90°00'00" E	MEASURED BEARING AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT OF RECORD (C-124)
●	MONUMENT MARKED AS INDICATED
○	SET BATHEY MARKER "LS 14271"

GRAPHIC SCALE



CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	40.50'	28.00'	82°52'51"	37.06'	S 40°52'59" E
C2	27.13'	16.00'	97°08'22"	23.99'	S 49°07'37" W

CARTESIAN SURVEYS INC.

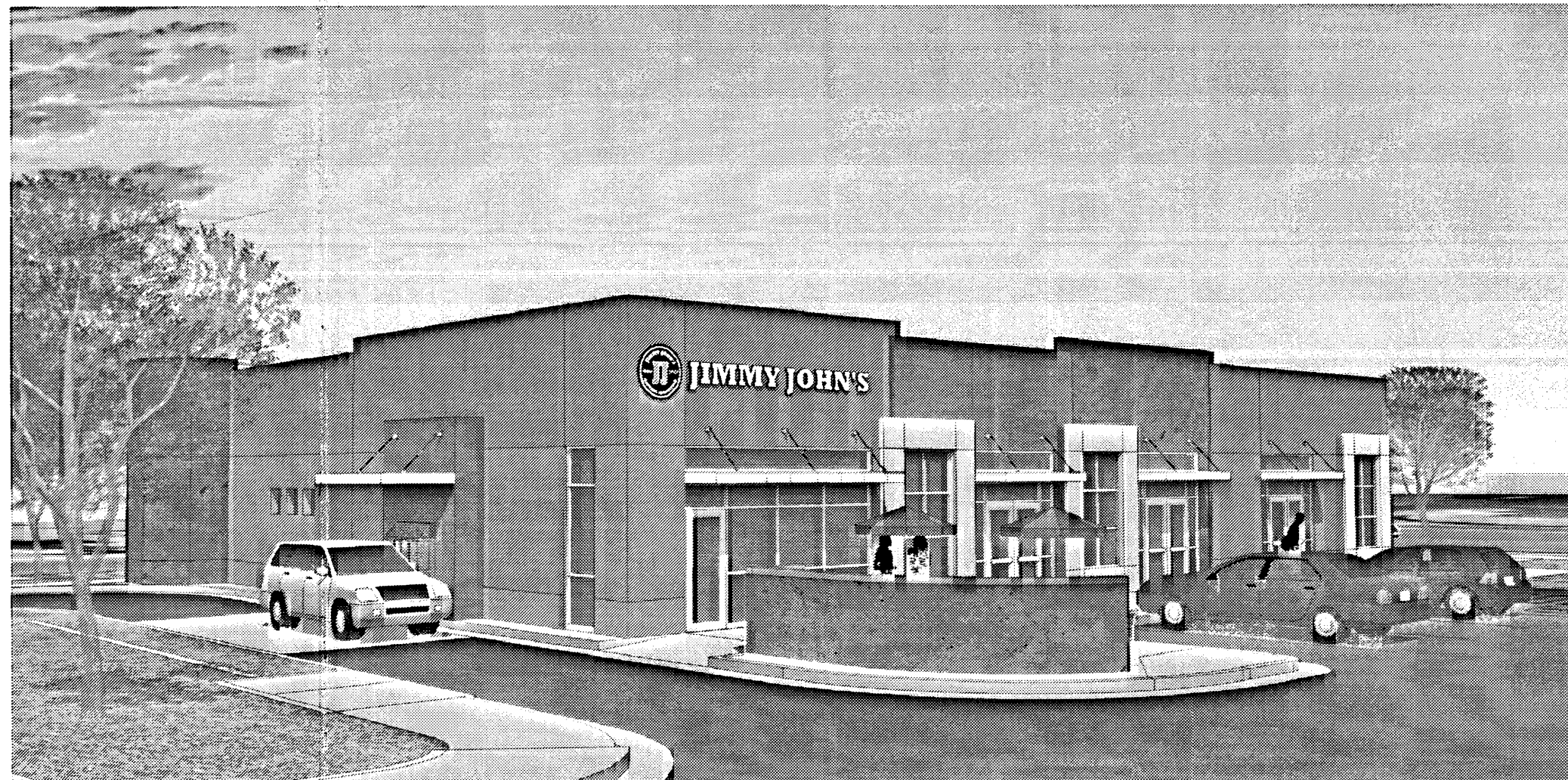
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

DCH 2014067054

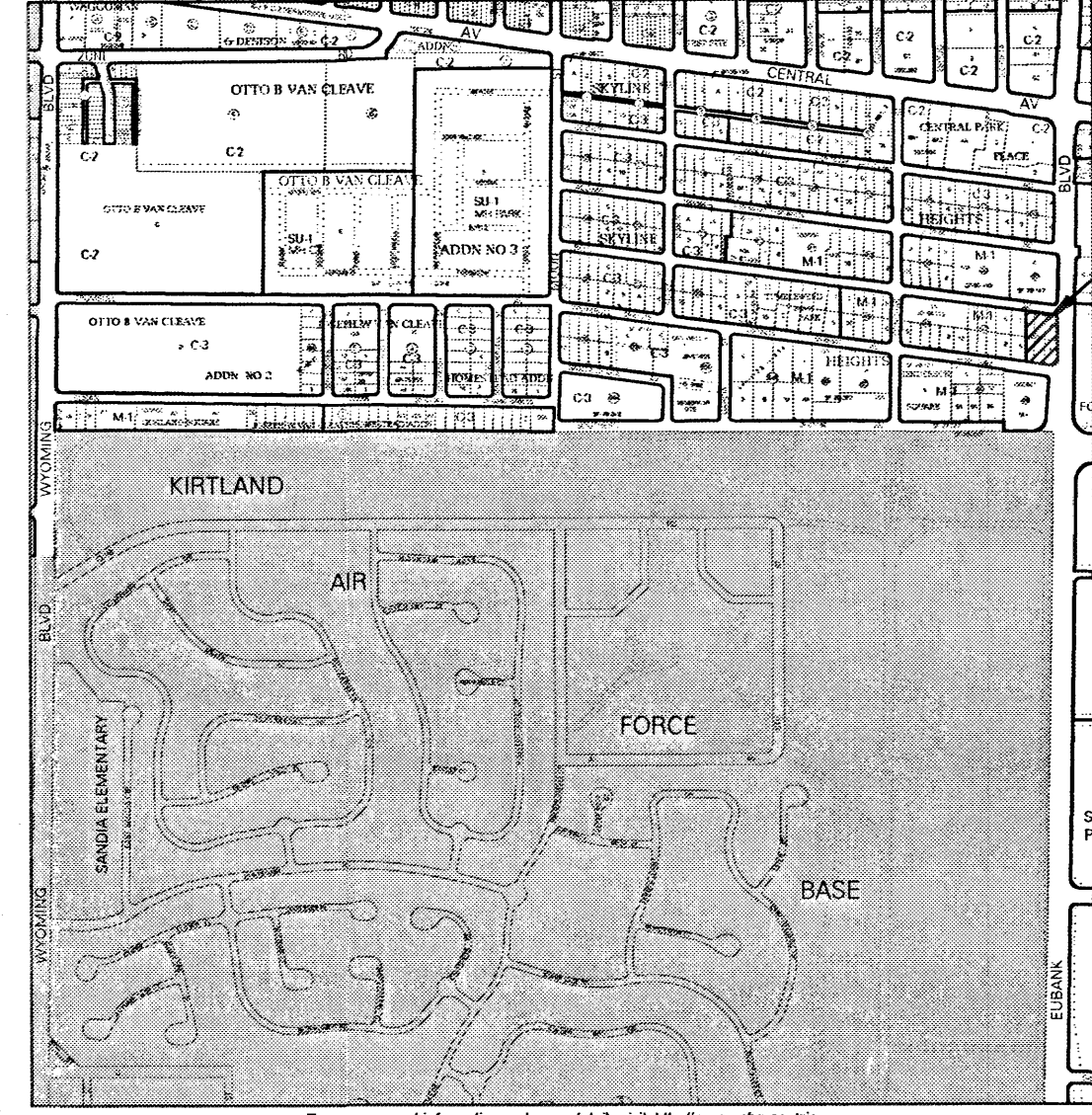
INNOVA PLAZA

PROJECT TEAM

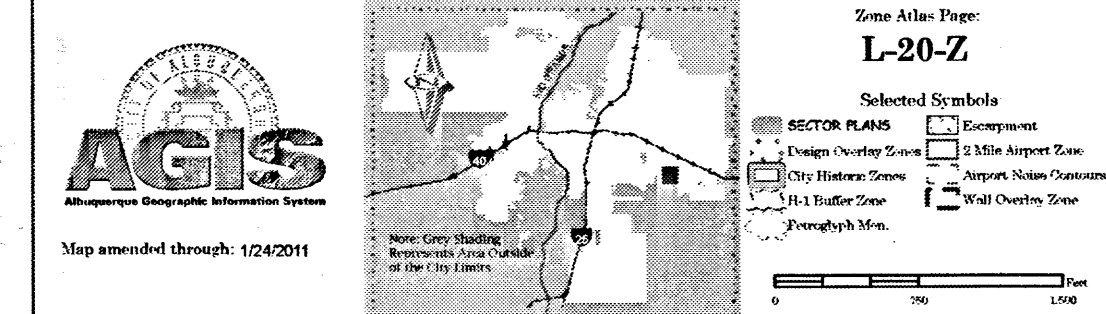
OWNER DOUG ADAMS GLAD LLC P.O. BOX 1111 CEDAR CREST, NM 87008	ARCHITECT RBA Architecture 110 4 Park Ave. SW Albuquerque, NM 87102 505-242-1859	ELECTRICAL NORTHBRIDGE ELEC. 328 RANCHITOS NW ALBUQUERQUE, NM 87114 (505) 898-7245	MECHANICAL DSL ASSOCIATES 299 Garcia Rd. NW Albuquerque, NM 87114 (505) 980-0238	CONTRACTOR KIMCON INC. 405 DARTMOUTH SE ALBUQUERQUE, NM 87106 (505) 620-4993
---	--	--	--	--



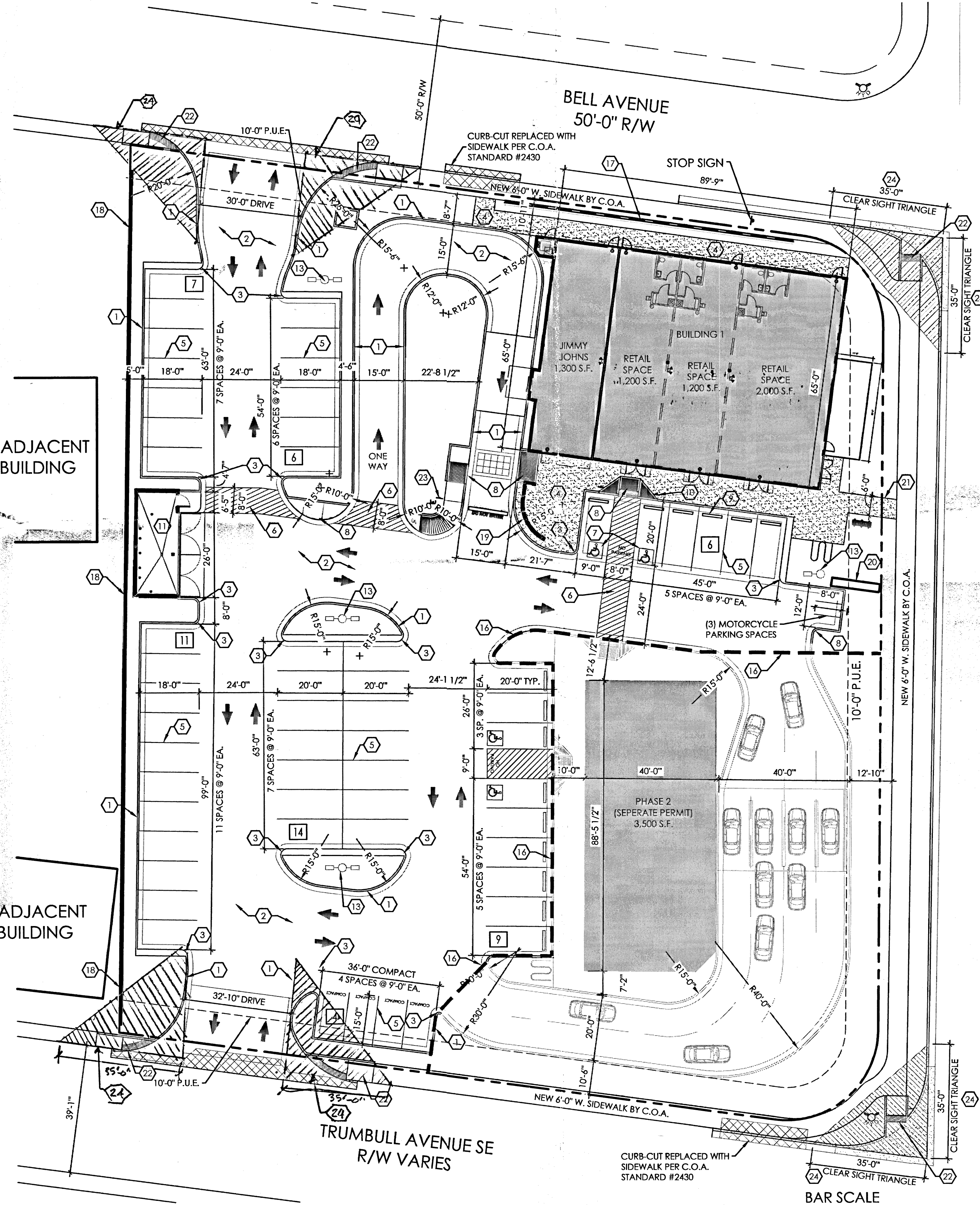
SOUTHWEST RENDERING



SITE



VICINITY MAP
N.T.S.

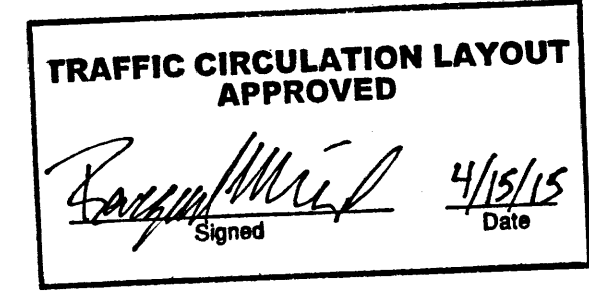


ADJACENT BUILDING

ADJACENT BUILDING

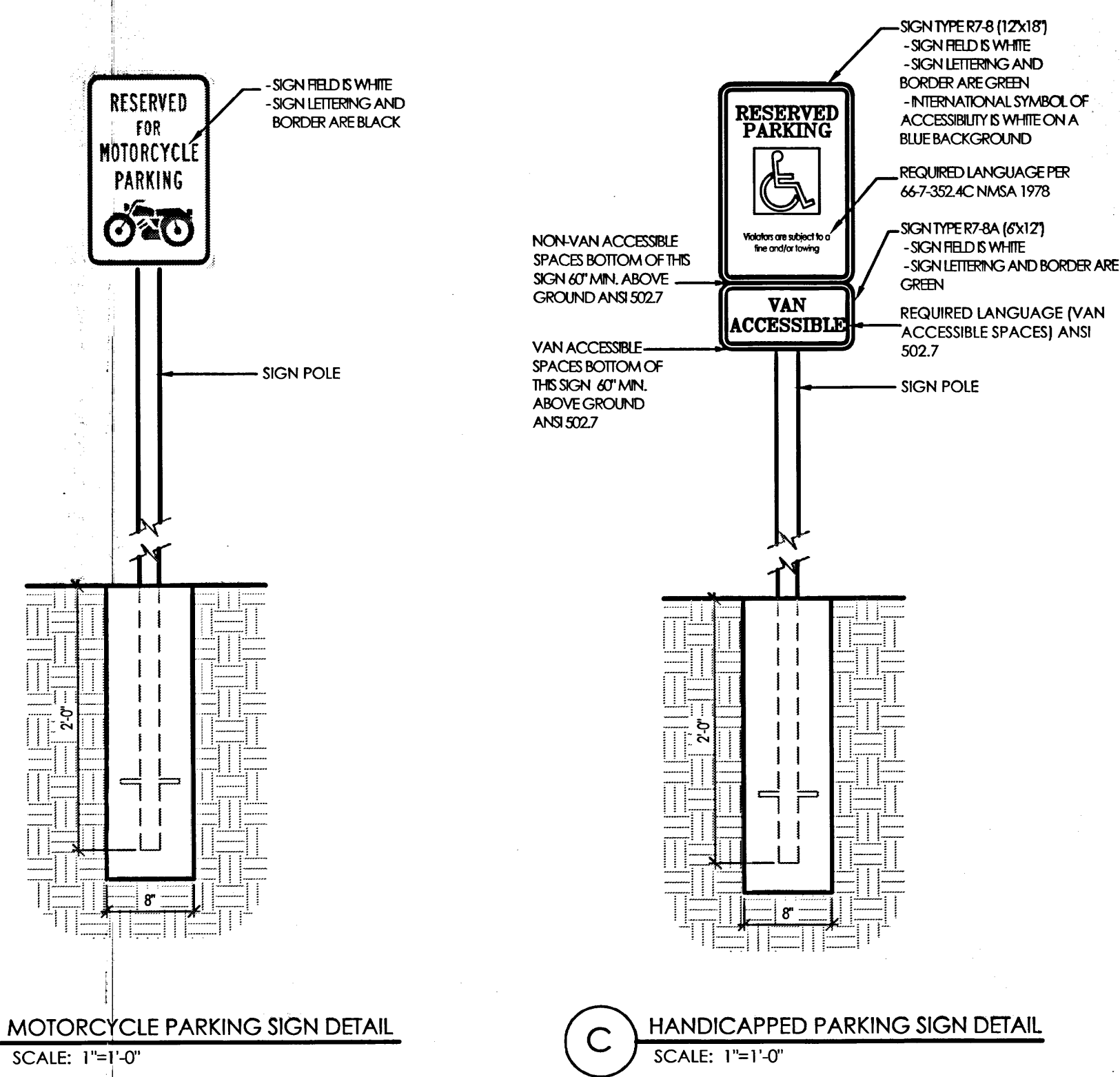
OVERALL SITE PLAN
SCALE: 1"=20'-0"

- ### KEYED NOTES
1. CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
 2. ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
 3. 2'-0" RADIUS.
 4. CONSTRUCT CONCRETE SIDEWALK.
 5. 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
 6. HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
 7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
 8. CONSTRUCT HANDICAP ACCESSIBLE CURB RAMP, REF: DETAIL 07/C-2
 9. INSTALL CONCRETE WHEEL STOP.
 10. INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 1/C-1
 11. DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
 12. FIRE HYDRANT.
 13. SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS.
 14. SIGNAGE, BY OWNER, INSTALLED BY OWNER.
 16. LINE OF PHASE 2 DEVELOPMENT
 17. C.M.U. RETAINING WALL, SEE DETAIL 2/C1 (THIS SHEET)
 18. 6'-0" HIGH C.M.U. WALL, SEE DETAIL 1/C1 (THIS SHEET)
 19. 3'-0" HIGH C.M.U. WALL, SEE DETAIL 1/C1 (THIS SHEET)
 20. 12'-0" HIGH MONUMENT SIGN - SEE ATTACHED ELEVATIONS FROM ZEON SIGN
 21. 6'-0" WIDE A.D.A. ACCESSIBLE PEDESTRIAN PATHWAY, SEE DETAIL 1/C-2, PER D.P.M.
 22. NEW A.D.A. ACCESSIBLE RAMP BY C.O.A. - REFER TO WORK ORDER #638282
 23. "DO NOT ENTER" SIGN PER C.O.A. STANDARDS
 24. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA, PER DPM CHAPTER 23.



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



INDEX OF DRAWINGS

C-1.0	SITE PLAN, INDEX, COVER	M-0	GENERAL NOTES
C-2.0	SITE DETAILS	M-1	HVAC PLAN
CG-101	GRADING & DRAINAGE PLAN	M-2	PLUMBING PLAN
CG-501	GRADING DETAILS	M-3	ISOMETRIC PLAN
CU-101	UTILITY PLAN	M-4	ROOF & GAS PLAN
A-1.0	FLOOR PLAN	M-5	DETAIL
A-2.0	REFLECTED CEILING PLAN	M-6	EQUIPMENT SCHEDULE
A-3.0	EXTERIOR ELEVATIONS	M-7	SPECIFICATIONS
A-4.0	RM. FINISH, DR. & WIN. SCHEDULES	E-1	1 LINE DIAGRAM
A-5.0	DETAILS	E-2	PANEL SCHEDULES
A-6.0	ROOF PLAN	E-3	LIGHTING PLAN
A-7.0	ROOF DETAILS	E-4	SITE PLAN
A-8.0	BUILDING SECTIONS		
A-9.0	WALL SECTIONS		
A-9.1	WALL SECTIONS		
S-1.0	FOUNDATION PLAN		
S-1.2	FOUNDATION DETAILS		
S-2.0	FOUNDATION DETAILS		

- ### GENERAL NOTES
- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- C. PREMIS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- D. PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C. SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
- E. FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT.
- F. G.C. TO PROVIDE KEY BOX, KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
- G. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10 BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT:	=	32' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS:	NORTH	= 5' PER COA 14-16-2-15(E)
	EAST	= 35' PER COORS CORRIDOR PLAN
	WEST	= 5' PER COA 14-16-2-15(E)

SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE AND THE COORS CORRIDOR SIGNAGE REGULATION. ANY SIGN WITH MOVING ELEMENTS OR FLASHING LIGHTS, INCLUDING ELECTRONIC SIGNS ARE NOT PERMITTED. SHADES AND INTERNAL IMAGES THAT MEET THE DEFINITION OF A SIGN ARE NOT PERMITTED. FUTURE TENANT SIGNAGE IS LIMITED TO A MAXIMUM OF 8 ADDITIONAL WORDS OR ITEMS OF INFORMATION, PER STREET FRONTAGE.

PARKING CALCULATIONS

PARKING REQUIRED:	PROVIDED:
PER C.O.A. ZONING 14-16-3-1(27) (RETAIL) 10,010 SF (GROSS) FIRST FLOOR/200	= 50 SPACES
TOTAL PARKING REQUIRED:	= 50 SPACES
PARKING REDUCTIONS: PER C.O.A. 14-16-3-1(E)6a TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.	57 SPACES
PARKING REQUIRED AFTER TRANSIT REDUCTIONS (AT 10%)	= 45 SPACES
PER C.O.A. ZONING 14-16-3-1(C)1 MOTORCYCLE PARKING REQUIRED	= 2 SPACES
PER C.O.A. ZONING 14-16-3-1(F)9a HANDICAP PARKING REQUIRED	= 3 (1 VAN)
PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES REQUIRED	= 3 SPACES
	8 + SPACES

INNOVA PLAZA - SITE DEVELOPMENT
OVERALL SITE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

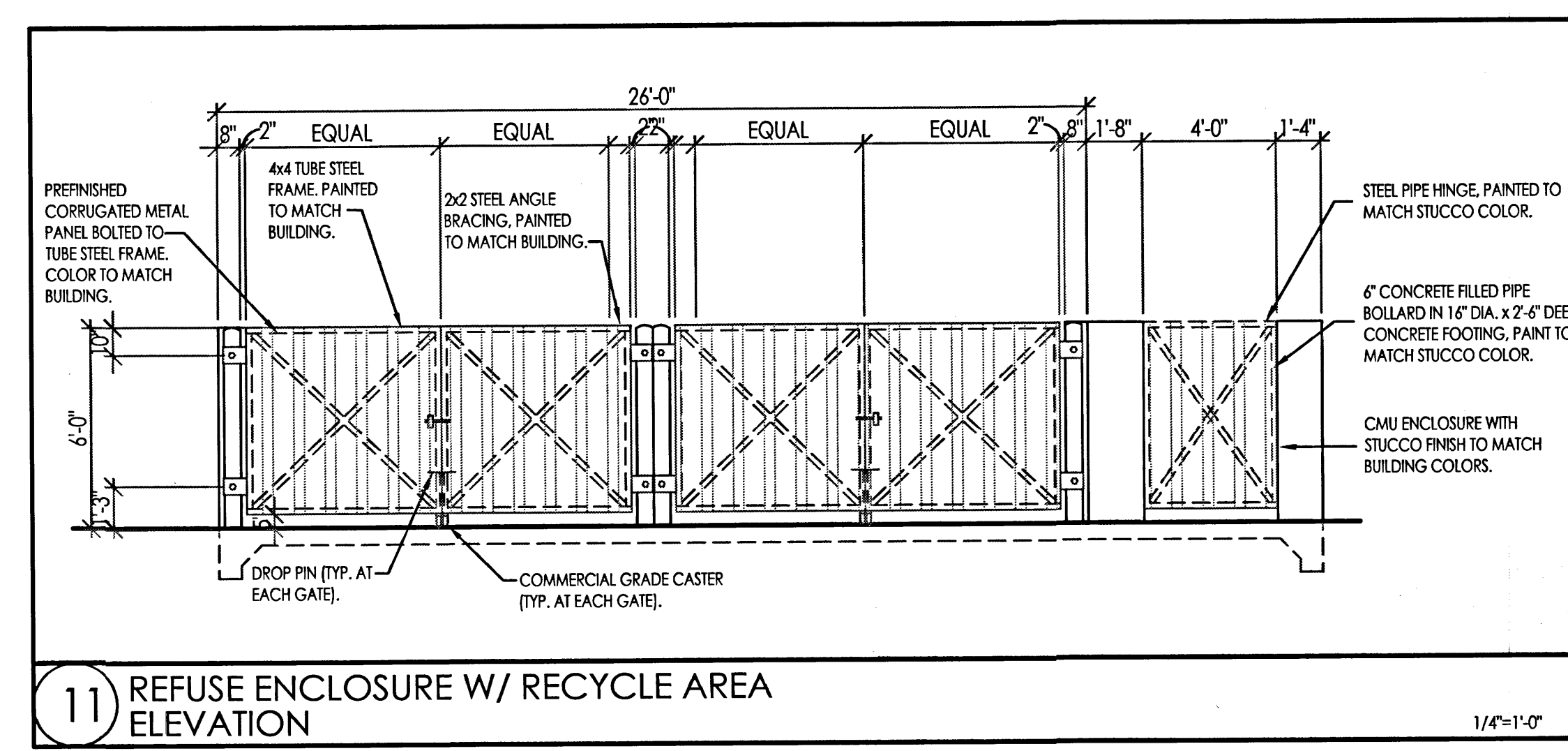
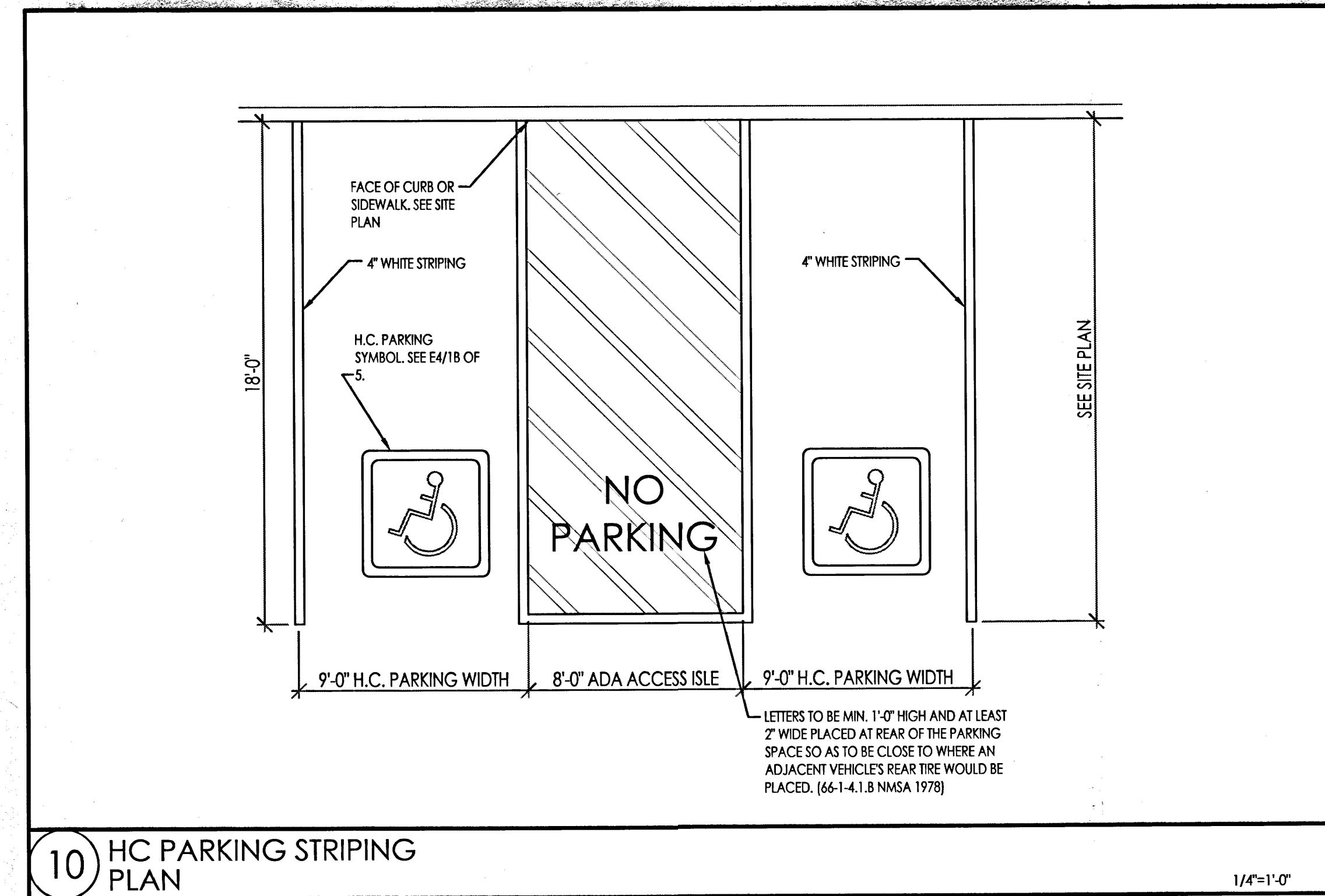
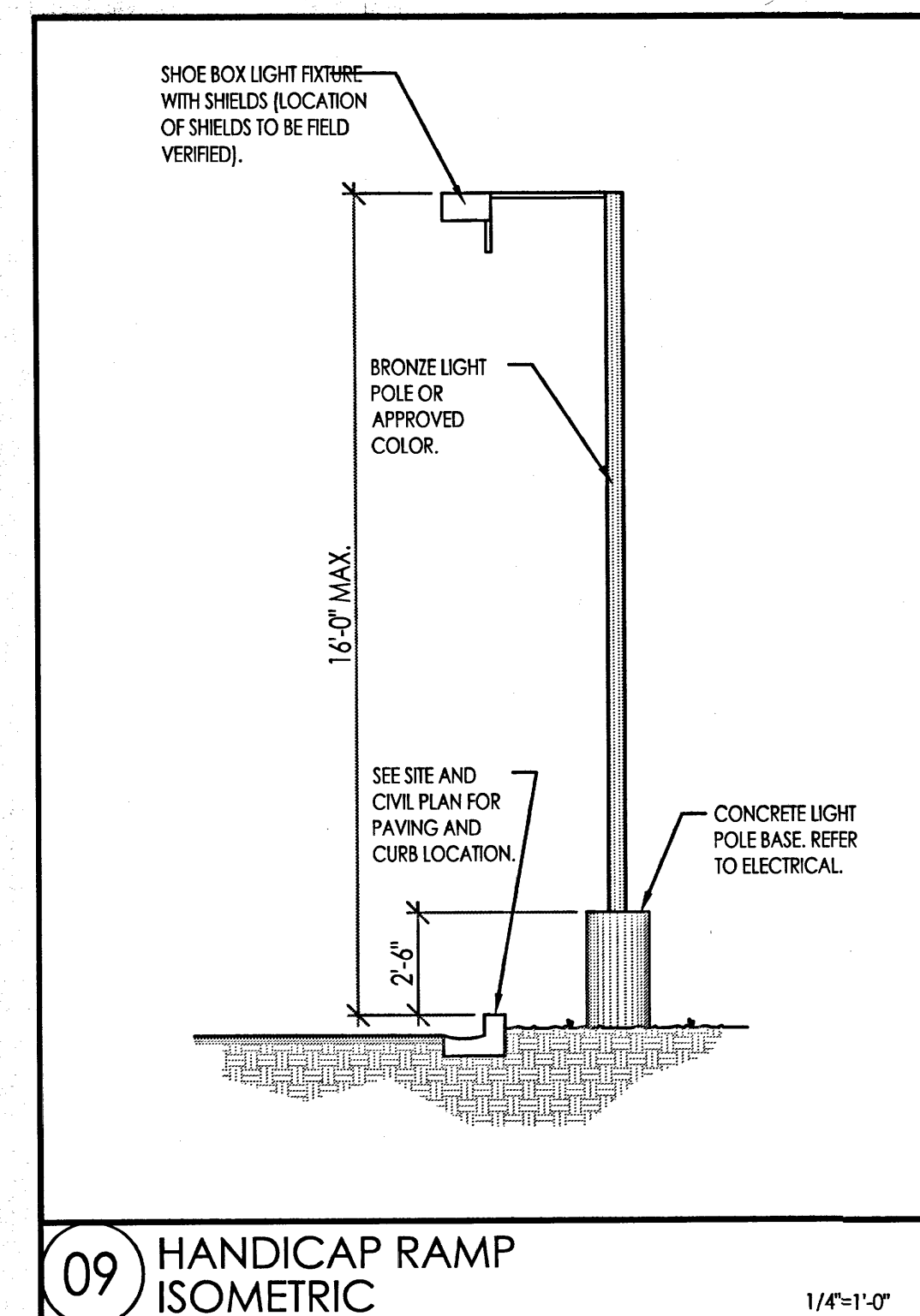
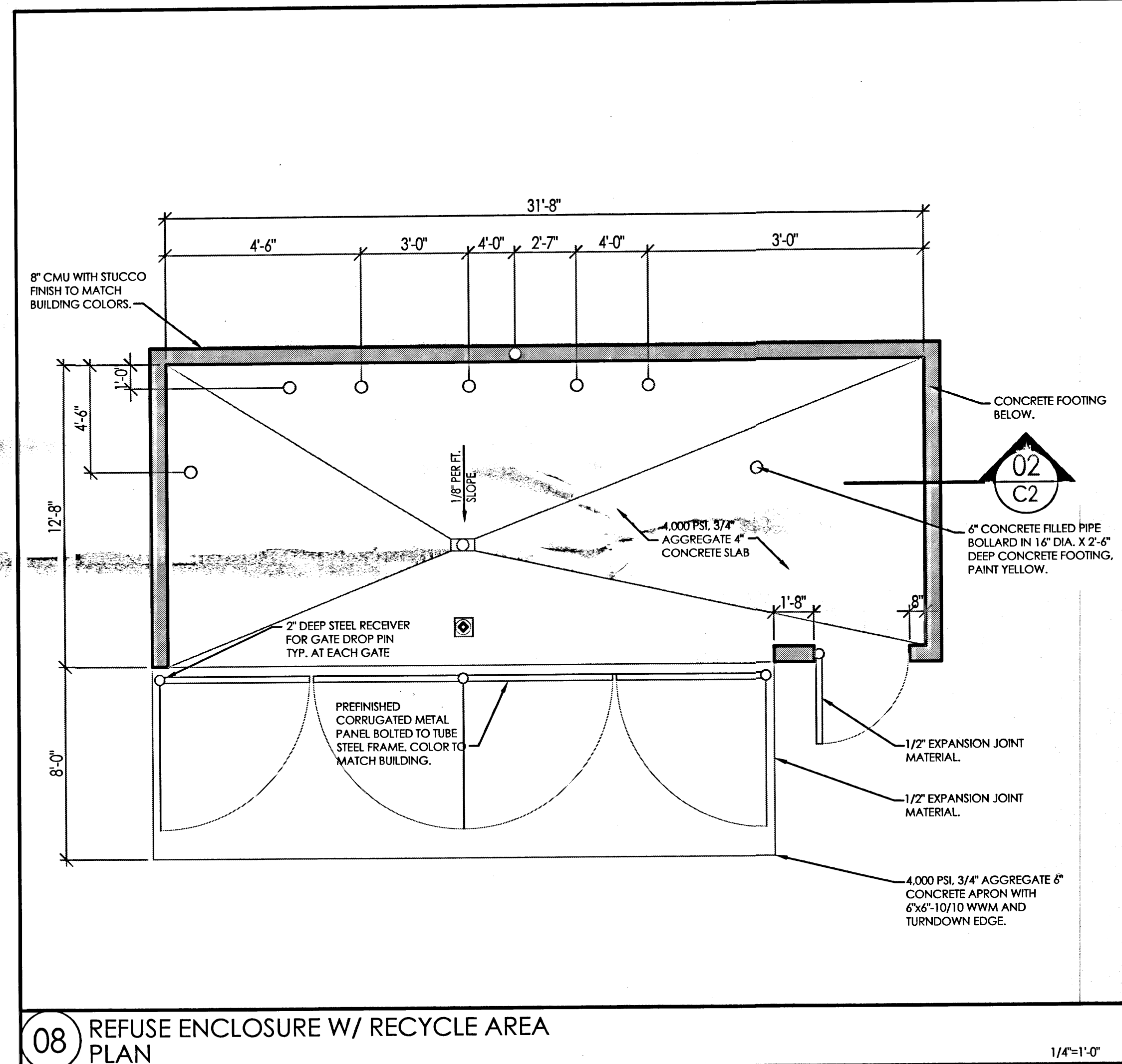
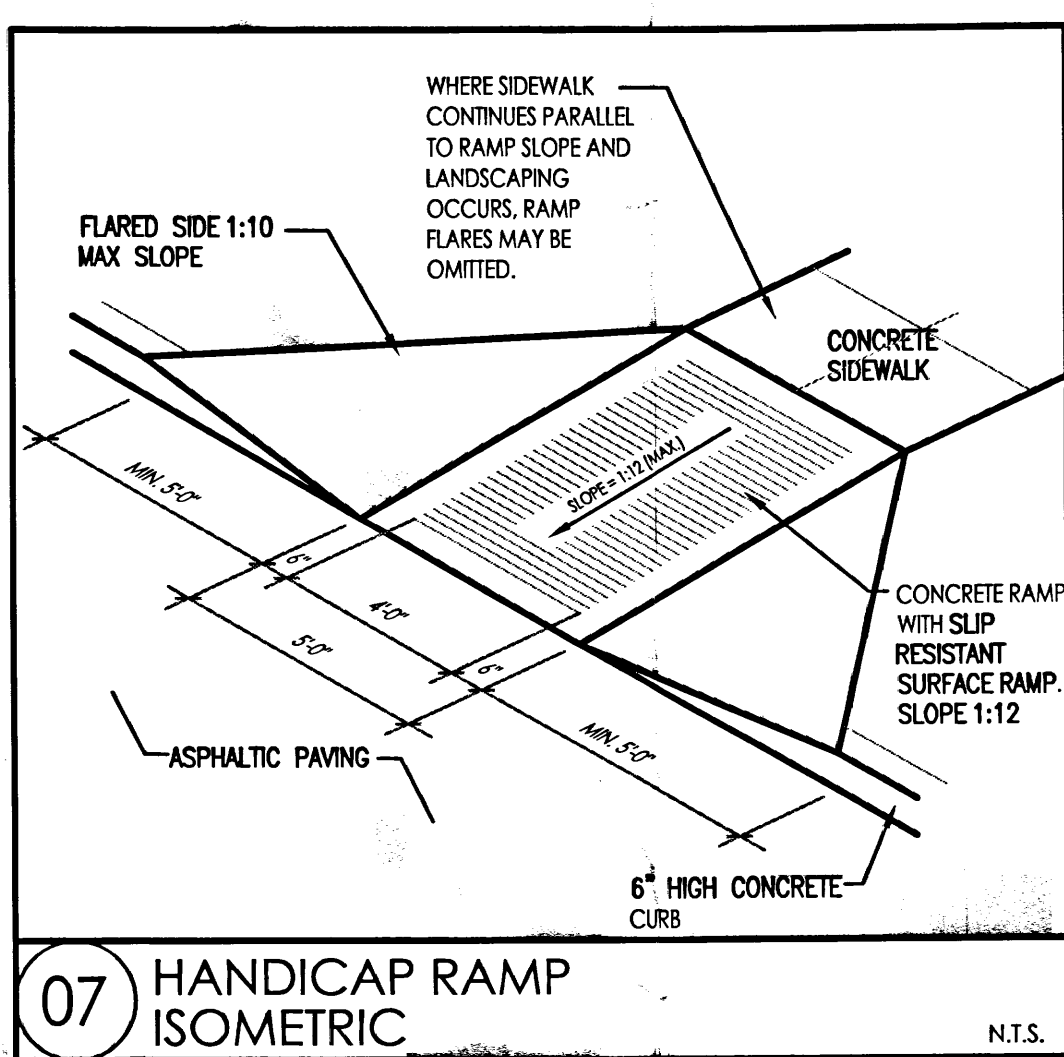
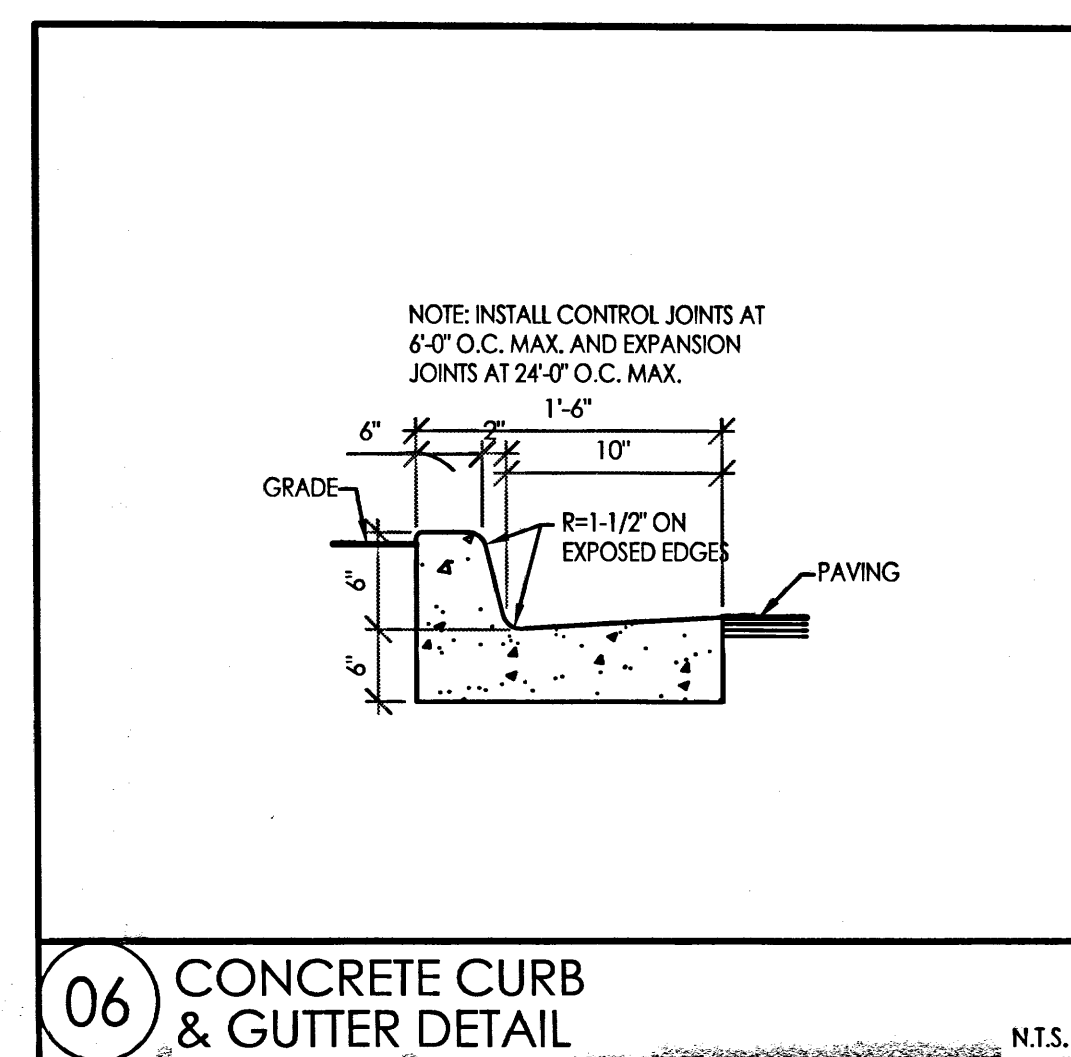
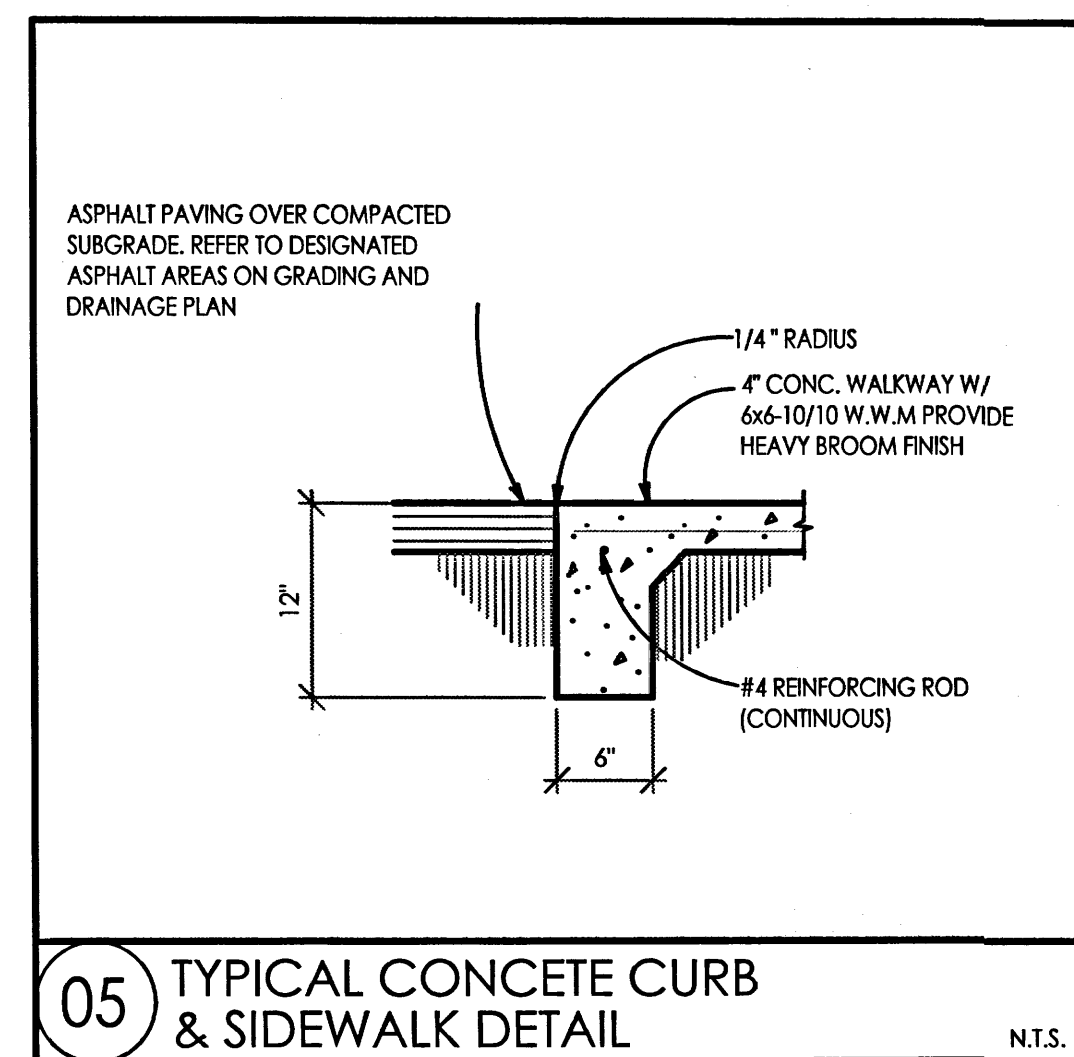
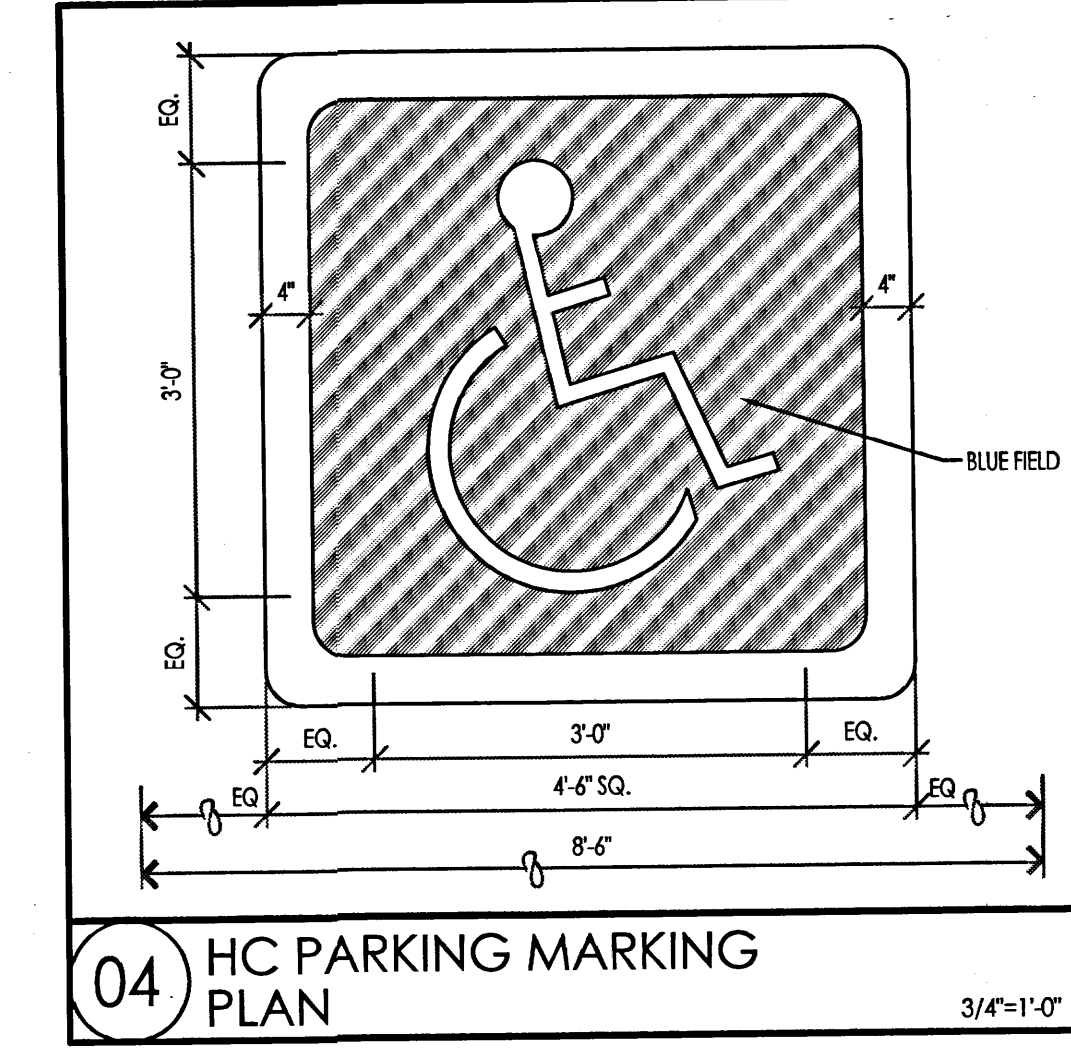
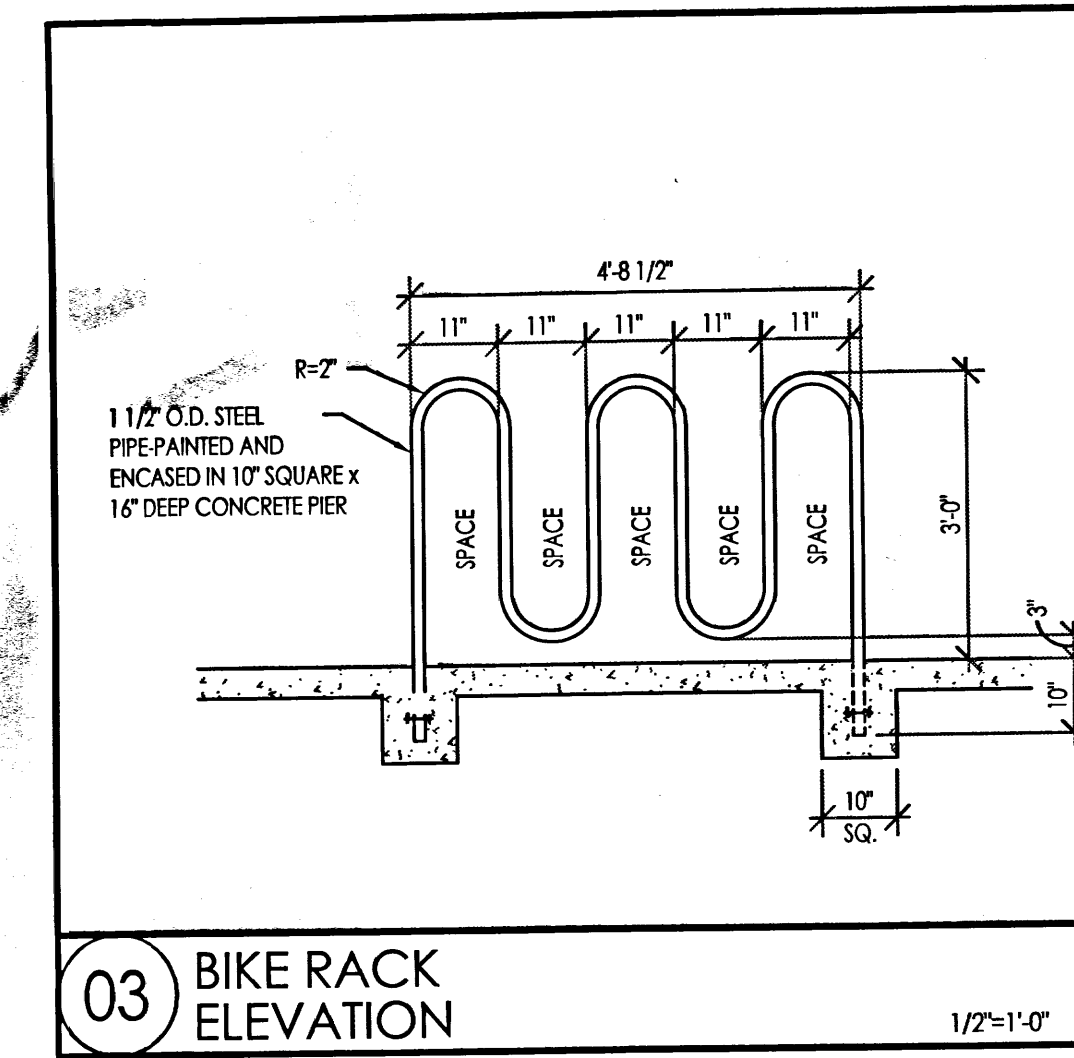
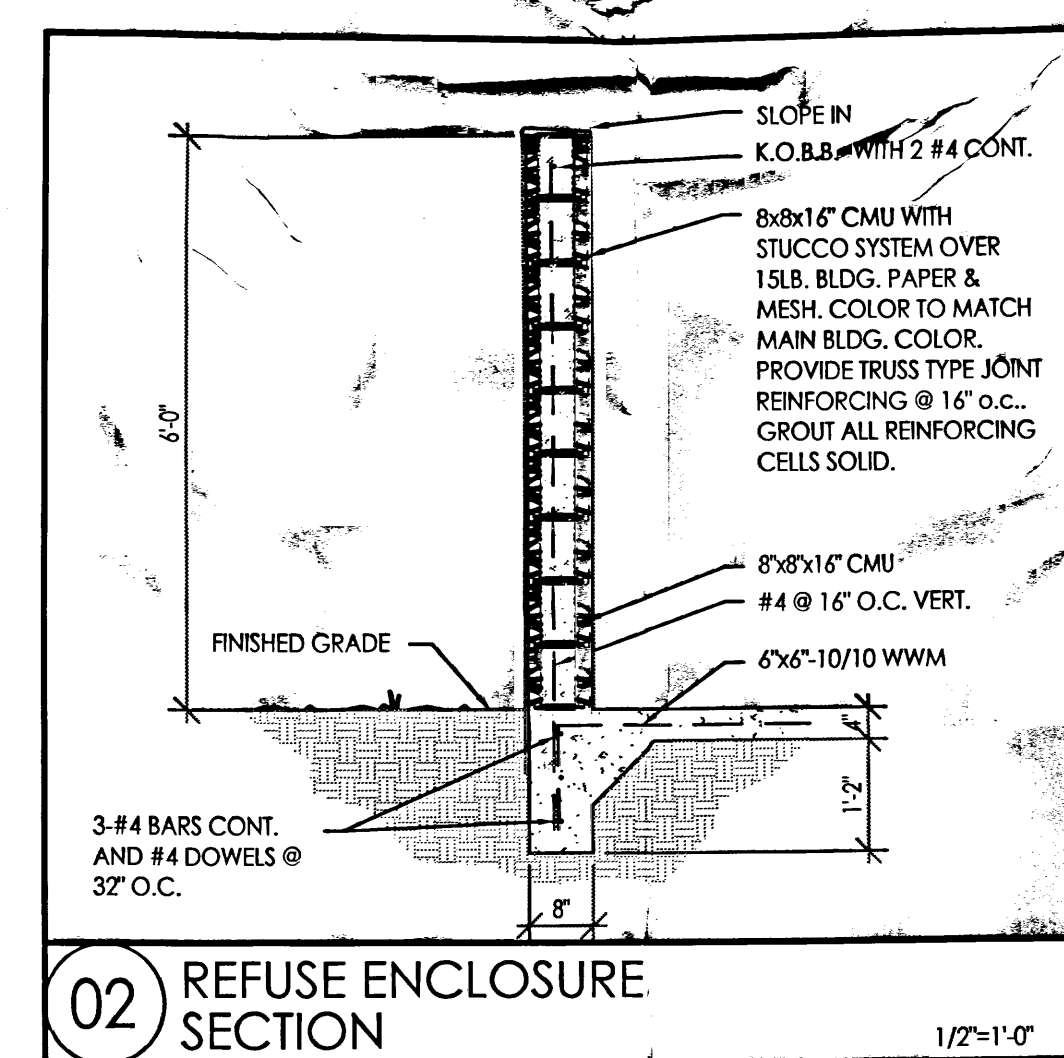
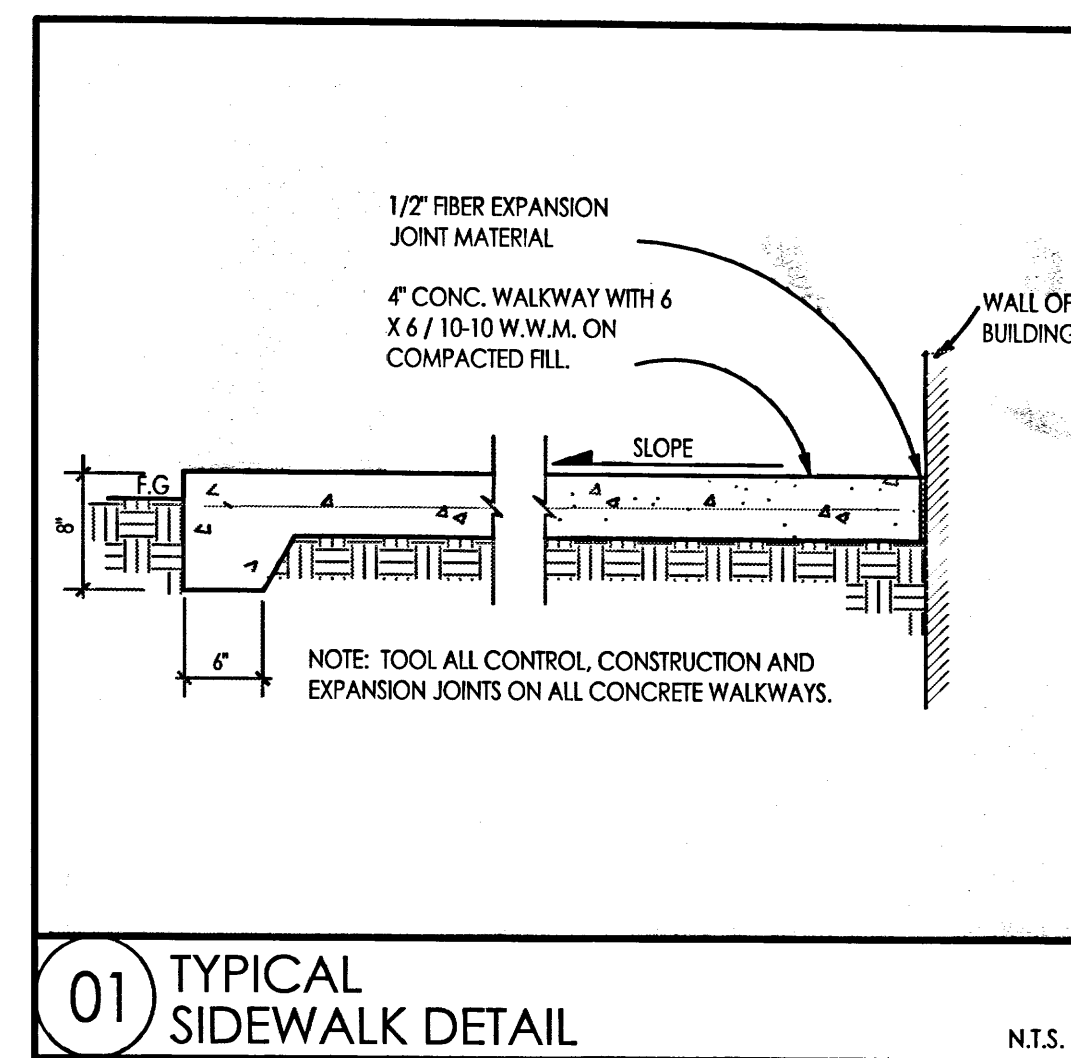
REVISION DATE

STATE OF NEW MEXICO
RICHARD P. BENNETT
REGISTERED ARCHITECT
163-1240

RBA
ARCHITECTURE
DESIGN
110 4 Park Ave. SW
Albuquerque, NM 87102
www.rbaarch.com

DATE
04-13-2015

SHEET NUMBER
C-1.0



INNOVA PLAZA - SITE DEVELOPMENT
SITE DETAILS
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

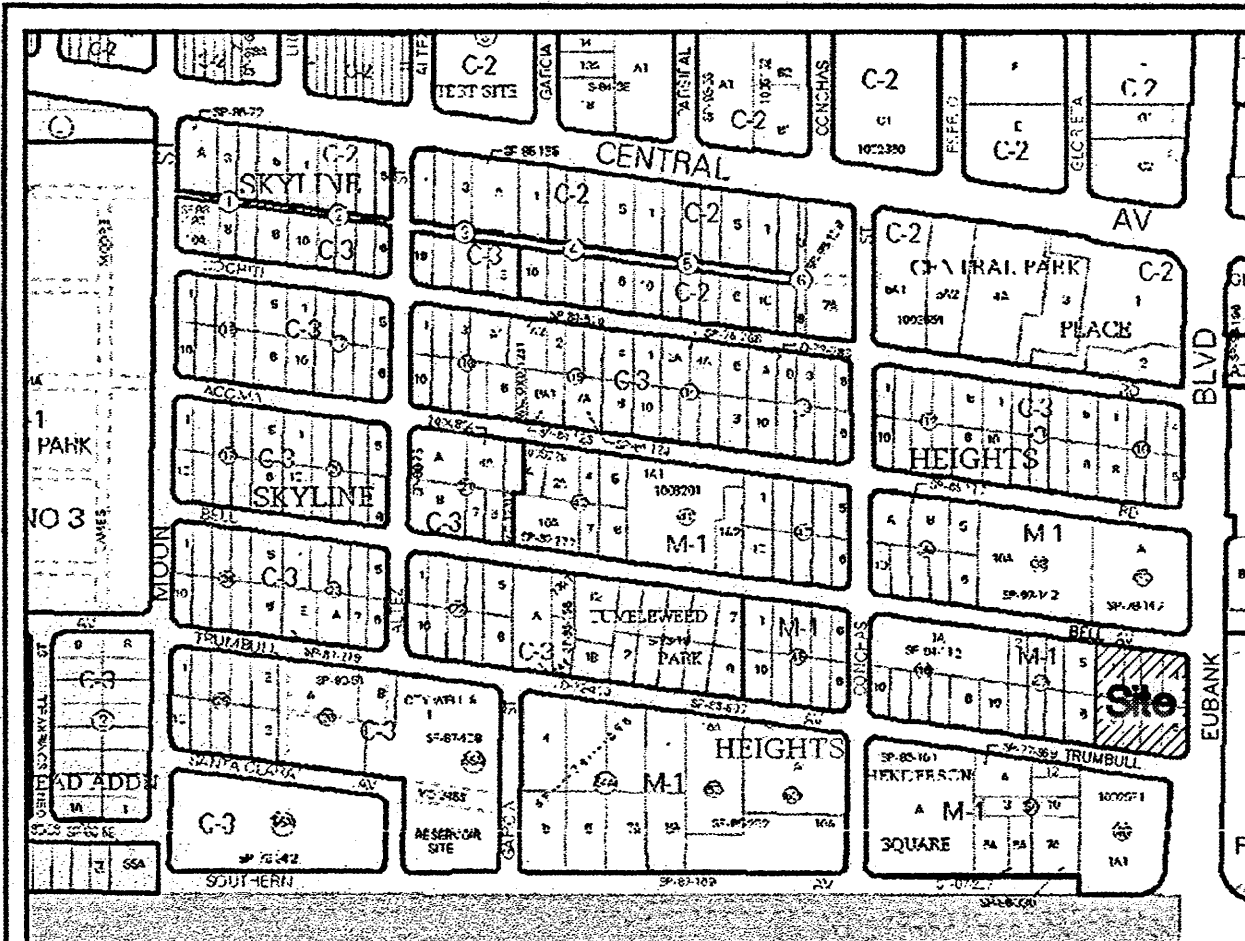
REVISION DATE

DATE 04-13-2015

SHEET NUMBER C-2.0

STATE OF NEW MEXICO
RICHARD P. BENNETT
No. 1240
REGISTERED ARCHITECT

RBA
ARCHITECTURE
DESIGN
100 First Ave. SW
Albuquerque, NM 87102
505.243.8888
www.rbaarch.com



Vicinity Map Zone Atlas L-20-Z

Notes

1. FIELD SURVEY PERFORMED IN SEPTEMBER 2013.
2. ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
3. THE BASIS OF BEARINGS REFERENCES RECORD ROTATED TO NEW MEXICO STATE PLANE COORDINATES (NAD83-GRID).
4. LOT LINES BEING ELIMINATED BY PLAT ARE SHOWN AS THUS:

Free Consent

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND GRANT ALL UTILITY EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

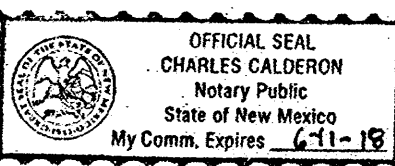
GLAD, LLC
DOUGLAS A. ADAMS, MANAGING MEMBER

Acknowledgment

STATE OF NEW MEXICO }
COUNTY OF } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 20th of June 2014
BY: GLAD, LLC, DOUGLAS A. ADAMS, MANAGING MEMBER

NOTARY PUBLIC



MY COMMISSION EXPIRES 6-11-18

Indexing Information

Section 29, Township 10 North, Range 4 East, N.M.P.M.
Subdivision: Skyline Heights Subdivision
Owner: Doug Adams
UPC #: Lot 1: 102005651239810718
Lot 2: 102005651939710717
Lot 3: 102005652339610716
Lot 4: 102005653139510715
Lot 5: 102005653038210714
Lot 6: 102005652338310713
Lot 7: 102005651938410712
Lot 8: 102005651238510711

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. GRANT EASEMENT AS SHOWN HEREON.
3. SHOW VACATED EASEMENTS.

Subdivision Data

GROSS ACREAGE: 1.4282 ACRES
ZONE ATLAS PAGE NO.: L-20-Z
NUMBER OF EXISTING LOTS: 8
NUMBER OF LOTS CREATED: 1
MILES OF FULL WIDTH STREETS: 0.00 MILES
MILES OF HALF WIDTH STREETS: 0.00
RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 0.0000 ACRES
DATE OF SURVEY: SEPTEMBER 2013

Legal

ALL OF BLOCK FORTY-EIGHT (48) OF SKYLINE HEIGHTS SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF BLOCKS 37 TO 52, INCLUSIVE, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 1, 1948, AND THE EASTERLY ONE-HALF OF GLORIETA STREET SE, LYING ADJACENT TO AND BEING APPURTENANT TO THE ABOVE DESCRIBED REAL ESTATE, VACATED BY COMMISSION ORDINANCE NO. 1231, ADOPTED JUNE 4, 1957, LESS AND EXCEPTING THEREFROM THAT PORTION DEEDED TO THE CITY OF ALBUQUERQUE BY THAT CERTAIN DOCUMENT RECORDED OCTOBER 2, 2013 AS DOCUMENT NUMBER 2013-109954, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT PROPERTY BEING DESCRIBED, BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY RIGHT OF WAY OF BELL AVENUE SE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271", THENCE A TIE TO ACS MONUMENT "4-L22" WHICH BEARS S 89°54'41" E, A DISTANCE OF 7808.29 FEET;

THENCE, FROM THE POINT OF BEGINNING, 40.50 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 28.00, A DELTA OF 82°52'51", A CHORD OF S 40°52'59" E, A DISTANCE OF 37.06 FEET, BEING A POINT ON THE WESTERLY RIGHT OF WAY OF EUBANK BOULEVARD SE, BEING MARKED BY BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING SAID WESTERLY RIGHT OF WAY OF EUBANK BOULEVARD SE, S 00°33'26" W, A DISTANCE OF 227.45 FEET TO A POINT OF CURVATURE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, 27.13 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 16.00, A DELTA OF 97°08'22", A CHORD OF S 49°07'37" W, A DISTANCE OF 23.99 FEET, BEING A POINT ON THE NORTHERLY RIGHT OF WAY OF TRUMBULL AVENUE SE, BEING MARKED WITH A BATHEY MARKER WITH CAP "LS 14271";

THENCE, COINCIDING WITH THE SAID NORTHERLY RIGHT OF WAY OF TRUMBULL AVENUE SE, N 82°18'12" W, A DISTANCE OF 215.56 FEET, BEING MARKED WITH A 1/2 INCH REBAR WITH CAP "LS 6126";

THENCE, LEAVING SAID NORTHERLY RIGHT OF WAY OF TRUMBULL SE, N 00°57'43" E, A DISTANCE OF 269.99 FEET, TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF BELL AVENUE SE, BEING MARKED BY A 1/2 INCH REBAR;

THENCE, S 82°19'25" E, A DISTANCE OF 207.04 FEET, TO THE POINT OF BEGINNING, CONTAINING 1.4282 ACRES (62,211 SQ. FT.) MORE OR LESS.

Solar Collection Note

PER SECTION 14-14-4-7 OF THE SUBDIVISION ORDINANCE:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Plat for
Lot 1-A, Block 48
Skyline Heights Subdivision
Being Comprised of

Lots 1-3, 6-8 and Portions of Lots 4 & 5, Block 48

and the E'ly 1/2 of Vacated Glorieta Street SE

Section 29, Township 10 North, Range 4 East

New Mexico Principal Meridian

City of Albuquerque

Bernalillo County, New Mexico

June 2014

Approved and Accepted by:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994.

Project Number 1009920

Application Number 14-70223

Plat approvals:

Ramiro Vigil 7-16-14
Date
Officer 7-21-14
Date
Gregory 7-16-14
Date
Comcast 7-16-14
Date

City approvals:

Val P. Aragon 6-23-14
Date
City Surveyor 8-26-14
Date
Traffic Engineer 08-20-14
Date
ABCWA
Carol S. Dumont 8-20-14
Date
Parks and Recreation Department
Ante a Chen 8-20-14
Date
AMAFCA
Ante a Chen 8-20-14
Date
City Engineer 8-26-14
Date
DRB Chairperson, Planning Department

Surveyor's Certificate

"I, DAVID J. THOMPSON, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

David J. Thompson 6/20/14
DATE
DAVID J. THOMPSON
N.M.R.P.S. No. 12657

CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244



Sheet 1 of 2
132056

DOCH 2014067054
09/29/2014 08:24 PM Page 1 of 2
PRINTED 9:25:00 B. 2014C P. 0051 R. Toulouse 01/09/14 Bernalillo Co.
NEW MEXICO

Plat for
Lot 1-A, Block 48
Skyline Heights Subdivision

Being Comprised of
Lots 1-3, 6-8 and Portions of Lots 4 & 5, Block 48
and the Ely 1/2 of Vacated Glorieta Street SE
Section 29, Township 10 North, Range 4 East
New Mexico Principal Meridian
City of Albuquerque
Bernalillo County, New Mexico
June 2014

Easement Notes

- EXISTING 10' UTILITY EASEMENT (12/01/1948, BK. C, PG. 124) SHOWN HEREON AS THUS TO BE VACATED WITH THE FILING OF THIS PLAT (13DR8-70789)
- EXISTING 14' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (2/18/1970, BK. MISC. 165, PG. 71)
- EXISTING 7' PUBLIC SERVICE COMPANY OF NEW MEXICO EASEMENT (12/11/1997, BK. 9734 PG. 7820, DOC. NO. 97130569)
- 10' PUBLIC UTILITY EASEMENT GRANTED BY THE FILING OF THIS PLAT
- PUBLIC SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THE FILING OF THIS PLAT

Public Utility Easements:

Public utility easements shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM electric) for installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corp. d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.
Disclaimer:
In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest D/B/A CenturyLink QC did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and Qwest D/B/A CenturyLink QC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

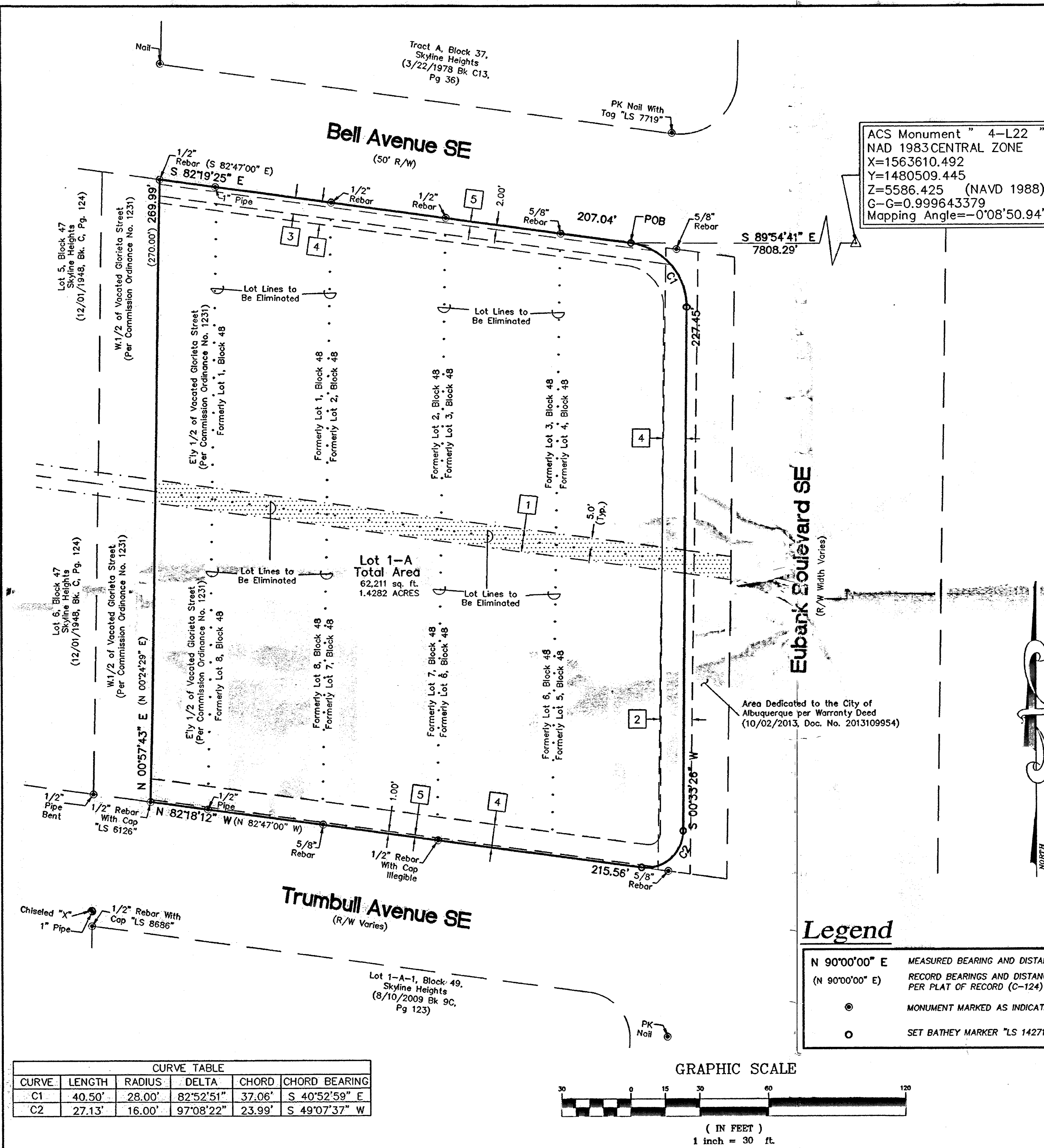
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244

DOCH 2014067054

06/26/2014 04:24 PM Page: 2 of 2
10/26/2014 8:25:08 AM 2014067054
Toulaya Oliveira, Bernalillo Co.

Sheet 2 of 2
132056



INNOVA PLAZA

PROJECT TEAM

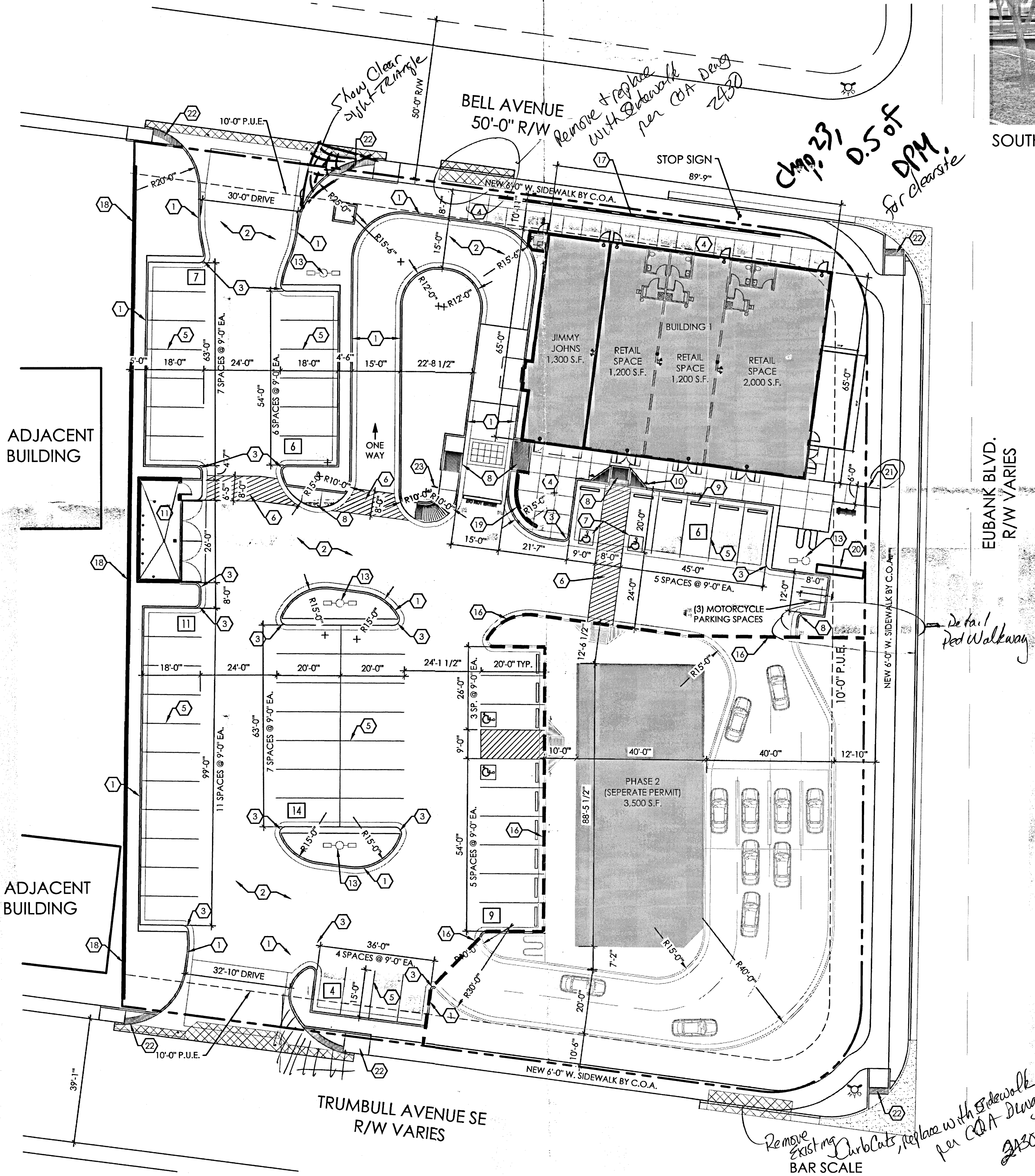
OWNER
DOUG ADAMS
GLAD LLC
P.O. BOX 1111
CEDAR CREST, NM 87008

ARCHITECT
RBA Architecture
110 4 Park Ave. SW
Albuquerque, NM 87102
505-242-1859

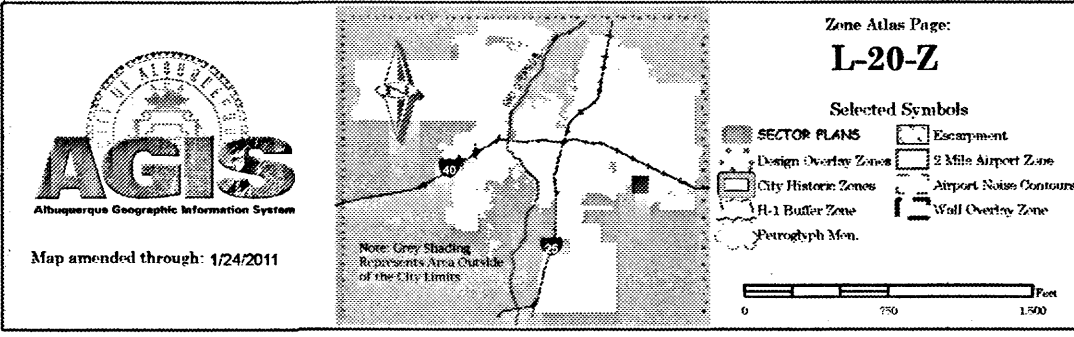
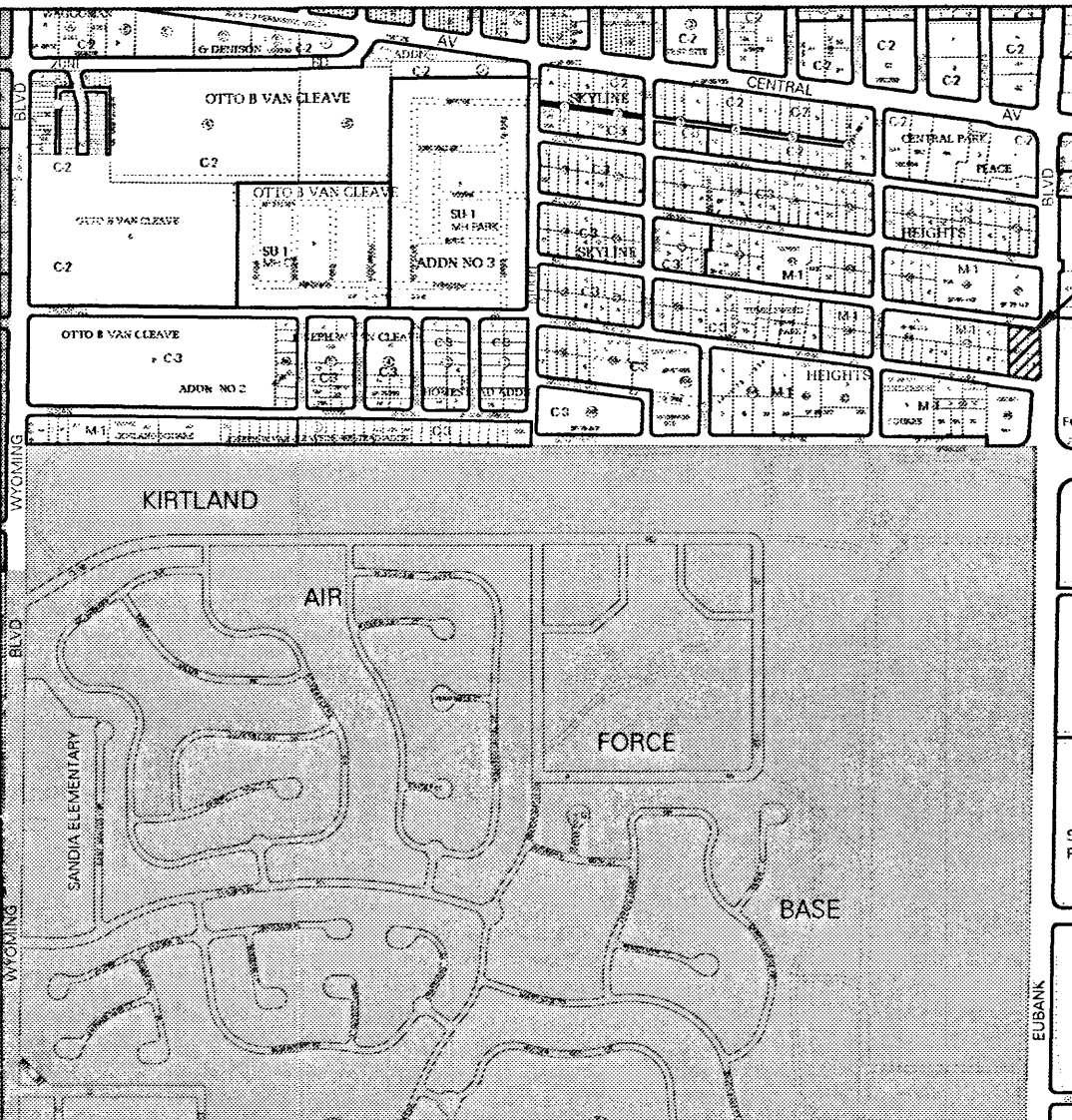
ELECTRICAL
NORTHBRIDGE ELEC.
328 RANCHITOS NW
ALBUQUERQUE, NM 87114
(505) 898-7245

MECHANICAL
DSL ASSOCIATES
299 Garcia Rd. NW
Albuquerque, NM 87114
(505) 980-0238

CONTRACTOR
KIMCON INC.
405 DARTMOUTH SE
ALBUQUERQUE, NM 87106
(505) 620-4993

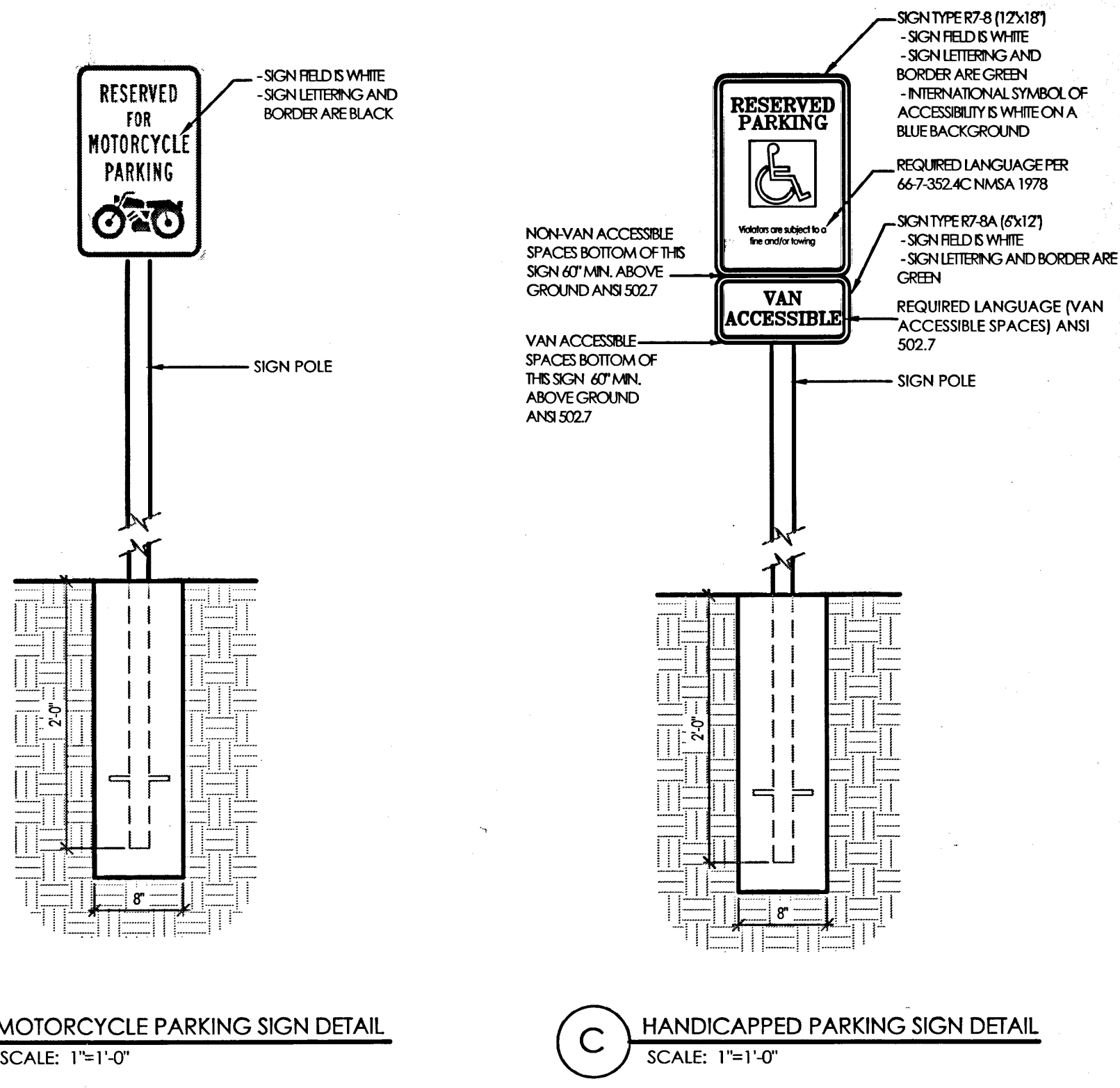


SOUTHWEST RENDERING



- KEYED NOTES**
1. CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
 2. ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
 3. 2'-0" RADIUS.
 4. CONSTRUCT CONCRETE SIDEWALK.
 5. 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
 6. HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
 7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
 8. CONSTRUCT HANDICAP ACCESSIBLE CURB RAMP, REF: DETAIL 07/C-2
 9. INSTALL CONCRETE WHEEL STOP.
 10. INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 1/C-1
 11. DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
 12. FIRE HYDRANT.
 13. SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS.
 14. SIGNAGE, BY OWNER, INSTALLED BY OWNER.
 15. LINE OF PHASE 2 DEVELOPMENT
 16. C.M.U. RETAINING WALL, SEE DETAIL 27/C1 (THIS SHEET)
 17. 6'-0" HIGH C.M.U. WALL, SEE DETAIL 1/C1 (THIS SHEET)
 18. 3'-0" HIGH C.M.U. WALL, SEE DETAIL 1/C1 (THIS SHEET)
 19. 12'-0" HIGH MONUMENT SIGN - SEE ATTACHED ELEVATIONS FROM ZONING SIGN
 20. 2'-0" WIDE A.D.A. ACCESSIBLE PEDESTRIAN PATHWAY, SEE DETAIL: 1/C-2, PER D.P.M. #
 21. NEW A.D.A. ACCESSIBLE RAMP BY C.O.A. - REFER TO WORK ORDER #638282
 22. "DO NOT ENTER" SIGN PER C.O.A. STANDARDS

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



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GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- C. PREMIS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH x .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- D. PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C. SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
- E. FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT.
- F. G.C. TO PROVIDE KEY BOX. KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
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DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT: = 32' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS: NORTH = 5' PER COA 14-16-2-15(E)
EAST = 35' PER COORS CORRIDOR PLAN
WEST = 5' PER COA 14-16-2-15(E)

SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE AND THE COORS CORRIDOR SIGNAGE REGULATION. ANY SIGN WITH MOVING ELEMENTS OR FLASHING LIGHTS, INCLUDING ELECTRONIC SIGNS ARE NOT PERMITTED. SHADES AND INTERNAL IMAGES THAT MEET THE DEFINITION OF A SIGN ARE NOT PERMITTED. FUTURE TENANT SIGNAGE IS LIMITED TO A MAXIMUM OF 8 ADDITIONAL WORDS OR ITEMS OF INFORMATION, PER STREET FRONTAGE.

PARKING CALCULATIONS

PARKING REQUIRED:	PROVIDED:
PER C.O.A. ZONING 14-16-3-1(27) (RETAIL) 10,010 SF (GROSS) FIRST FLOOR/200 = 50 SPACES	57 SPACES
TOTAL PARKING REQUIRED: = 50 SPACES	
PARKING REDUCTIONS: PER C.O.A. 14-16-3-1(E) 6g TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.	
PARKING REQUIRED AFTER TRANSIT REDUCTIONS (AT 10%) = 45 SPACES	57 SPACES
PER C.O.A. ZONING 14-16-3-1(c)1 MOTORCYCLE PARKING REQUIRED = 2 SPACES	3 SPACES
PER C.O.A. ZONING 14-16-3-1(f)9a HANDICAP PARKING REQUIRED = 3 (1 VAN)	4 (2 VAN)
PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES REQUIRED = 3 SPACES	8 + SPACES

INNOVA PLAZA - SITE DEVELOPMENT
OVERALL SITE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

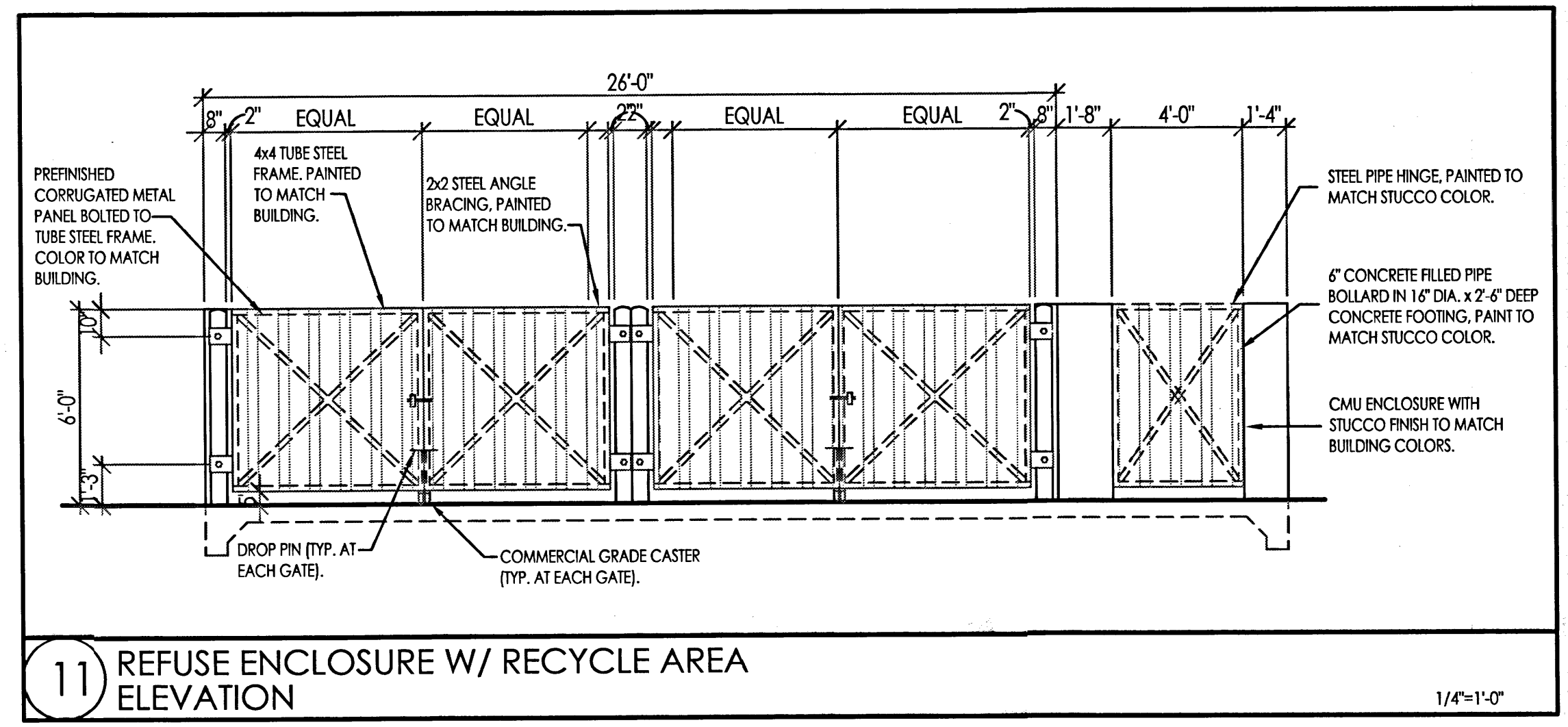
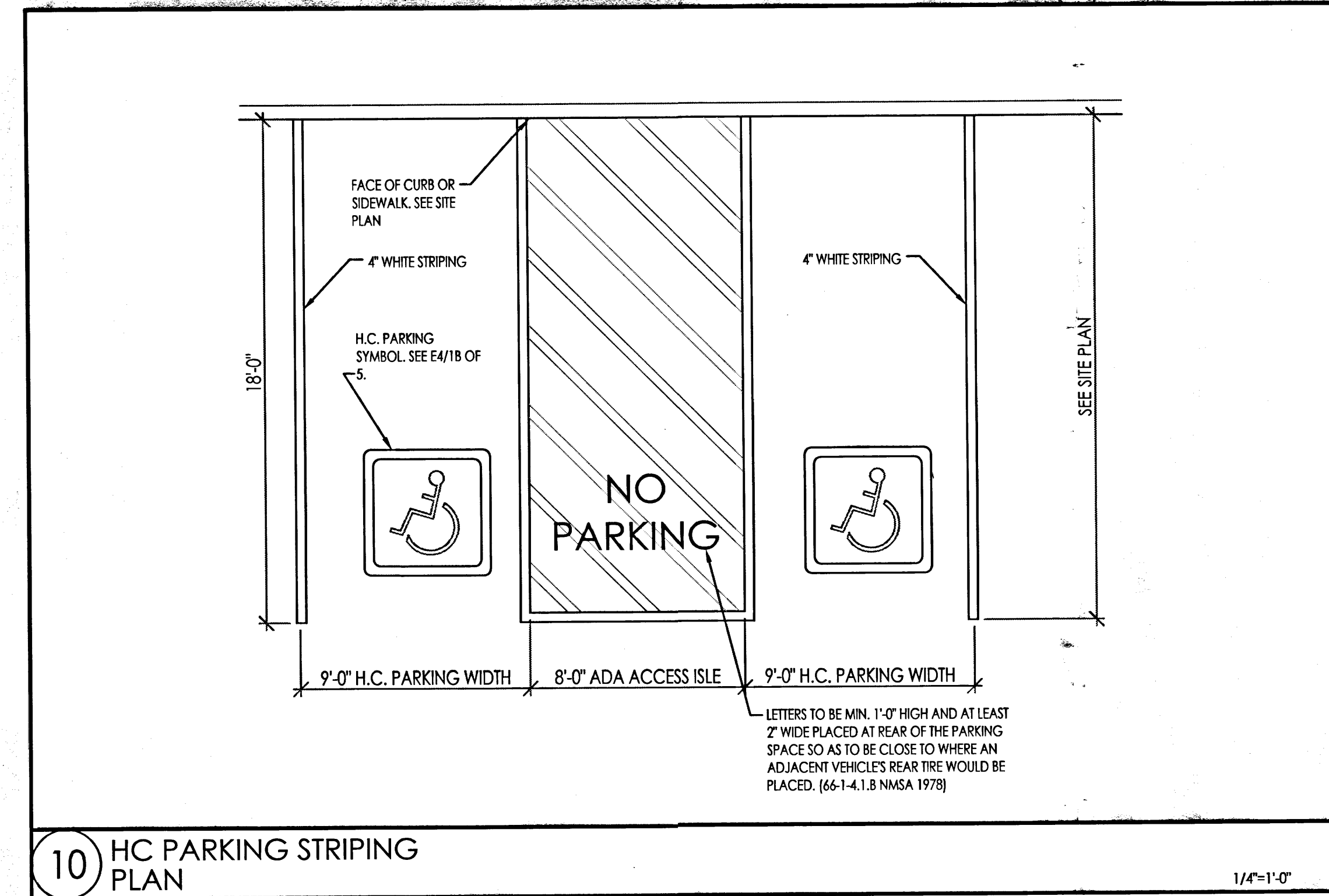
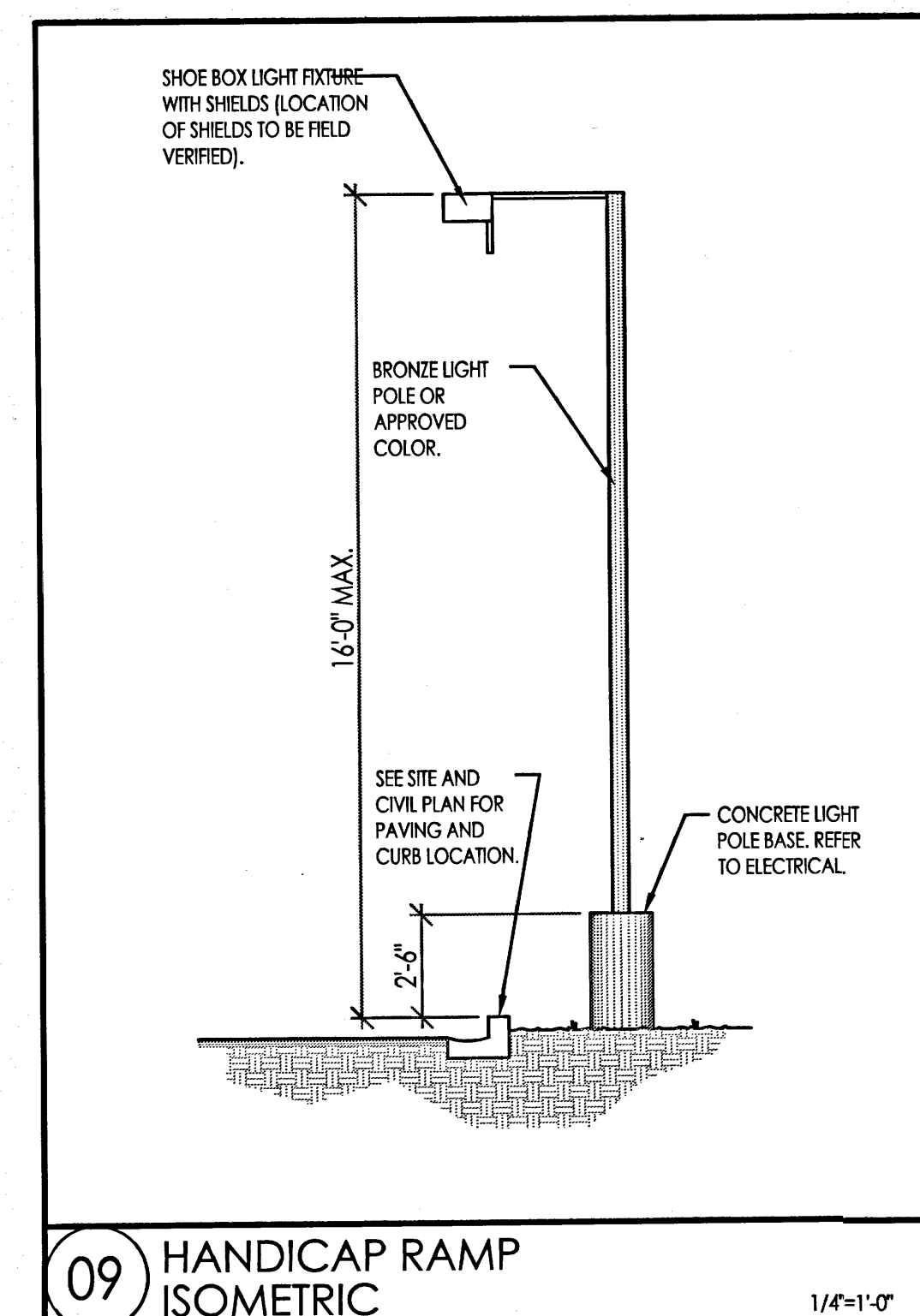
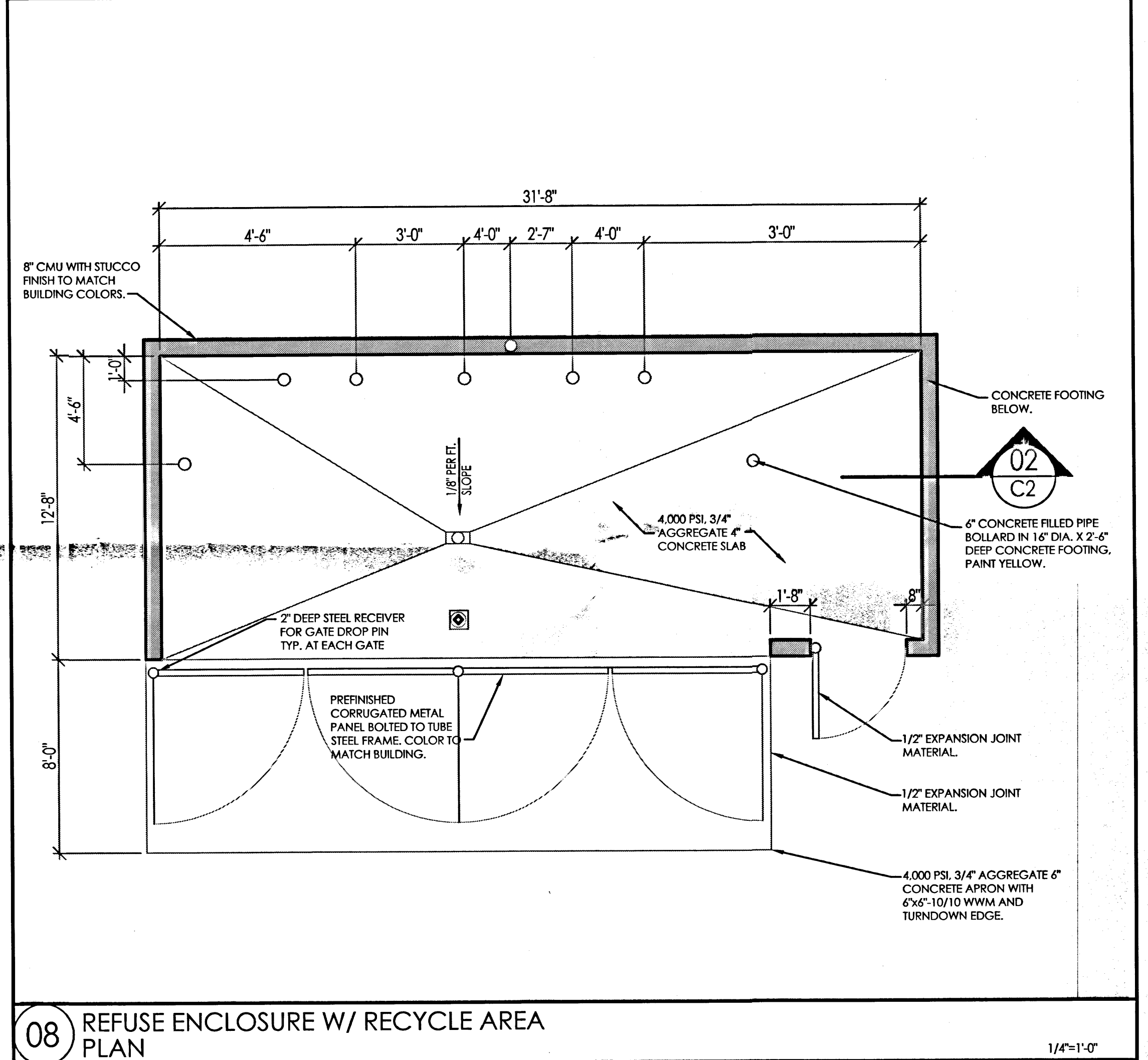
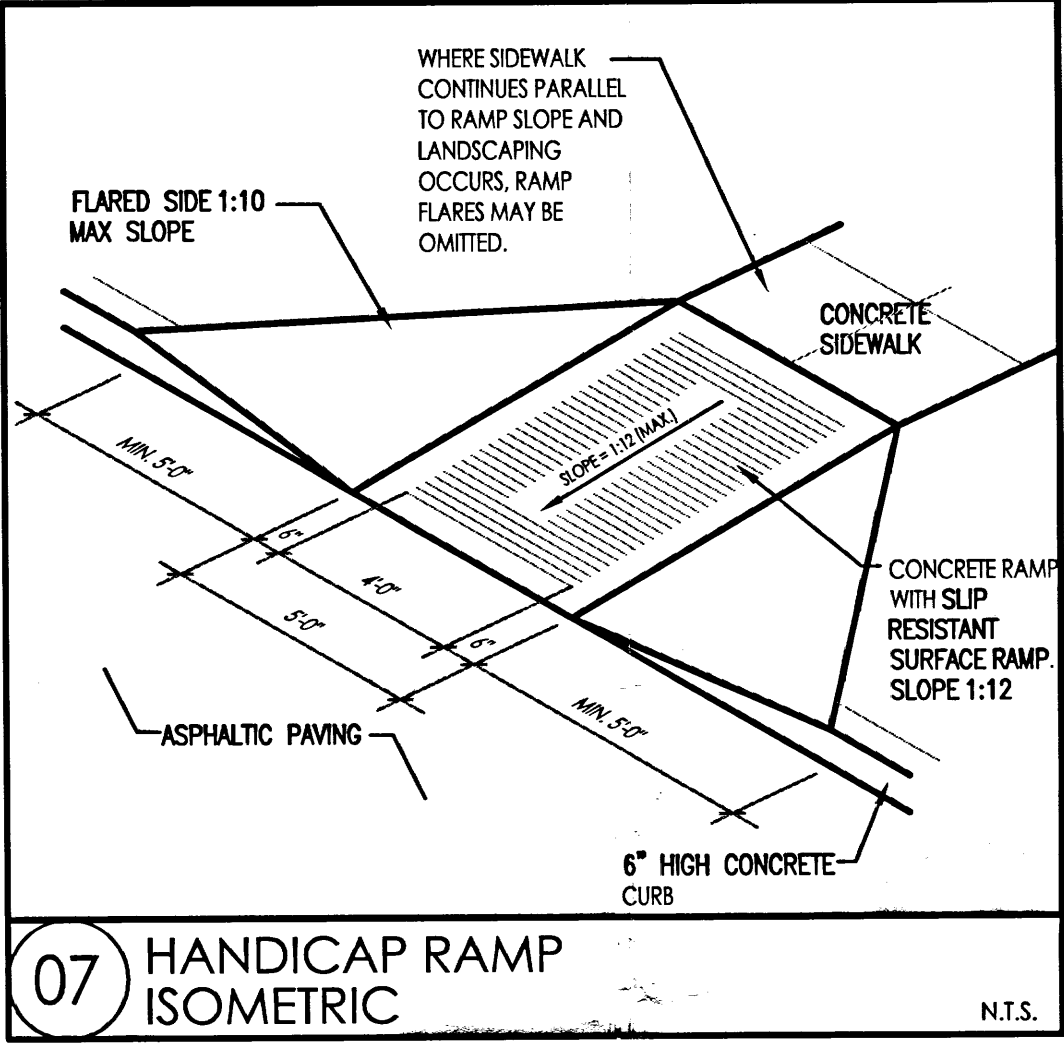
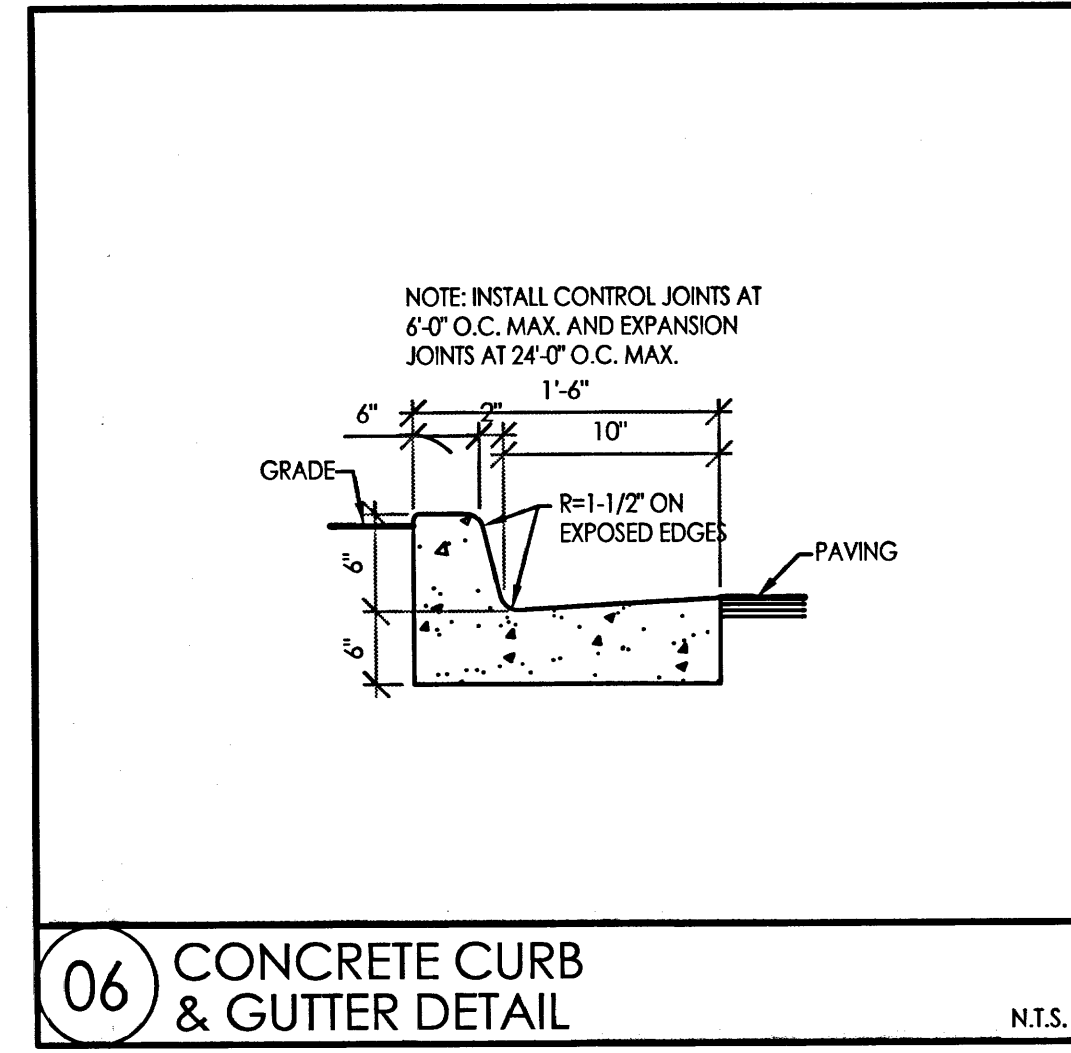
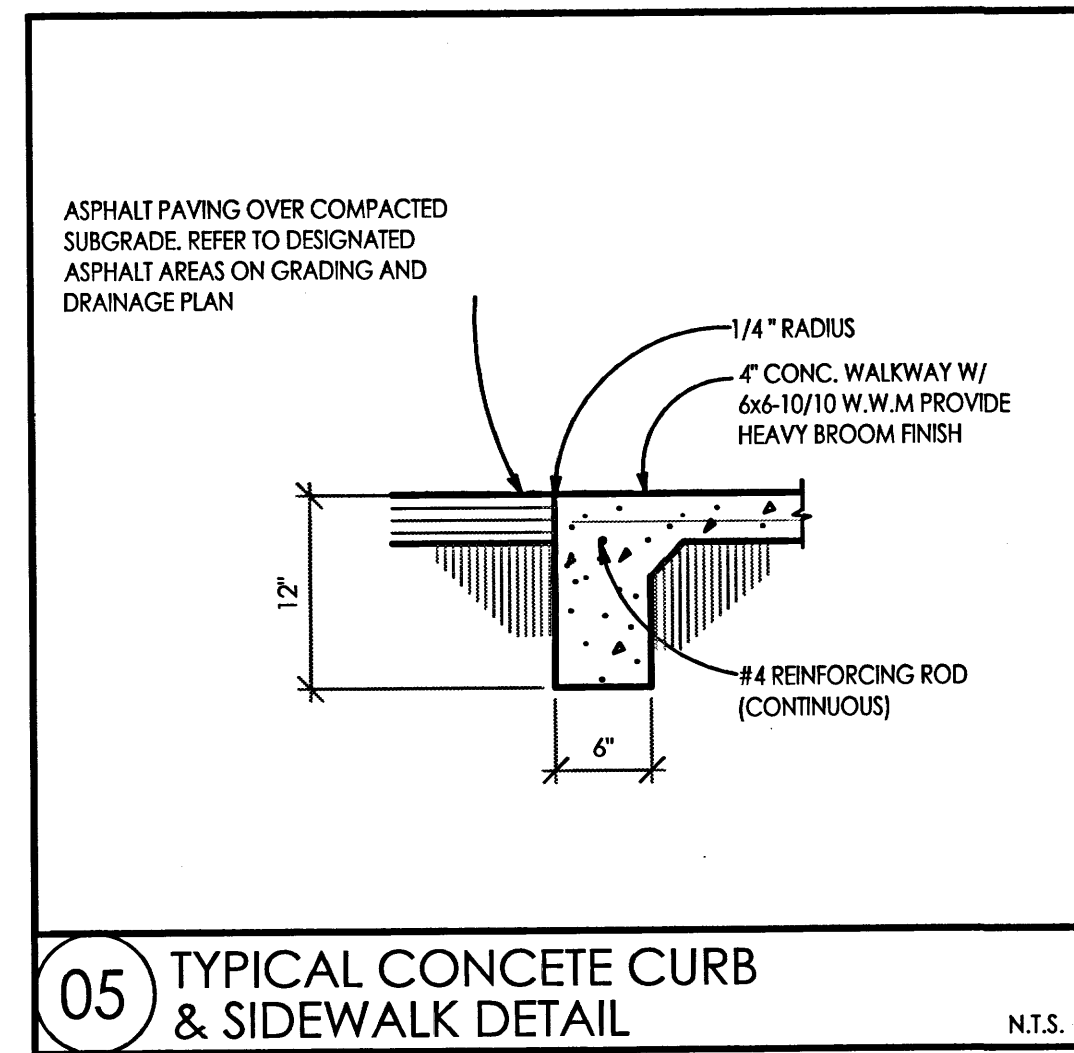
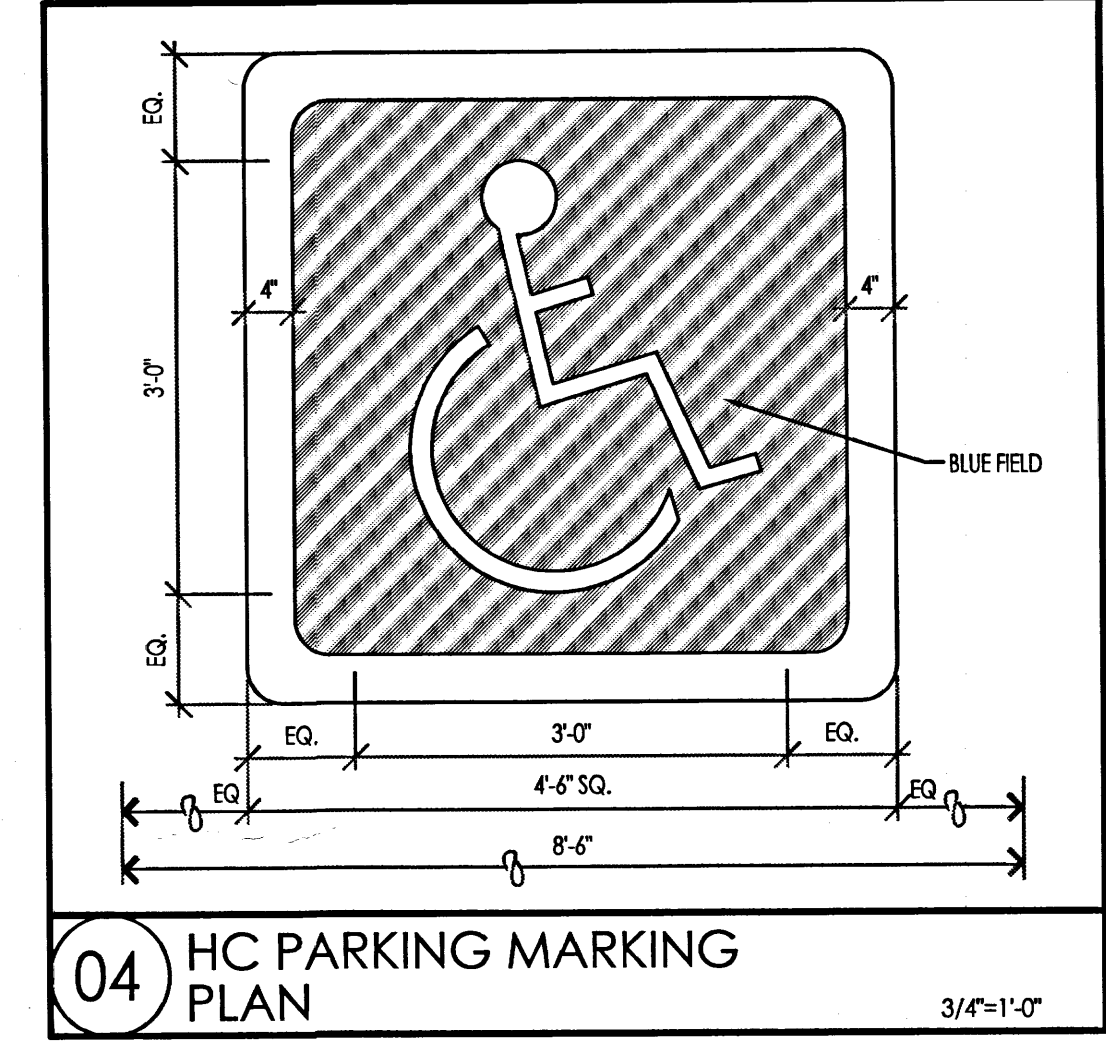
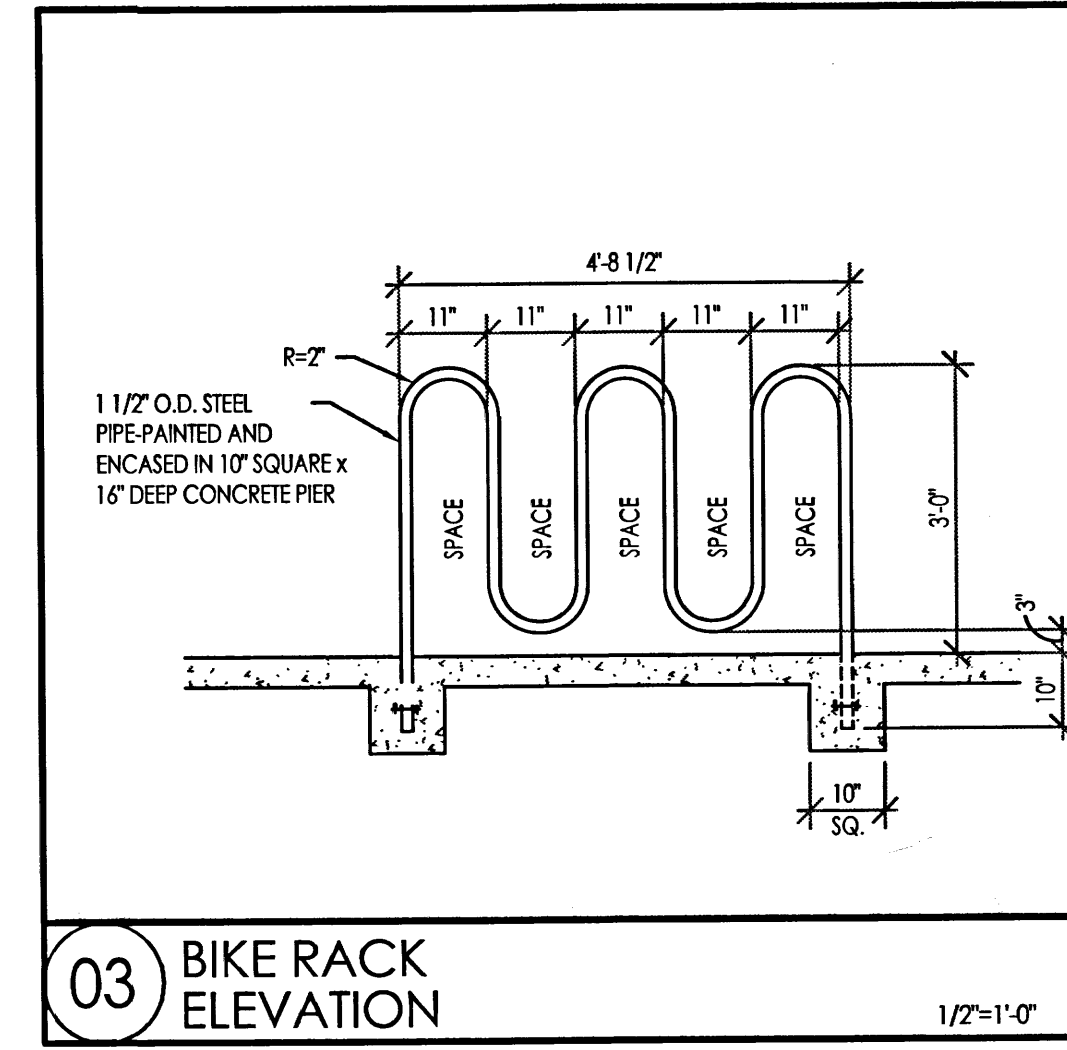
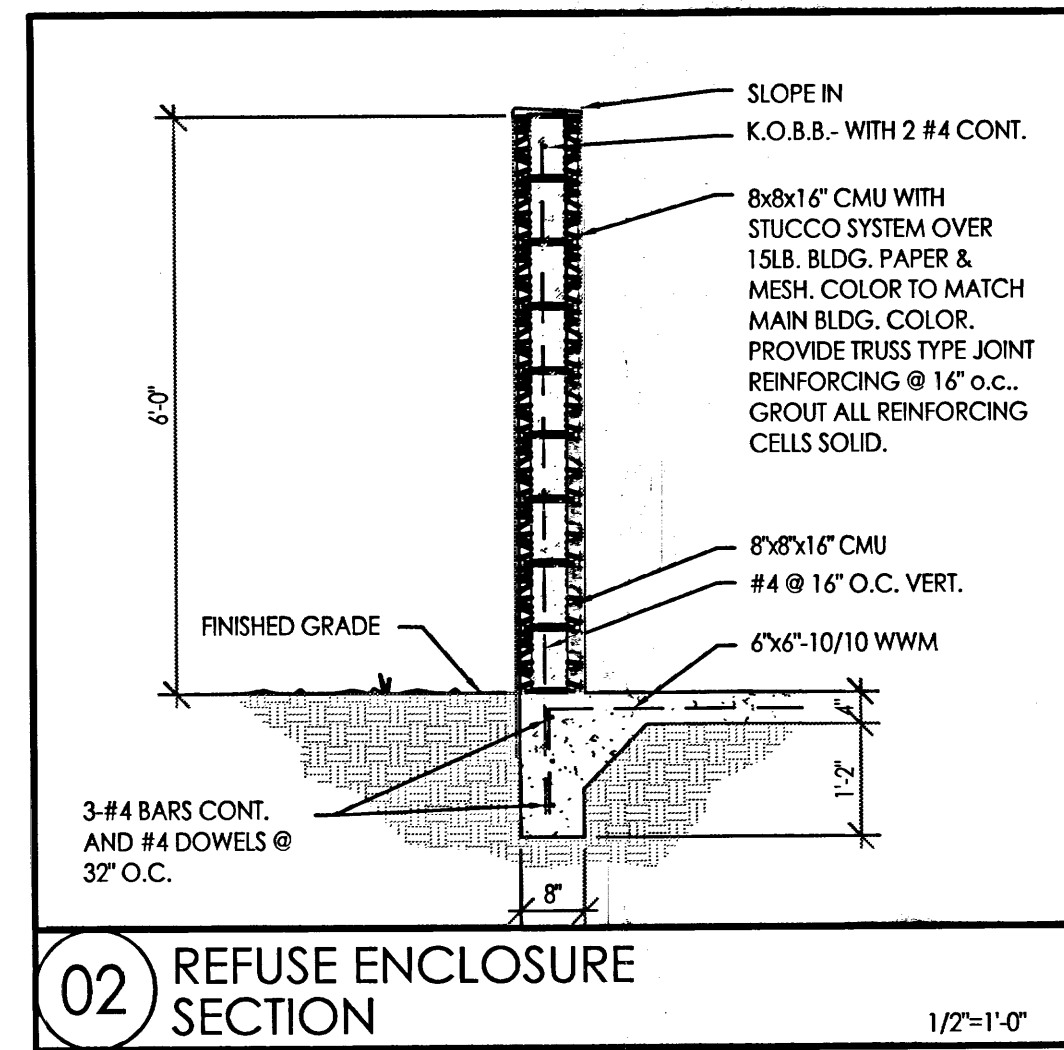
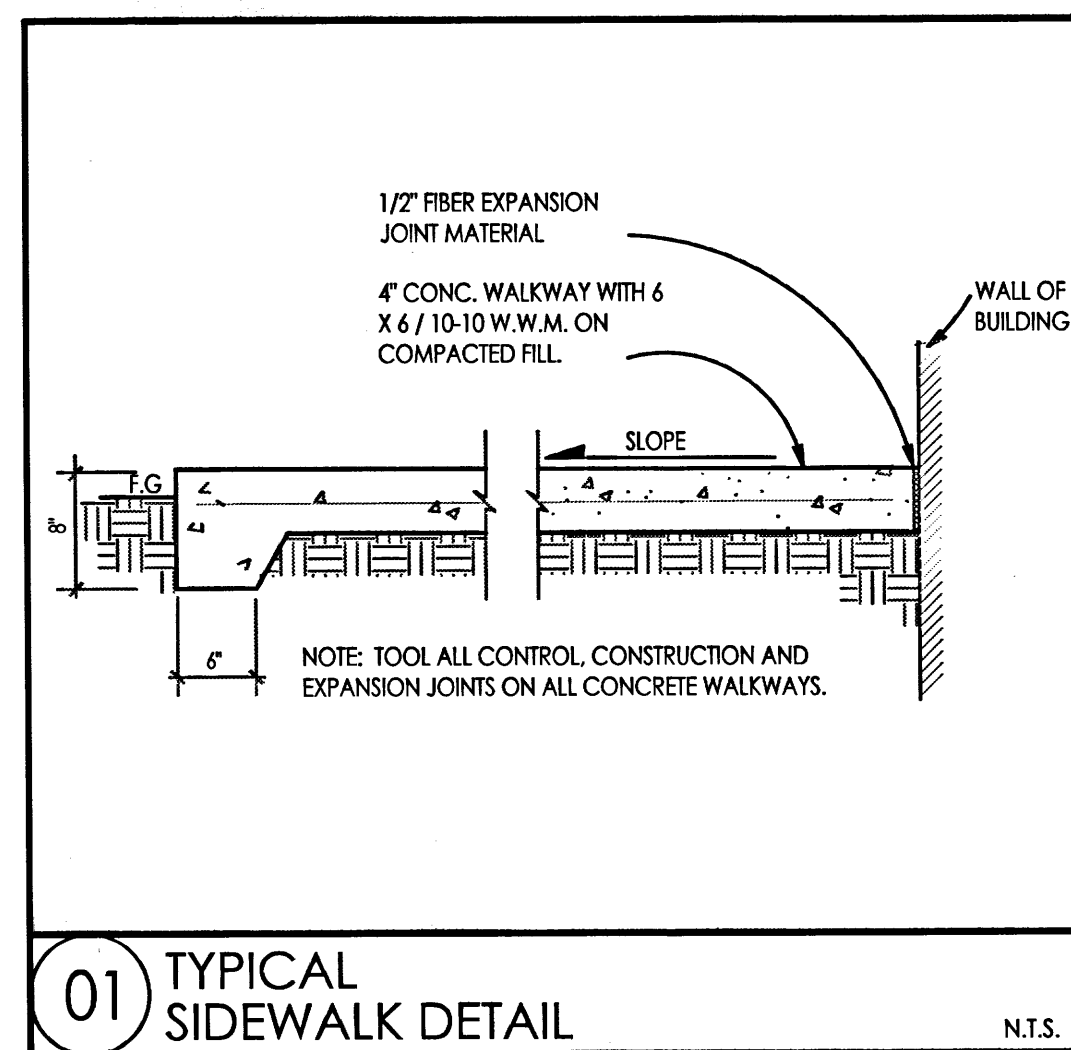
REVISION DATE

STATE OF NEW MEXICO
REGISTERED ARCHITECT
RICHARD P. RBA
No. 1240

RBA
ARCHITECTURE
110 4 Park Ave. SW
Albuquerque, NM 87102
www.rba.com

DATE
04-07-2015

SHEET NUMBER
C-1.0



INNOVA PLAZA

PROJECT TEAM

OWNER

DOUG ADAMS
GLAD LLC
P.O. BOX 1111
CEDAR CREST, NM 87008

ARCHITECT

RBA Architecture
110 4 Park Ave. SW
Albuquerque, NM 87102
505-242-1859

ELECTRICAL

NORTHBRIDGE ELEC.
328 RANCHITOS NW
ALBUQUERQUE, NM 87114
(505) 898-7245

MECHANICAL

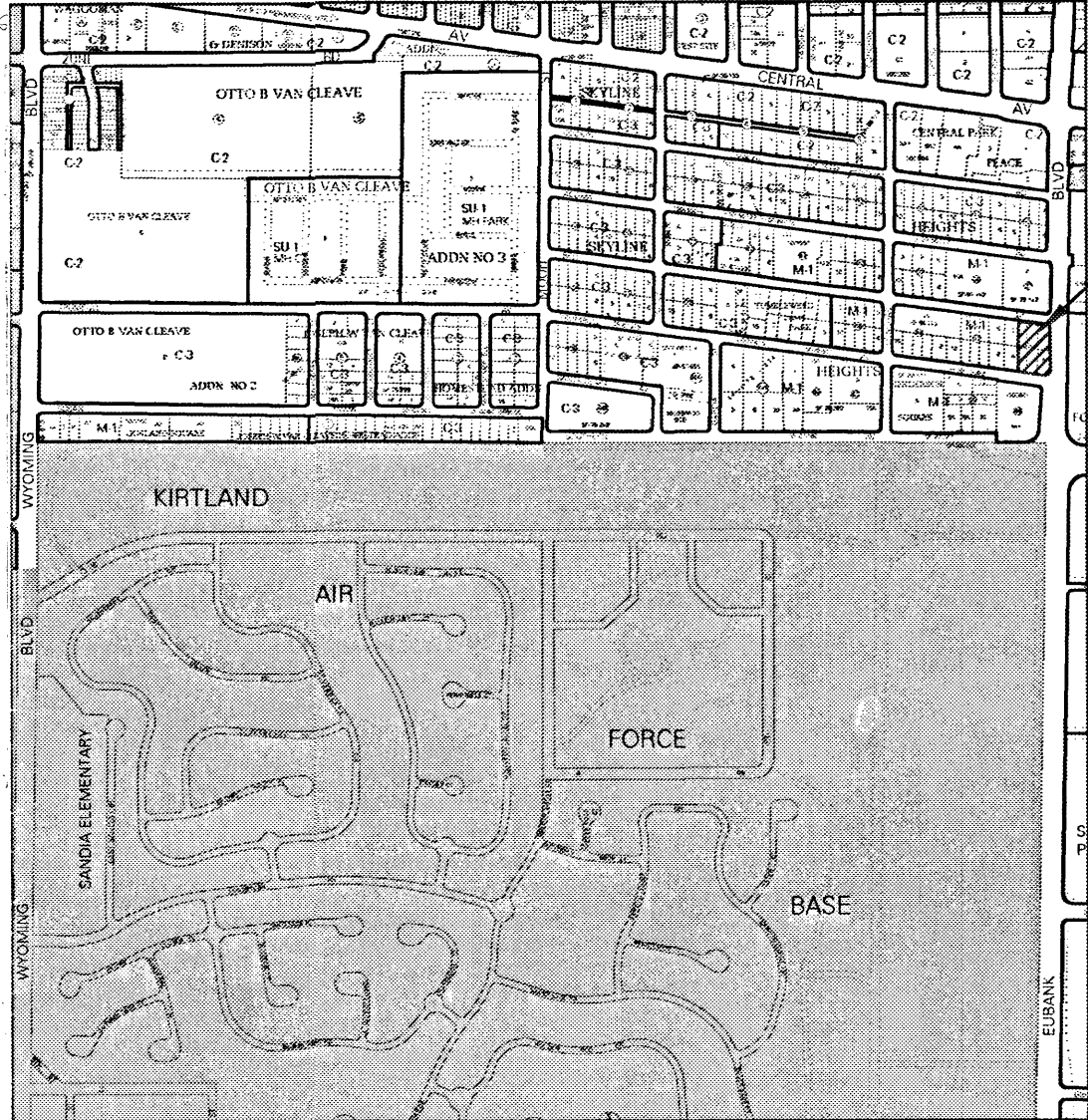
DSL ASSOCIATES
299 Garcia Rd. NW
Albuquerque, NM 87114
(505) 980-0238

CONTRACTOR

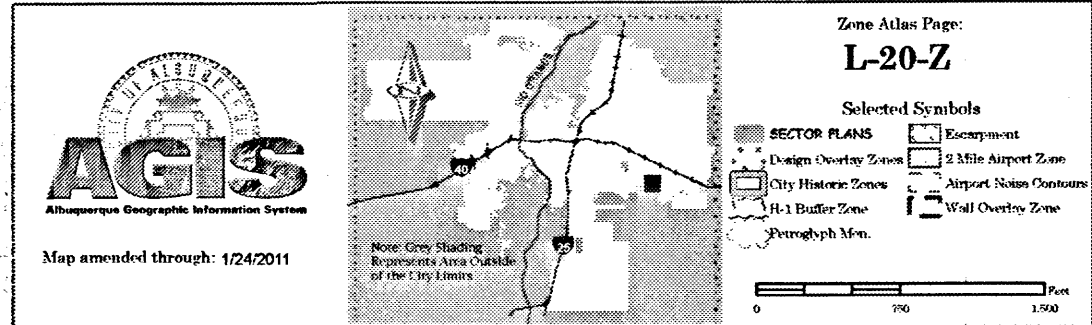
KIMCON INC.
405 DARTMOUTH SE
ALBUQUERQUE, NM 87106
(505) 620-4993



SOUTHWEST RENDERING



SITE



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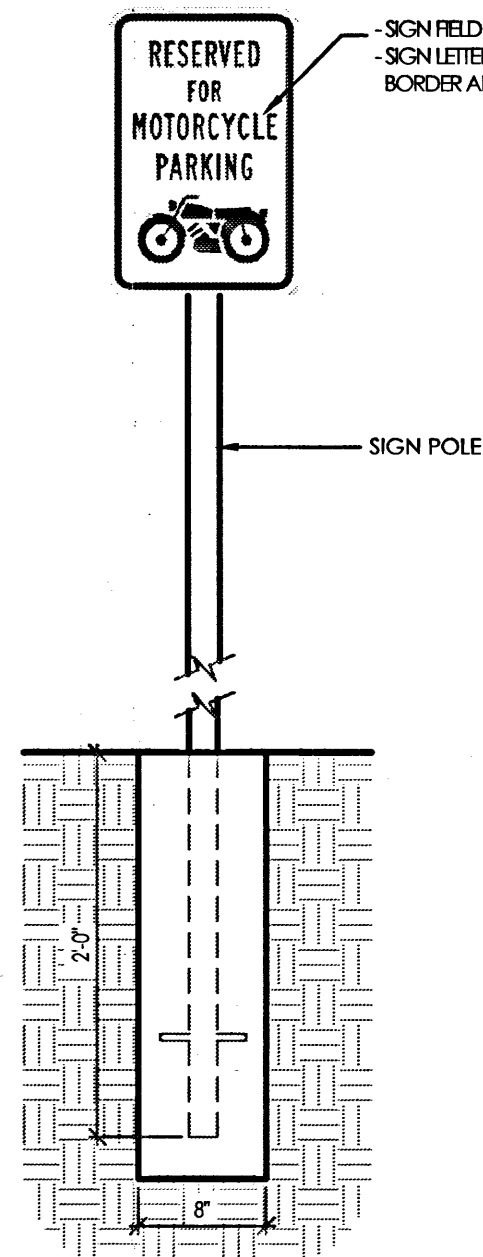
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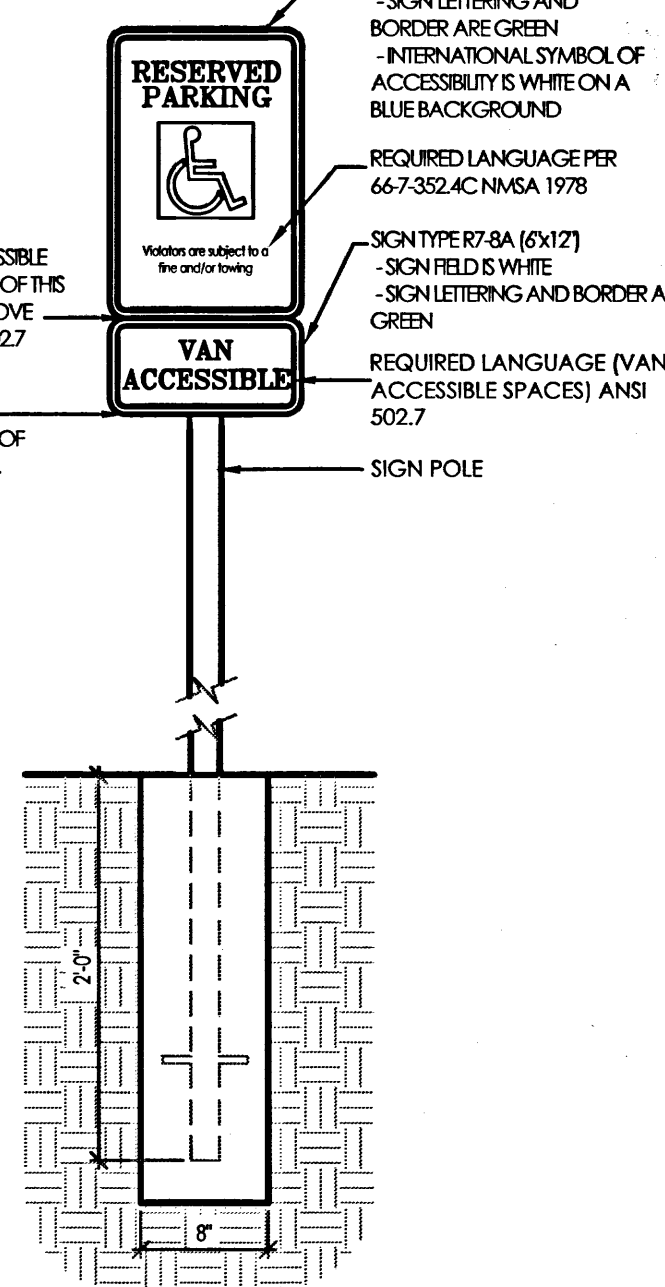
KEYED NOTES

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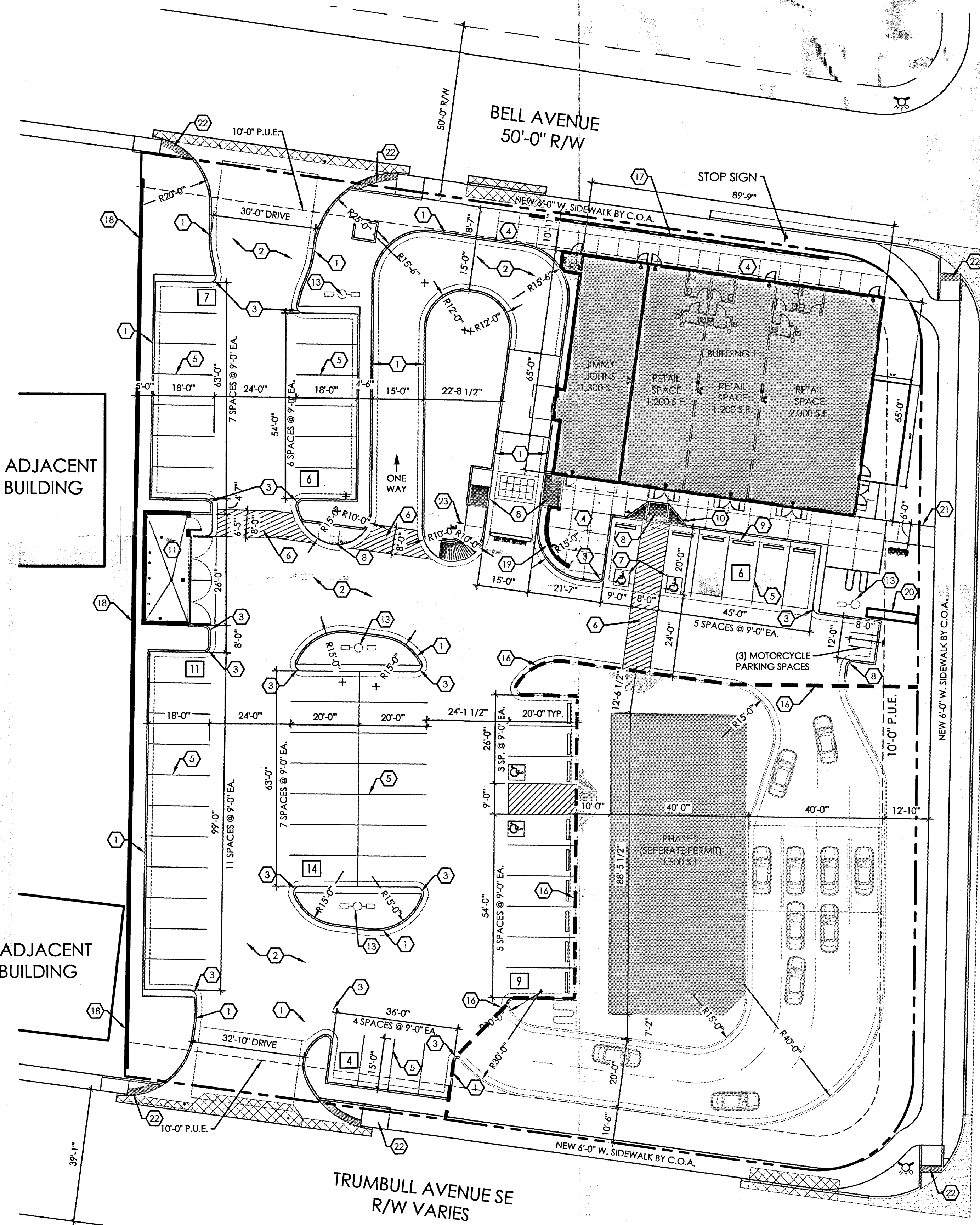
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B MOTORCYCLE PARKING SIGN DETAIL
SCALE: 1"=1'-0"



C HANDICAPPED PARKING SIGN DETAIL
SCALE: 1"=1'-0"



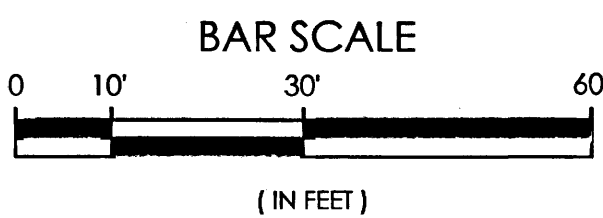
ADJACENT BUILDING

ADJACENT BUILDING

TRUMBULL AVENUE SE
R/W VARIES

EUBANK BLVD.
R/W VARIES

A OVERALL SITE PLAN
SCALE: 1"=20'-0"

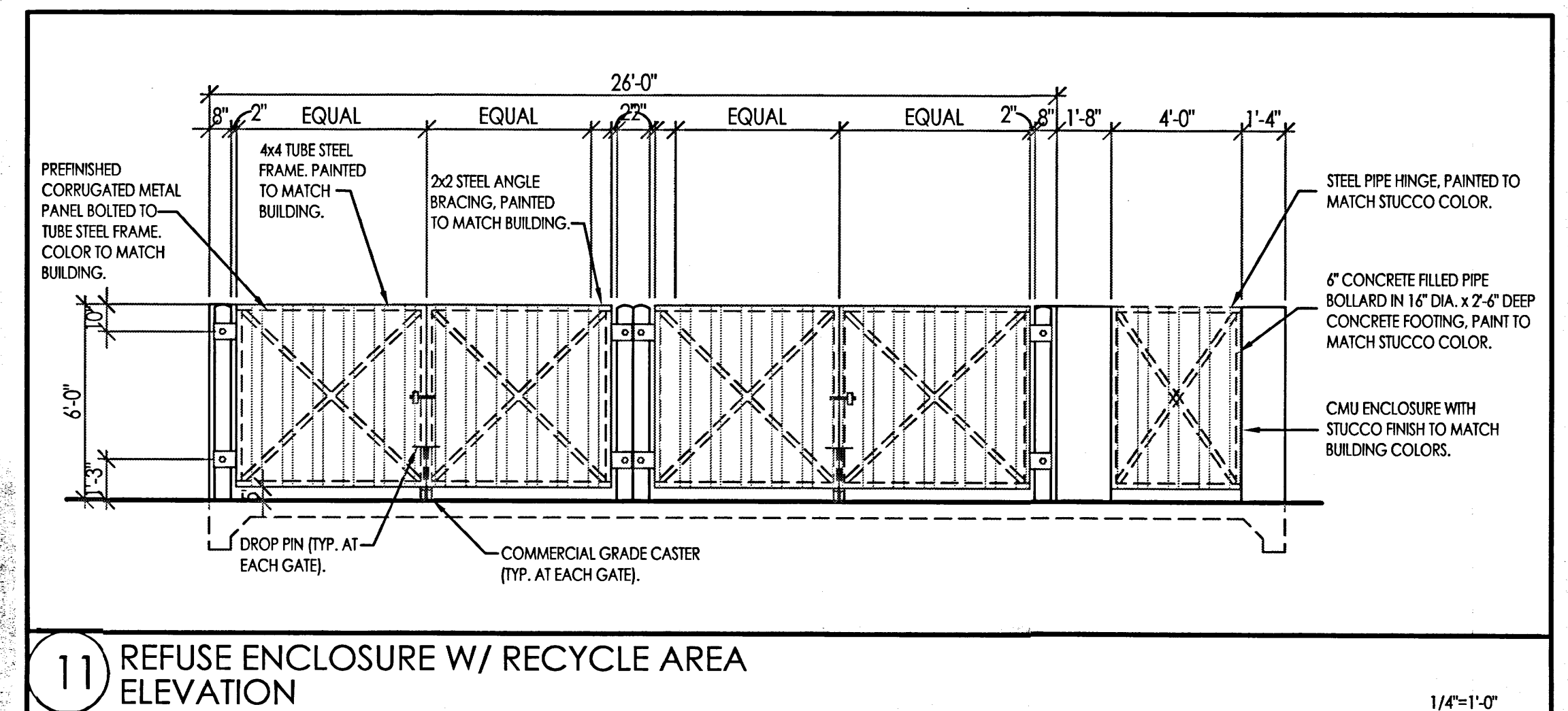
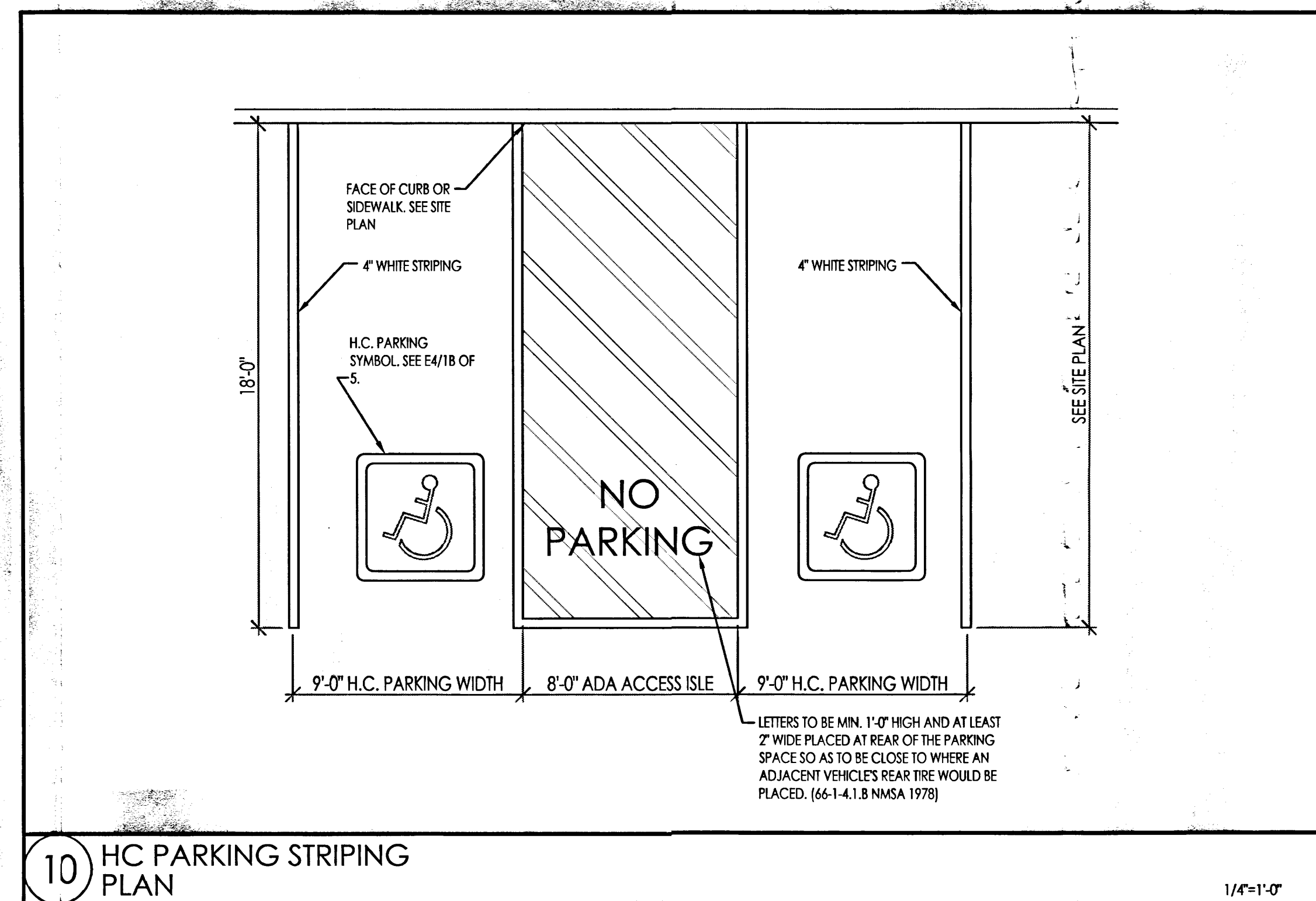
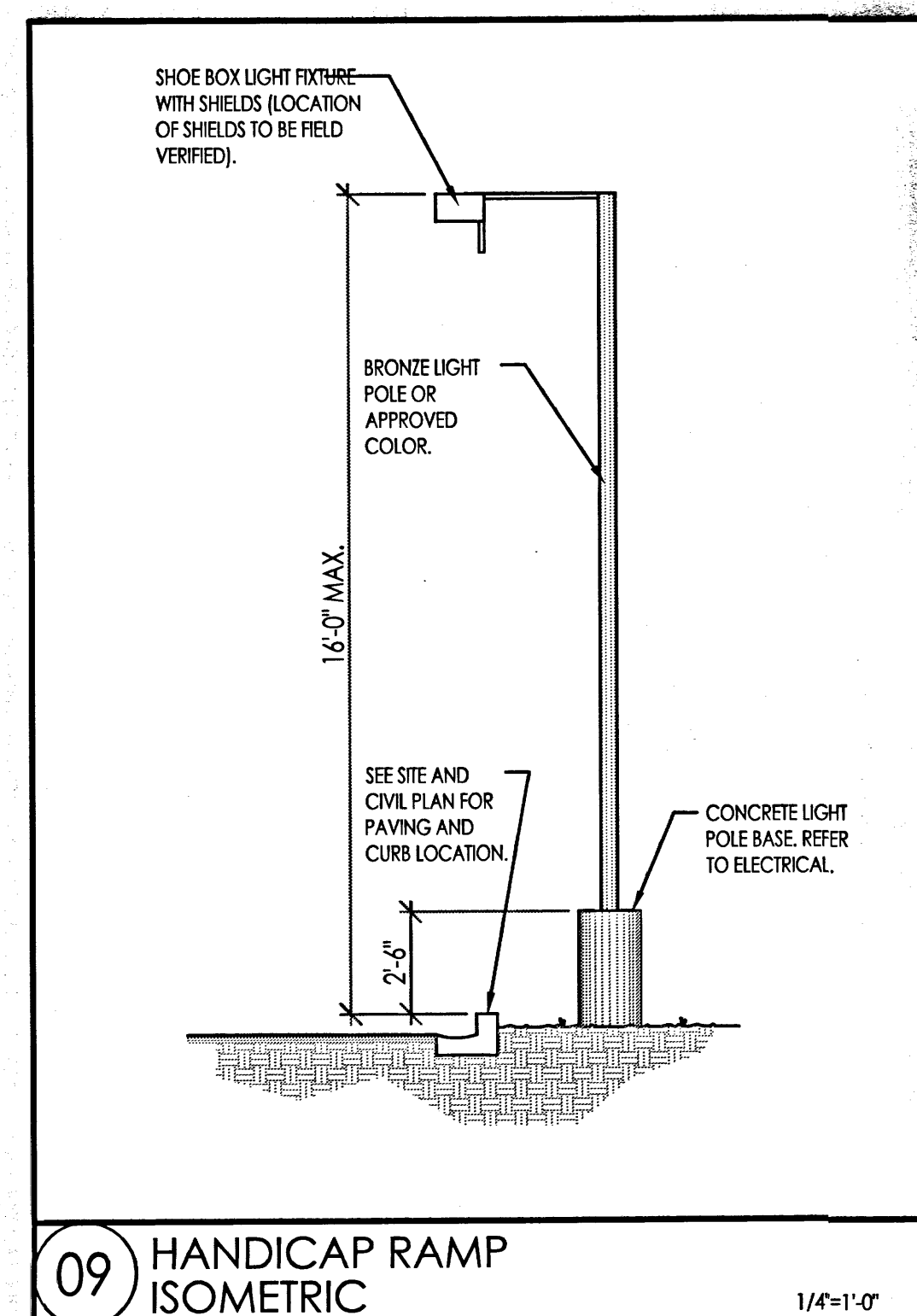
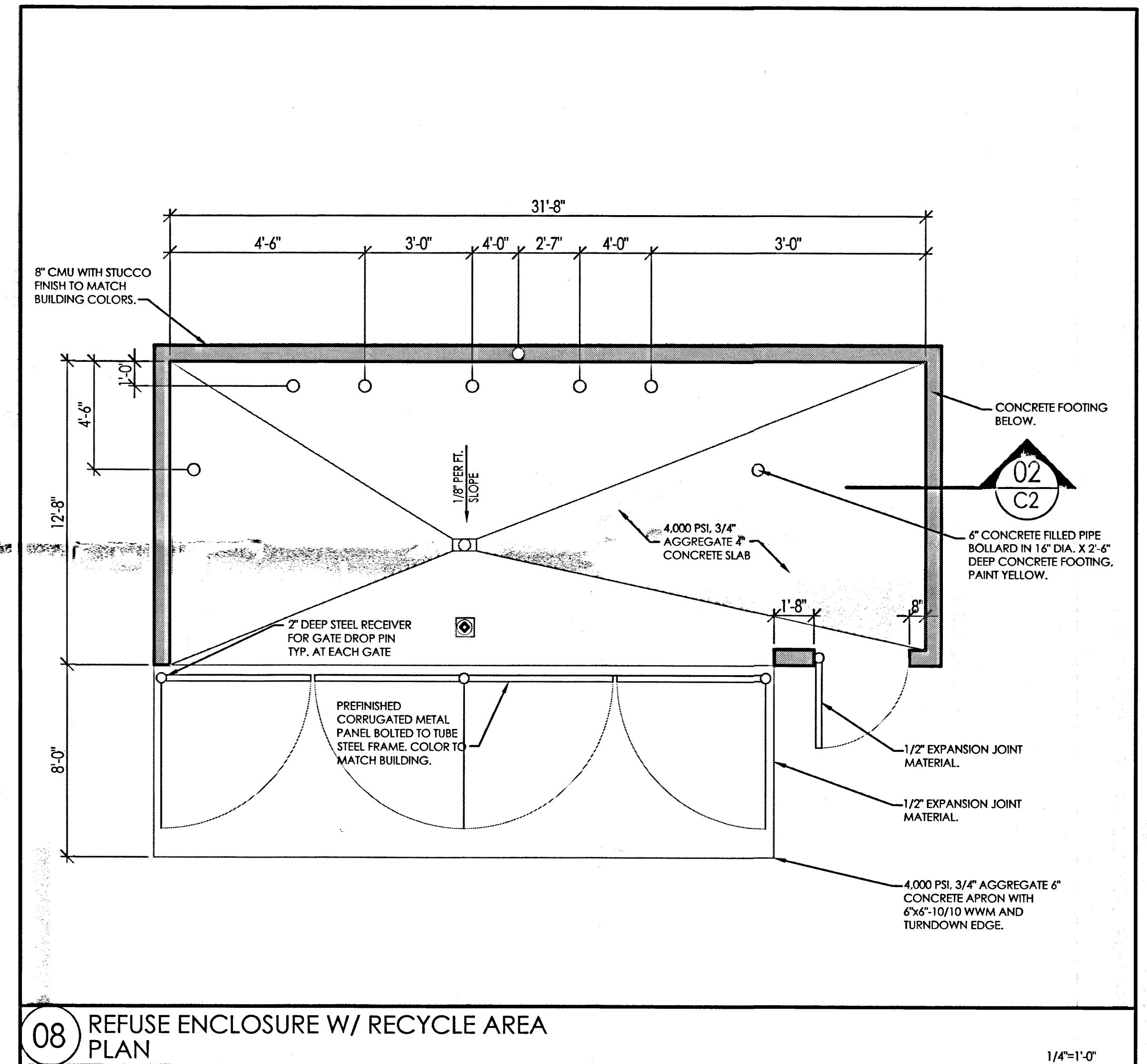
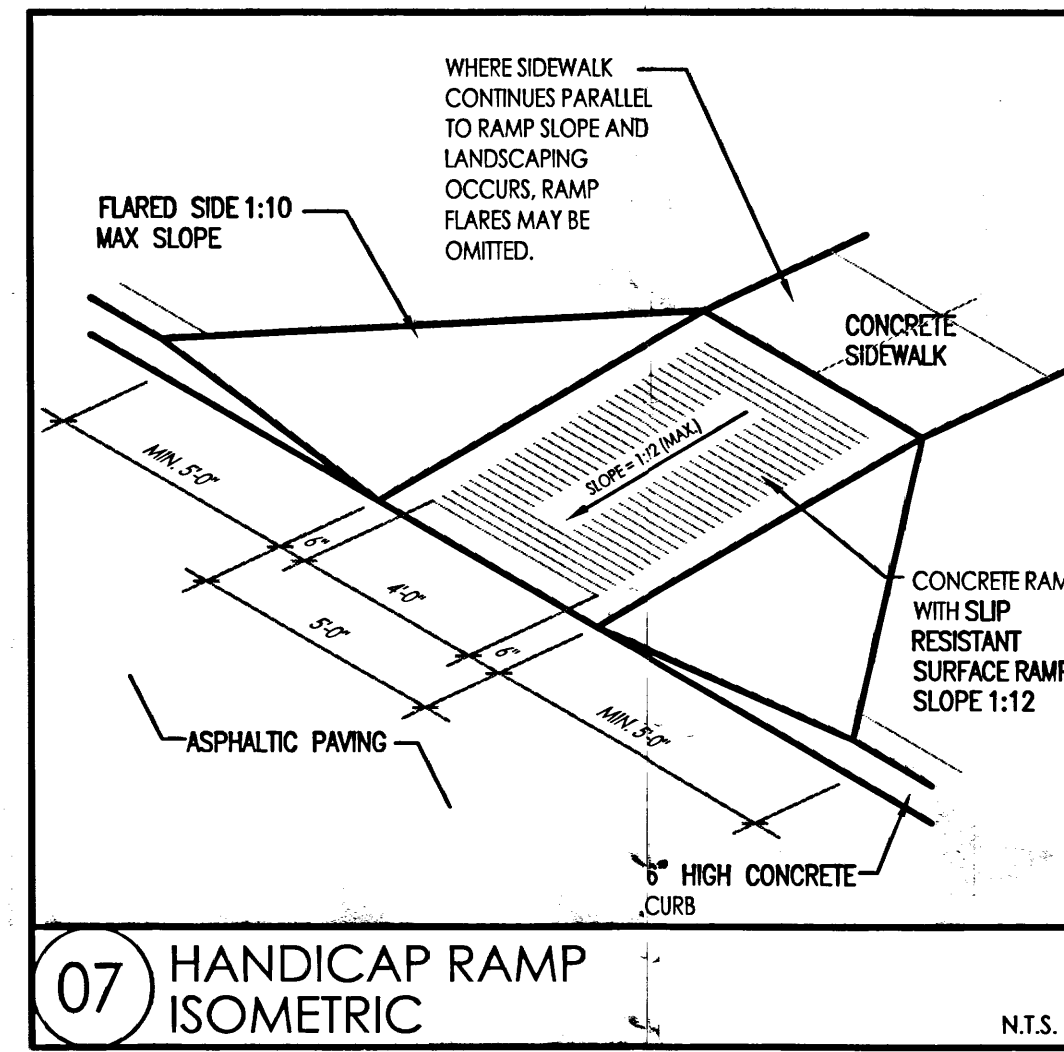
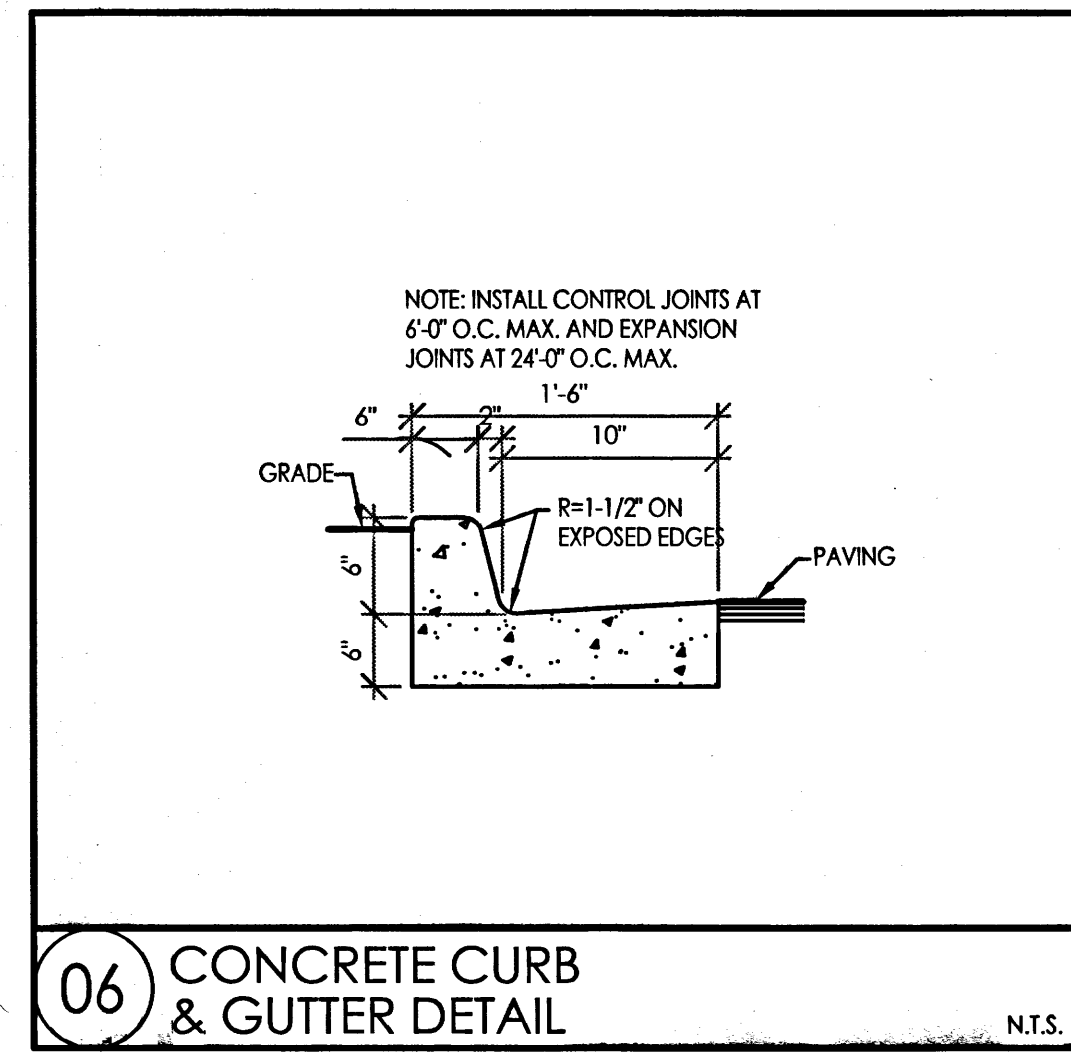
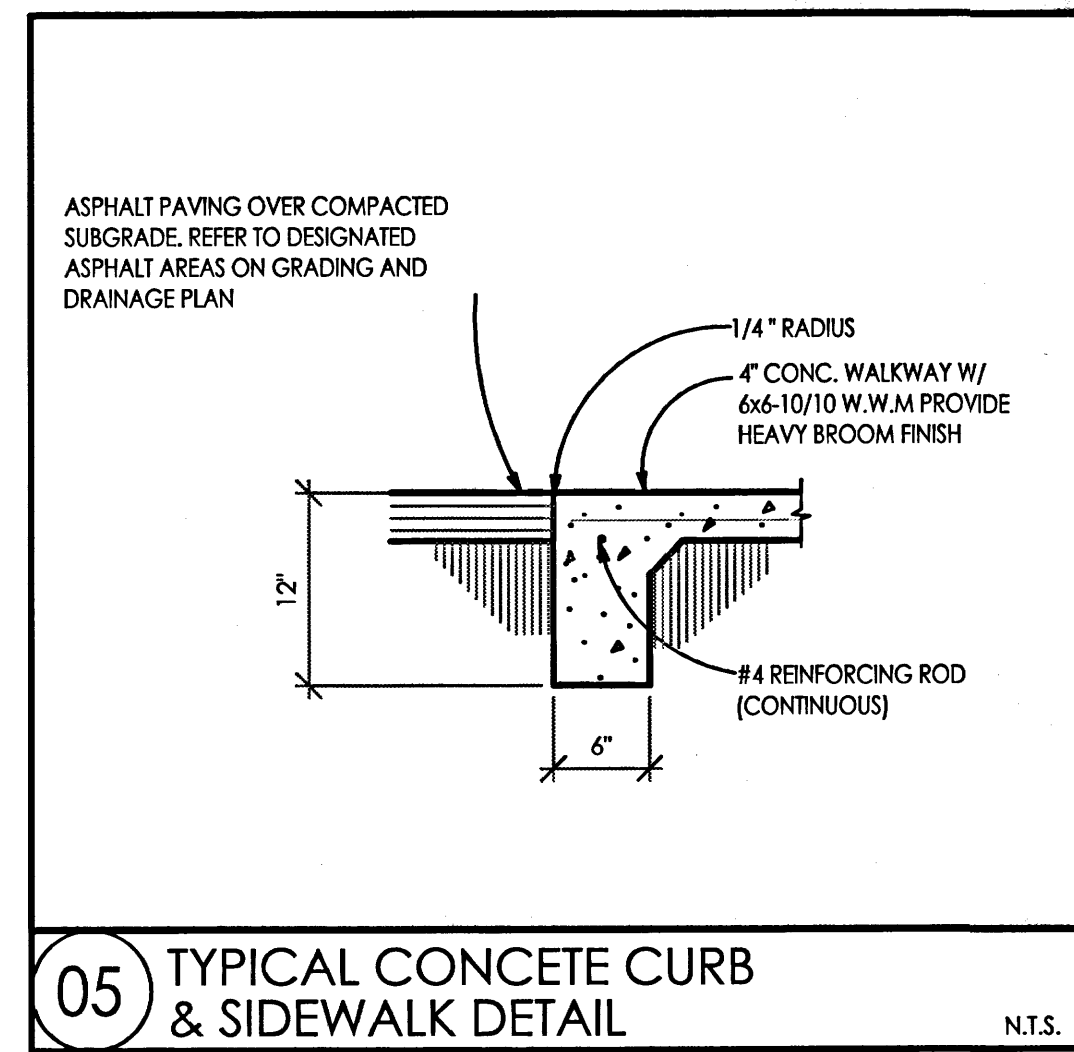
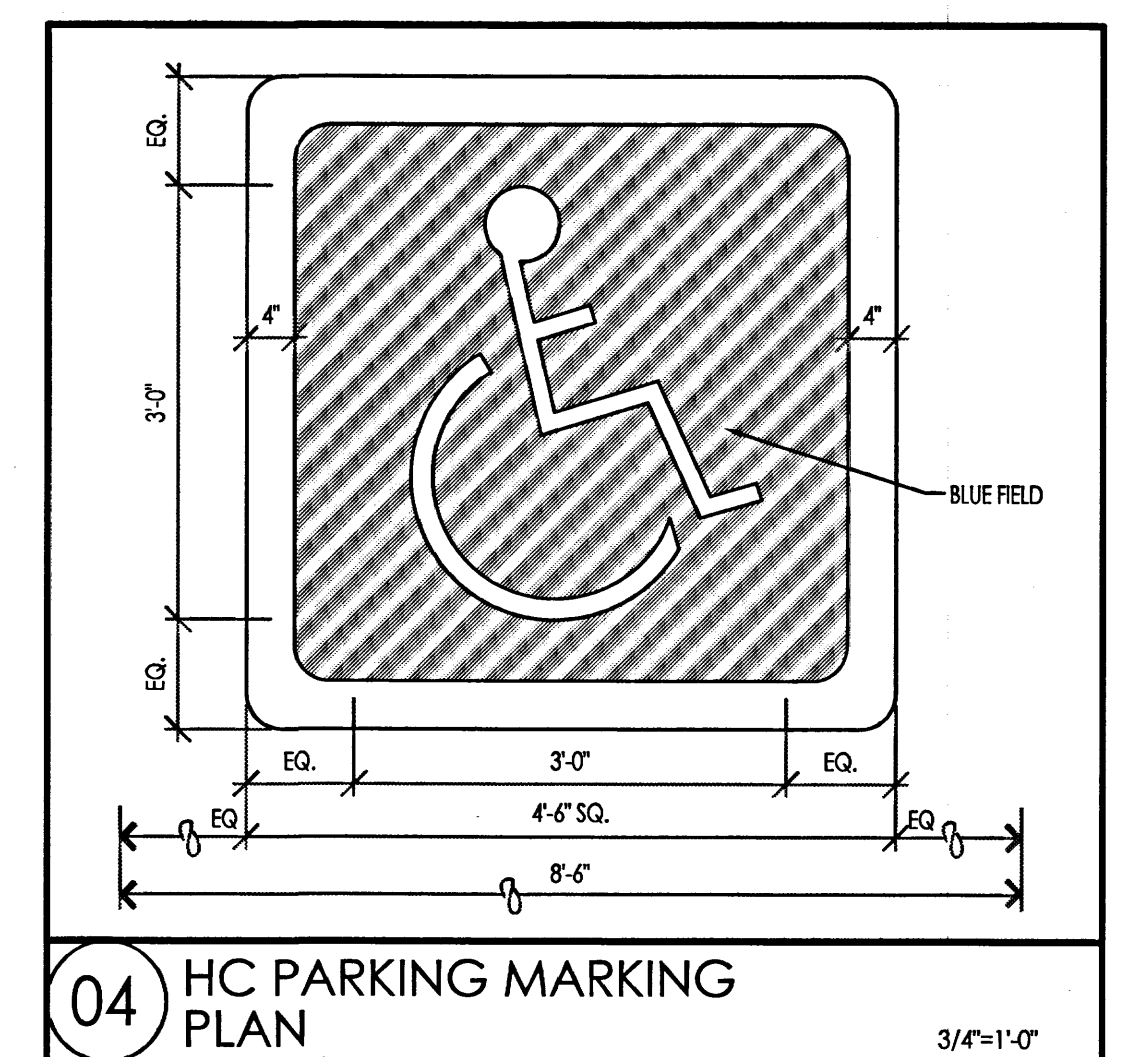
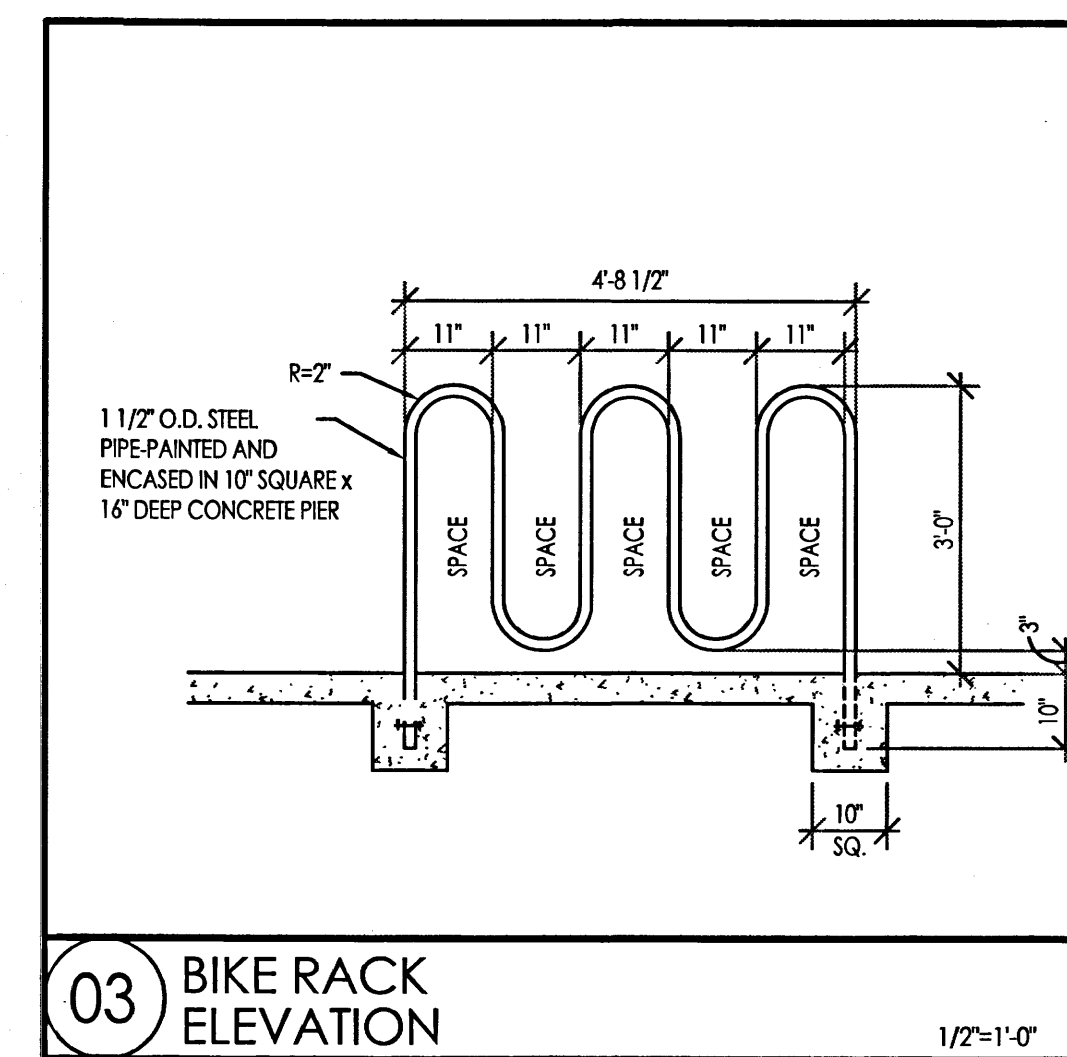
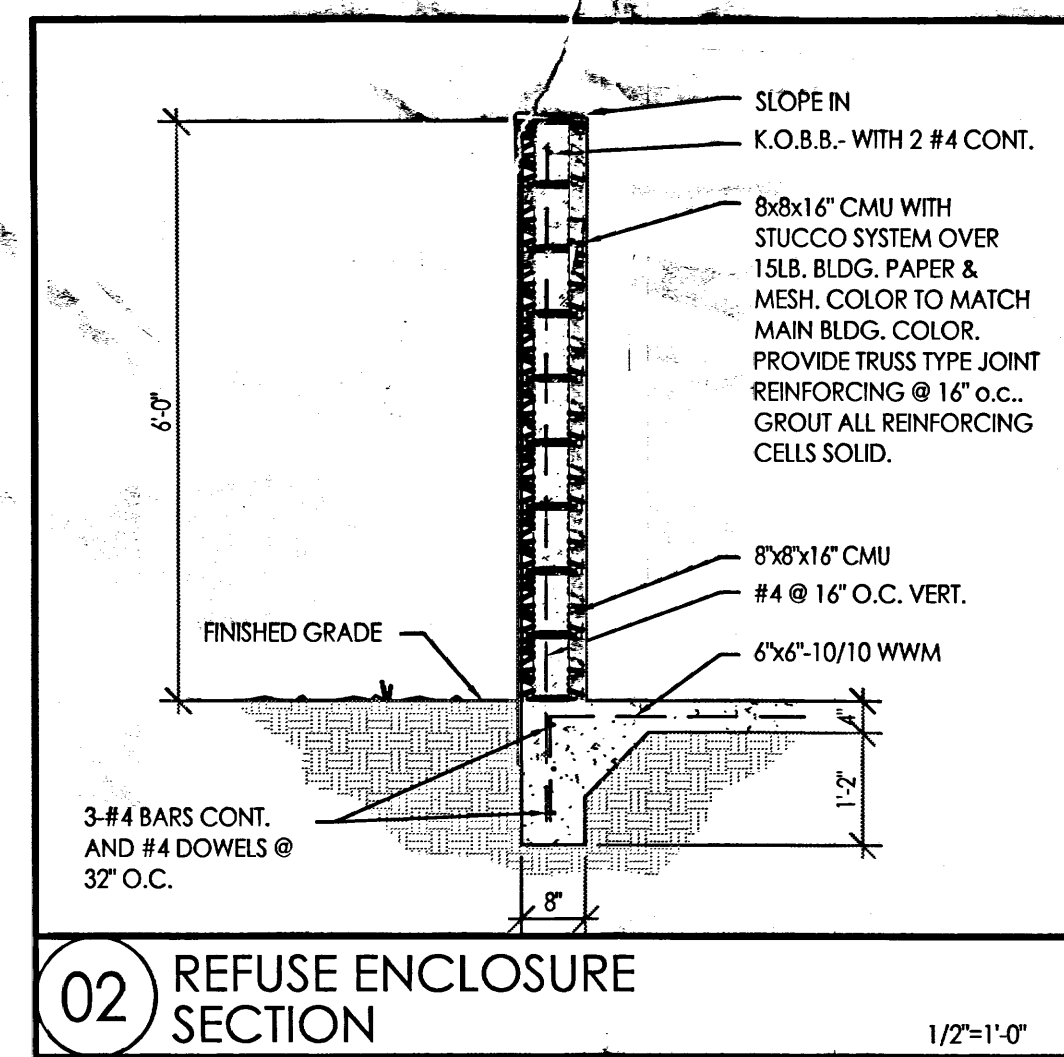
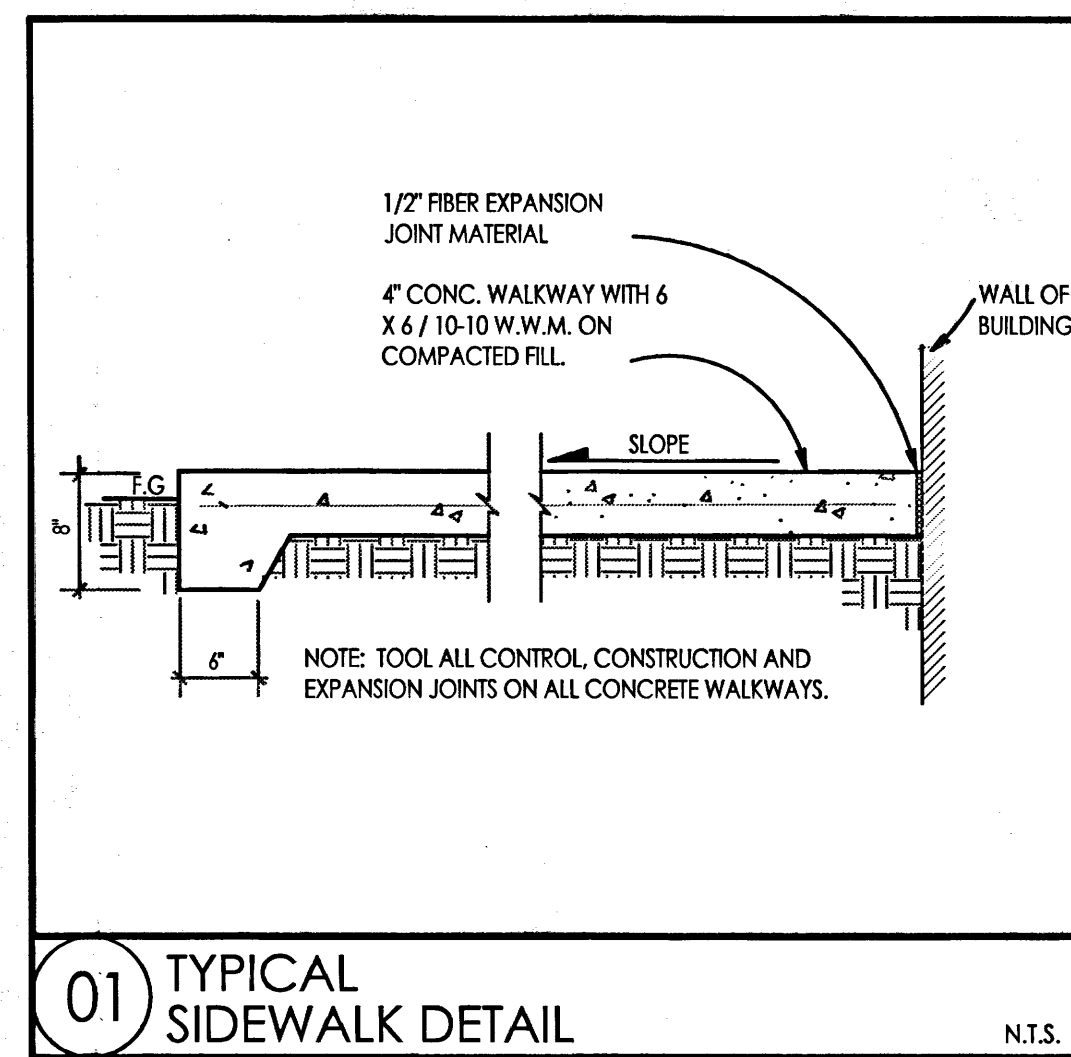


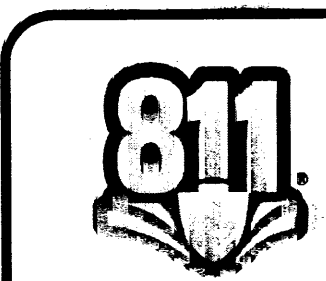
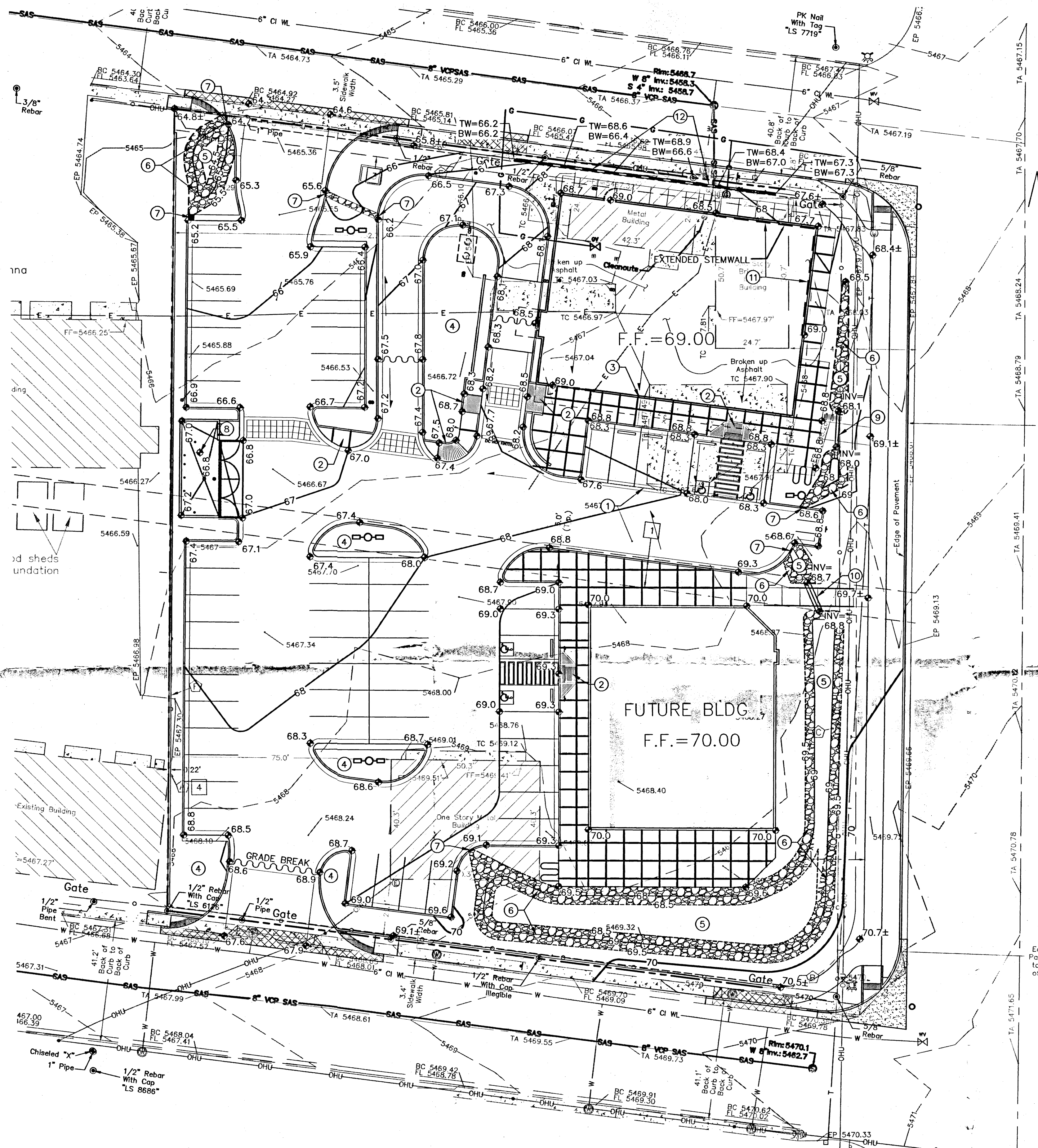
INNOVA PLAZA - SITE DEVELOPMENT
OVERALL SITE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

REVISION DATE

DATE
04-07-2015

SHEET NUMBER
C-1.0



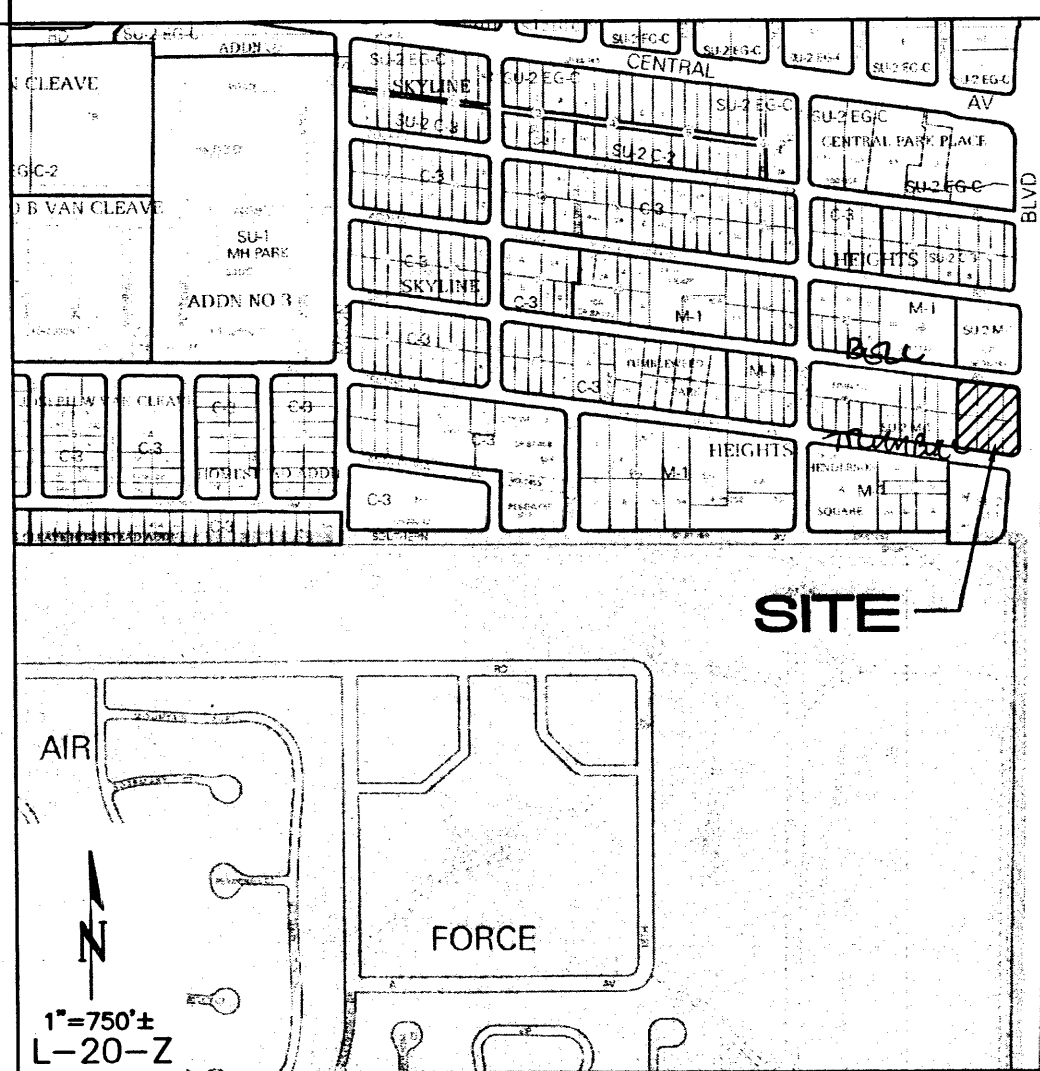


Know what's below.
Call before you dig.

KEYED NOTES

1. CONCRETE ALLEY GUTTER PER DETAIL ON SHEET CG-501.
2. HANDICAP RAMP PER ARCHITECTURAL SITE PLAN.
3. TRENCH DRAIN THROUGH SIDEWALK PER DETAIL ON SHEET CG-501. ADJUST LOCATION AS NECESSARY TO MATCH ROOF DRAIN.
4. DEPRESS LANDSCAPING TO PROVIDE WATER HARVESTING.
5. WATER HARVESTING AREA.
6. 12" THICK FRACTURED FACE ROCK, ON SIDE SLOPES OF WATER HARVESTING POND OVER GEOTEX 501 NON-WOVEN GEO-TEXTILE. VARY ROCK SIZE FROM 4" TO 8" DIA. (6" MEDIAN.) TOP OF ROCK ELEVATIONS MUST MATCH PROPOSED GRADE TO CONVEY WATER AT DISCHARGE POINTS.
7. 2' WIDE CURB OPENING PER DETAIL ON SHEET CG-501.
8. GRADE CONCRETE DUMPSTER PAD TOWARDS DRAIN.
9. 2-4" PVC PIPES THROUGH SIDEWALK PER DETAIL ON SHEET CG-501.
10. 3-4" PVC PIPES THROUGH SIDEWALK PER DETAIL ON SHEET CG-501.
11. EXTENDED STEMWALL.
12. RETAINING WALL.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION: LOT 1A, BLOCK 48, SKYLINE HEIGHTS SUBDIVISION

SITE AREA: 1.43 ACRES

FLOOD ZONE: THIS SITE IS OUTSIDE THE 100-YEAR FLOODPLAIN PER FEMA FIRM PANEL NO. 35001C00358H DATED 08/16/2012.

ENGINEER: GENEVIEVE DONART
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, APO, NM 87108
PHONE: (505) 268-8828

SURVEYOR: CARTESIAN SURVEYS, INC.
P.O. BOX 44414
RIO RANCHO, NM 87174
PHONE: (505) 896-3050

BENCHMARK: ACS MONUMENT "4-L22"
ELEV=5586.425 (NAVD 1988)

EXISTING CONDITIONS: THE EXISTING SITE WAS FORMERLY A SCHOOL BUS YARD. THERE IS SOME CONCRETE REMAINING FROM OLD BUILDING FOUNDATIONS. THE SITE SLOPES FROM THE SOUTHEAST TO THE NORTHWEST AT APPROXIMATELY 1.5%.

ONSITE STORM WATER OF 5.5 CFS DISCHARGES TO BELL AVE OVER THE SIDEWALK. THE ADJACENT HALF OF EUBANK BLVD DRAINS ONTO THE PROPERTY.

PROPOSED CONDITIONS: THE PROPOSED SITE WILL HAVE ONE 5,700 SF BLDG. (NORTH) AND A SECOND PAD FOR A FUTURE BUILDING (SOUTH). CURB IS ADDED ALONG THE ADJOINING EDGE OF EUBANK, WHICH WILL REDIRECT OFFSITE FLOW TO THE NORTH. THE SITE DISCHARGES 6.8 CFS TO BELL AVE FROM THE NORTHWEST DRIVEPAD.

WATER HARVESTING AREAS THROUGHOUT THE SITE REDUCE POLLUTANT DISCHARGE.

CALCULATIONS

CALCULATIONS: Innova Plaza :

Based on Drainage Design Criteria for City of Albuquerque
Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE: 62108.63 SF = 1.4 AC.

HISTORIC FLOWS:

	Treatment	%
Area A	0	0%
Area B	0	0%
Area C	46581.473	75%
Area D	15527.158	25%
TOTAL	62108.63	100%

DEVELOPED FLOWS:

	Treatment	%	EXCESS PRECIP:
Area A	0	0%	Precip. Zon 3
Area B	3105	5%	E _A = 0.66
Area C	6211	10%	E _B = 0.92
Area D	52792	85%	E _C = 1.29
TOTAL	62108.63	100%	E _D = 2.36

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Historic = 1.56 in. Developed E = 2.18 in.

On-Site Volume of Runoff: V₃₆₀ = E * A / 12

Historic = 8061 CF Developed V = 11288 CF

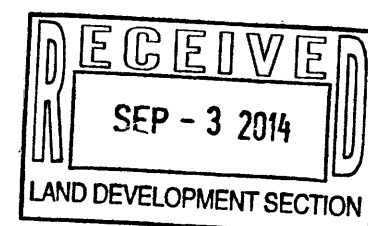
On-Site Peak Discharge Rate: Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43,560

For Precipitation 7.3

Q _{pA} = 1.87	Q _{pC} = 3.45
Q _{pB} = 2.60	Q _{pD} = 5.02
Historic = 5.5 CFS	Developed Q = 6.8 CFS

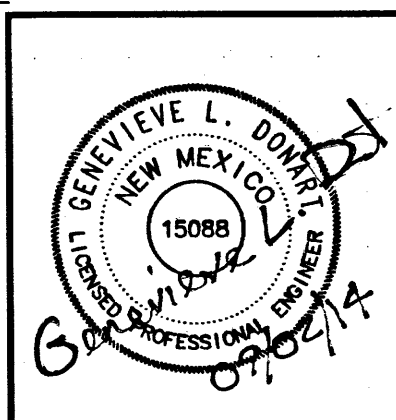
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- FLOW ARROW
- FF = 6881.0 FINISH FLOOR ELEVATION
- TW=99.0 BW=95.0 GROUND AT TOP OF RETAINING WALL - ELEVATION
- GROUND AT BASE OF RETAINING WALL
- INV=72.5 INVERT ELEVATION



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2055 CG-101.dwg Aug 26, 2014

MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
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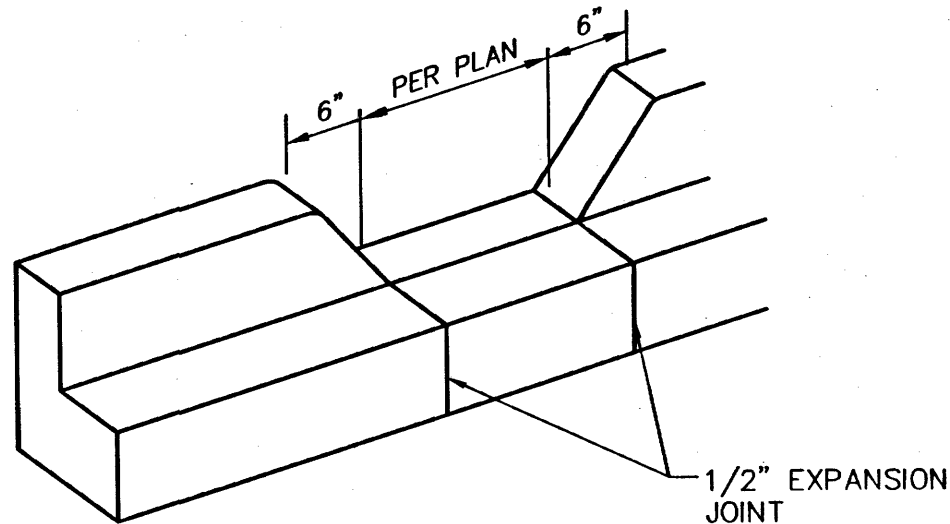
INNOVA PLAZA
EUBANK SE
ALBUQUERQUE NEW MEXICO

PROJECT NUMBER: STEPHEN DUNBAR, AIA
JOB NO.: XXXXX
DRAWN BY: BUB/DEC/JTS
SHEET TITLE: GRADING & DRAINAGE PLAN

DATE: 3/3/14
SCALE: AS NOTED
SHEET: CG-101

M:\PROJECTS\2000-2009\2005\DWG\2055 CG-501.dwg, 9/2/2014 10:24:45 AM, thor

GENERAL NOTES	GRADING GENERAL NOTES
<div>1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE AND NMDOT STANDARDS APPLY</div> <div>2. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.</div> <div>3. ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.</div> <div>4. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.</div> <div>5. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.</div> <div>6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.</div> <div>7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.</div> <div>8. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.</div> <div>9. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.</div> <div>10. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.</div> <div>11. CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.</div> <div>12. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.</div> <div>13. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.</div> <div>14. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.</div> <div>15. SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.</div> <div>16. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.</div> <div>17. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.</div> <div>18. A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE.</div> <div>19. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.</div> <div>20. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)</div>	<div>1. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.</div> <div>2. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.</div> <div>3. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.</div> <div>4. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.</div> <div>5. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.</div> <div>6. STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).</div> <div>7. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.</div> <div>8. ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.</div> <div>9. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.</div> <div>10. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.</div> <div>11. ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.</div> <div>12. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.</div> <div>13. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.</div>

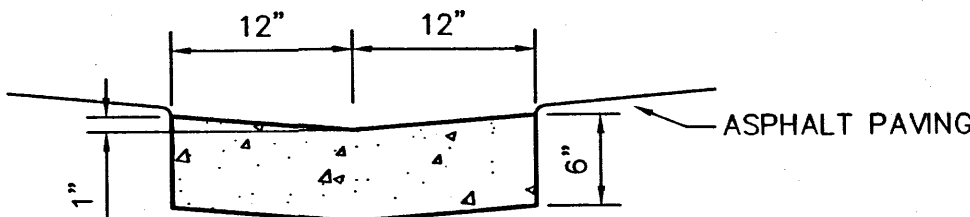


GENERAL NOTES

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

4 CURB OPENING

SCALE: N.T.S.

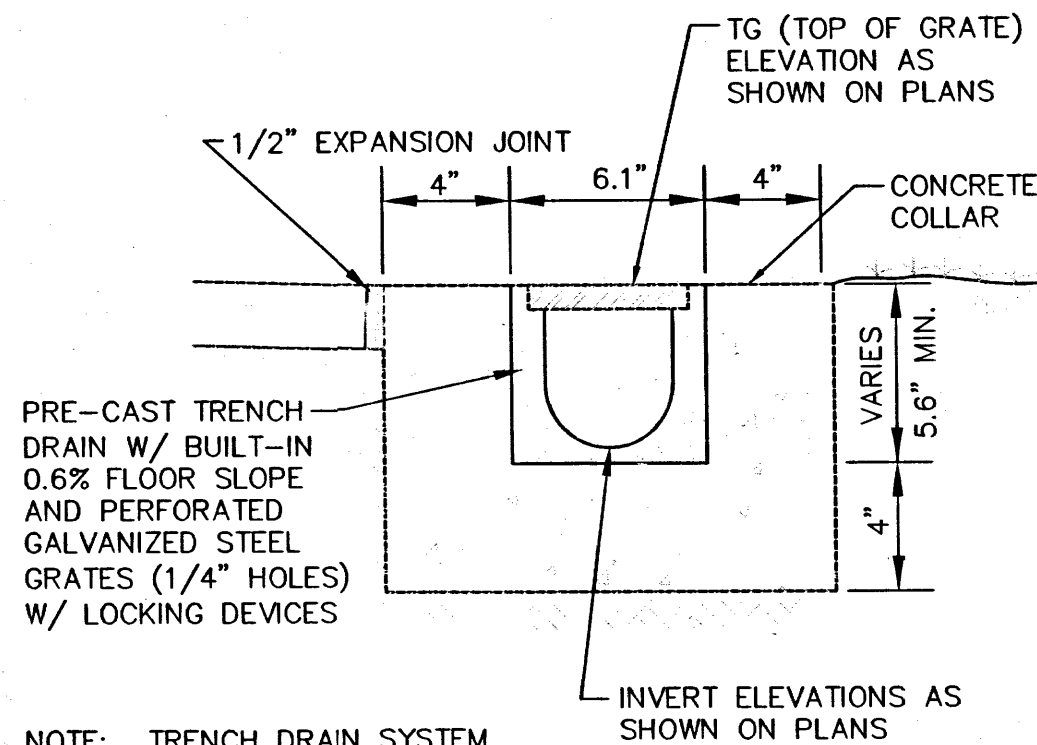


GENERAL NOTES

1. EDGES SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
2. CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
3. 1/2" EXPANSION JOINTS 48' O.C., CURB RETURNS AND EACH SIDE OF DRIVES. SEAL WITH _____
4. EDGE OF ASPHALT PAVING TO BE 1/2" ABOVE EDGE OF CONCRETE (TYP).

1 CONCRETE ALLEY GUTTER

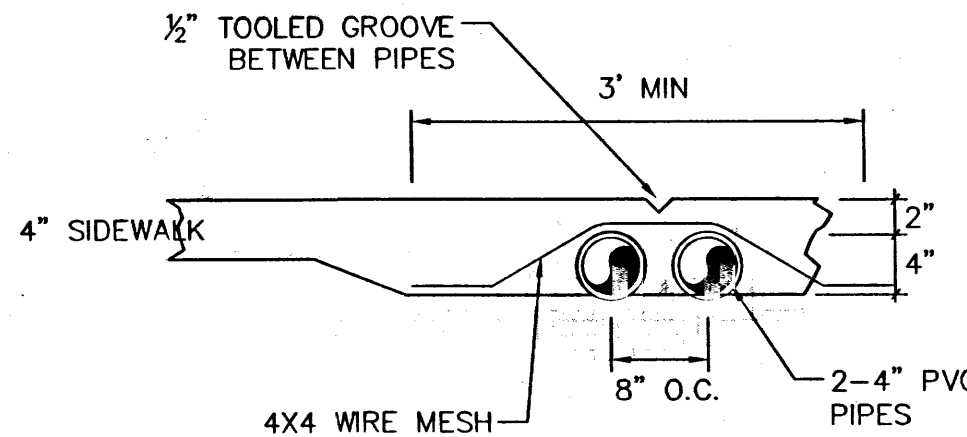
SCALE: N.T.S.



NOTE: TRENCH DRAIN SYSTEM BY ACO POLYMER PRODUCTS, OR APPROVED EQUAL.

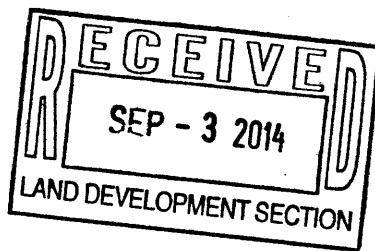
2 TRENCH DRAIN THROUGH SIDEWALK

SCALE: N.T.S.



3 4" PIPES THROUGH WALK

SCALE: N.T.S.



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REVISION

BY

DATE

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MODULUS ARCHITECTS
220 COPPER AVE. N.W. SUITE 350
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE
INNOVA PLAZA
EUBANK SE
ALBUQUERQUE NEW MEXICO

DRAWN BY
BUD/ECU/JS

JOB NO.
XXXXX

PROJECT MANAGER
STEPHEN DUNBAR, AIA

SHEET TITLE
GRADING DETAILS

DATE
3/3/14

SCALE
AS NOTED

SHEET
CG-501

OF
1

INNOVA PLAZA

PROJECT TEAM

OWNER
DOUG ADAMS
GLAD LLC
P.O. BOX 1111
CEDAR CREST, NM 87008

ARCHITECT
RBA Architecture
110 4 Park Ave. SW
Albuquerque, NM 87102
505-242-1859

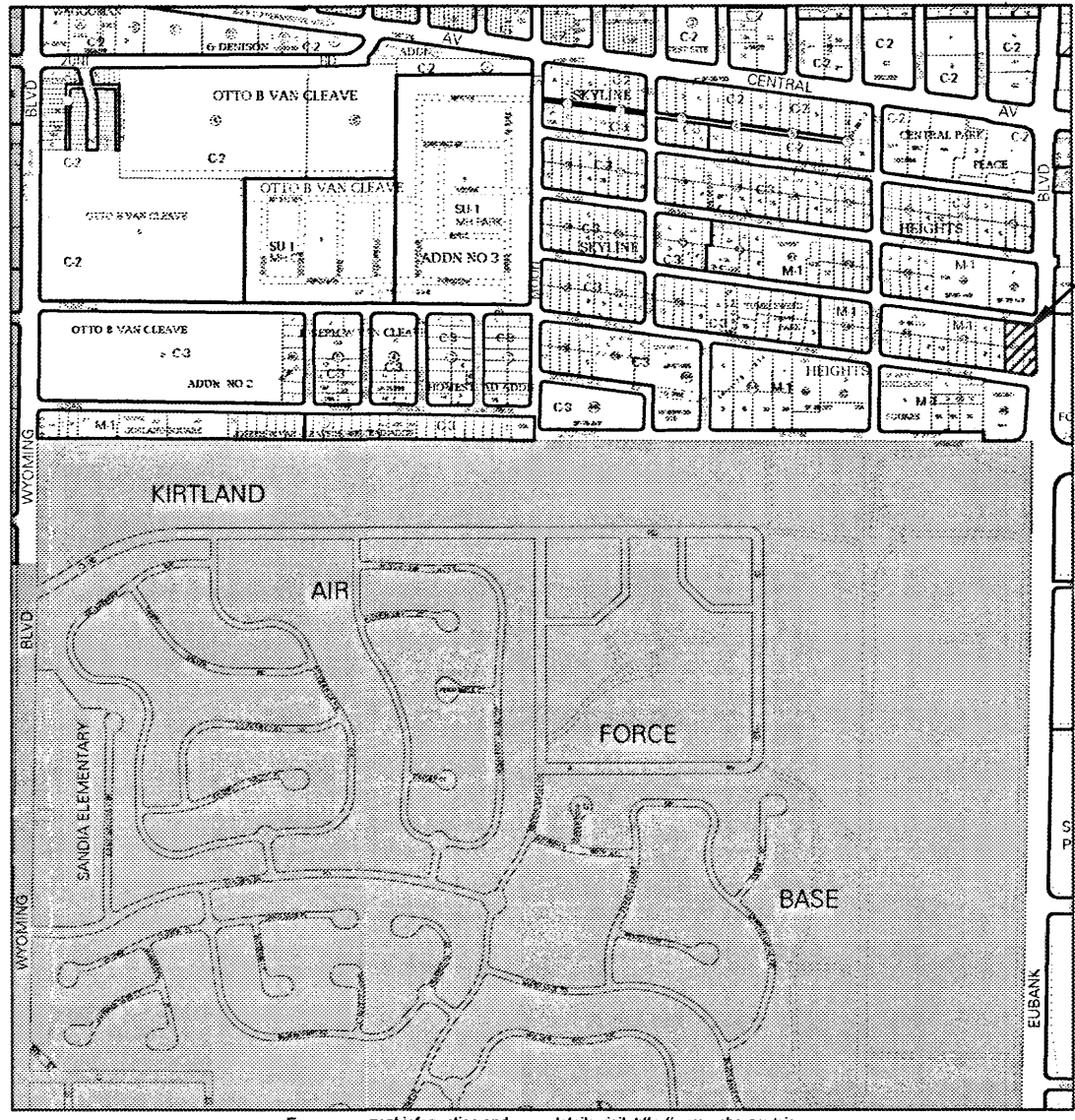
ELECTRICAL
NORTHEDGE ELEC.
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ALBUQUERQUE, NM 87114
(505) 898-7245

MECHANICAL
DSL ASSOCIATES
299 Garcia Rd. NW
Albuquerque, NM 87114
(505) 980-0238

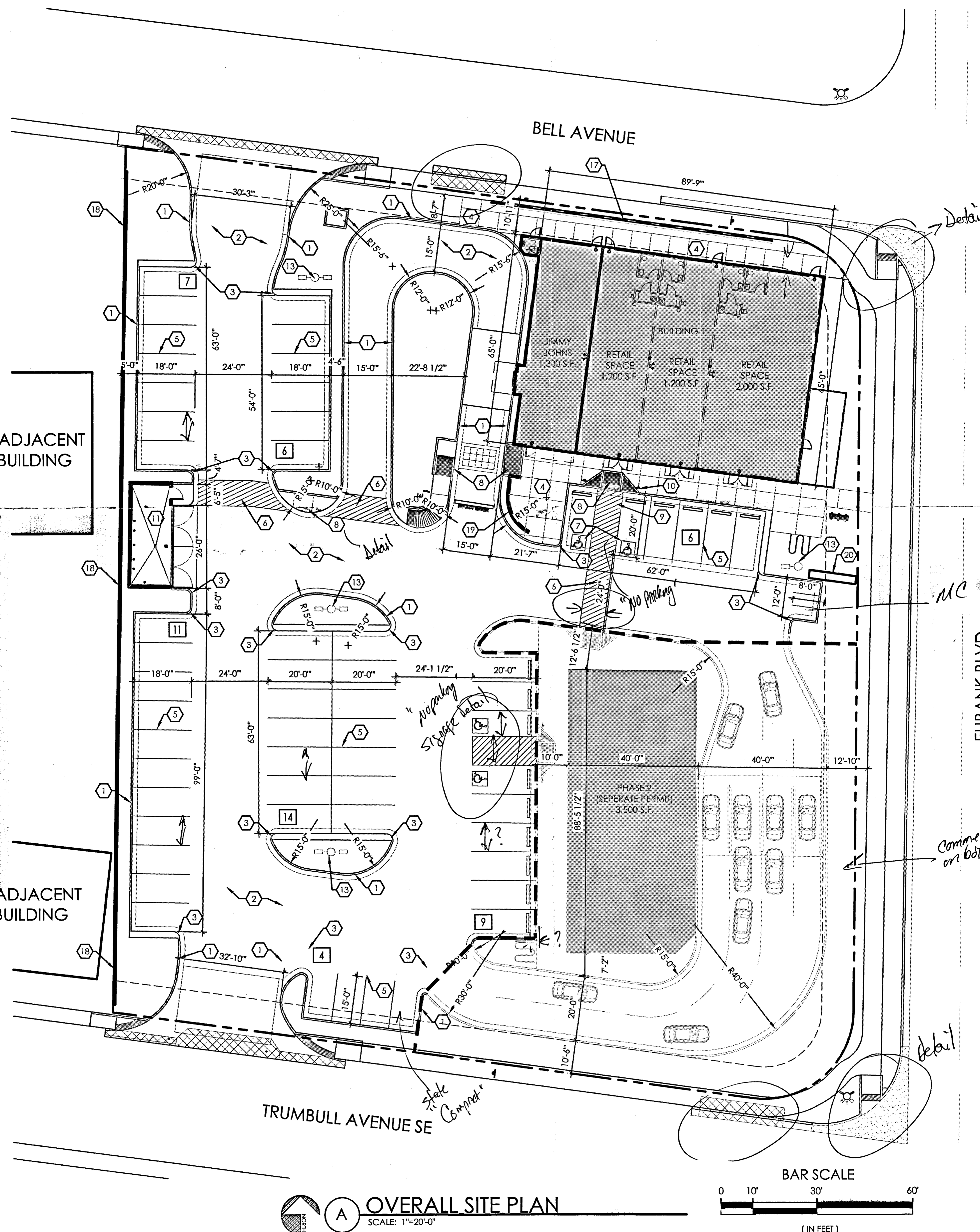
CONTRACTOR
KIMCON INC.
405 DARTMOUTH SE
ALBUQUERQUE, NM 87106
(505) 620-4993



SOUTHWEST RENDERING

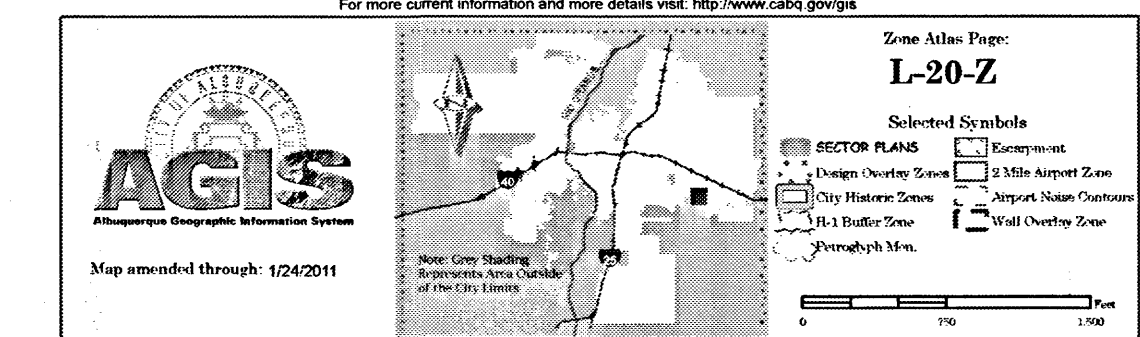
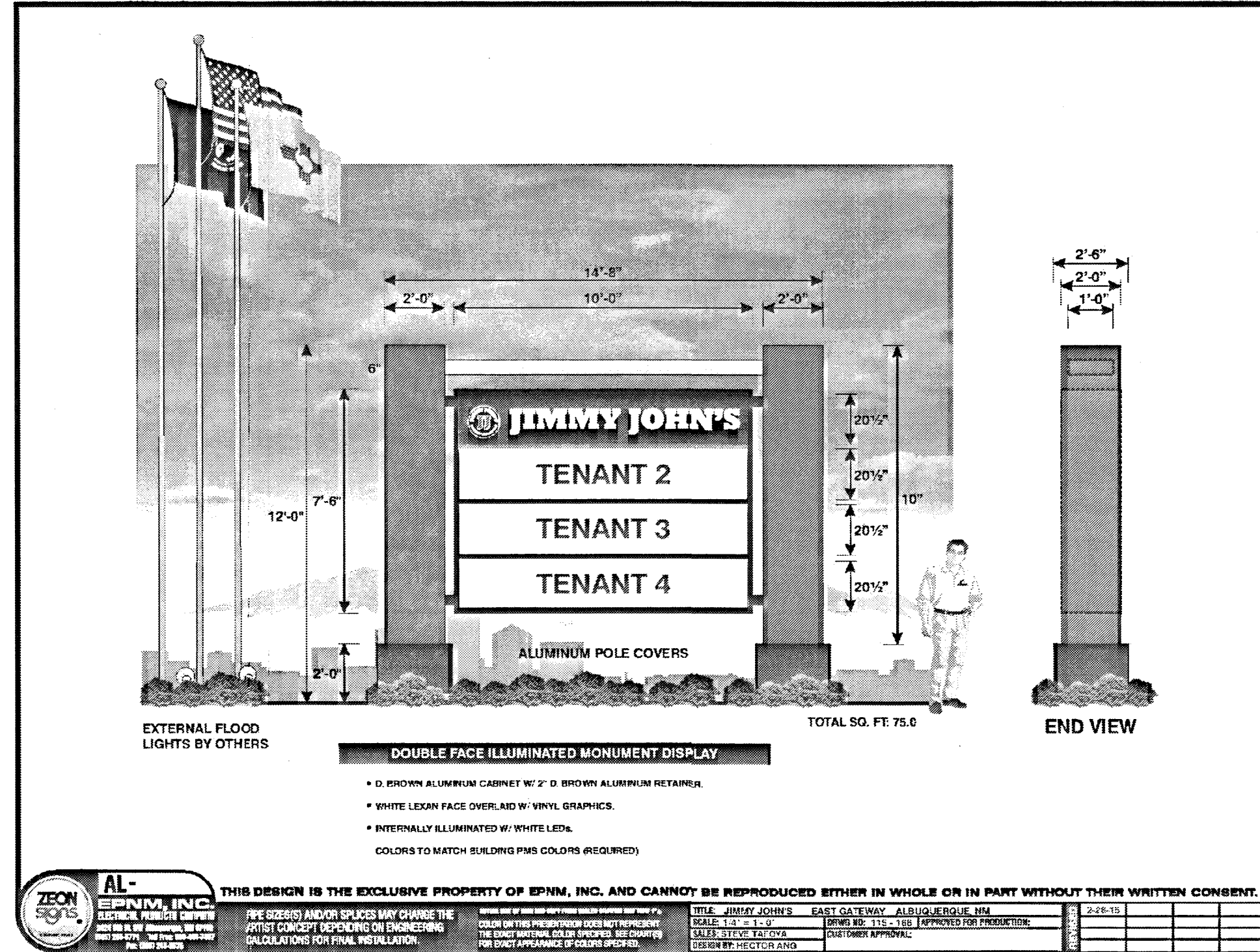


SITE



- ### KEYED NOTES
1. CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE DETAIL: 06/C-2
 2. ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
 3. 2'-0" RADIUS.
 4. CONSTRUCT CONCRETE SIDEWALK.
 5. 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
 6. HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
 7. INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
 8. CONSTRUCT HANDICAP ACCESSIBLE CURB RAMP, REF: DETAIL 07/C-2
 9. INSTALL CONCRETE WHEEL STOP.
 10. INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 1/C-1
 11. DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
 12. FIRE HYDRANT.
 13. SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS.
 14. SIGNAGE, BY OWNER, INSTALLED BY OWNER.
 15. LINE OF PHASE 2 DEVELOPMENT
 16. CMU RETAINING WALL, SEE DETAIL 2/C1 (THIS SHEET)
 17. 6'-0" HIGH CMU WALL, SEE DETAIL 1/C1 (THIS SHEET)
 18. 4'-0" HIGH CMU WALL, SEE DETAIL 1/C1 (THIS SHEET)
 19. 19'-0" HIGH MONUMENT SIGN - SEE ATTACHED ELEVATIONS FROM ZEON SIGNS

MC parking?
It appears to need replat => DRB
traffic path



VICINITY MAP
N.T.S.

INDEX OF DRAWINGS

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C-2.0	SITE DETAILS	M-1	HVAC PLAN
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CG-501	GRADING DETAILS	M-3	ISOMETRIC PLAN
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A-2.0	REFLECTED CEILING PLAN	M-6	EQUIPMENT SCHEDULE
A-3.0	EXTERIOR ELEVATIONS	M-7	SPECIFICATIONS
A-4.0	RM. FINISH, DR. & WIN. SCHEDULES	E-1	1 LINE DIAGRAM
A-5.0	DETAILS	E-2	PANEL SCHEDULES
A-6.0	ROOF PLAN	E-3	LIGHTING PLAN
A-6.1	ROOF DETAILS	E-4	SITE PLAN
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A-9.0	WALL SECTIONS		
A-9.1	WALL SECTIONS		
S-1.0	FOUNDATION PLAN		
S-1.2	FOUNDATION DETAILS		
S-2.0	ROOF FRAMING PLAN		

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- C. PREMIS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH X .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- D. PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C. SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
- E. FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT.
- F. G.C. TO PROVIDE KEY BOX, KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION, THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
- G. G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT: = 32' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS: NORTH = 5' PER COA 14-16-2-15(E)
EAST = 35' PER COA 14-16-2-15(E)
WEST = 5' PER COA 14-16-2-15(E)

SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE AND THE COORS CORRIDOR SIGNAGE REGULATION. ANY SIGN WITH MOVING ELEMENTS OR FLASHING LIGHTS, INCLUDING ELECTRONIC SIGNS ARE NOT PERMITTED. SHADES AND INTERNAL IMAGES THAT MEET THE DEFINITION OF A SIGN ARE NOT PERMITTED. FUTURE TENANT SIGNAGE IS LIMITED TO A MAXIMUM OF 8 ADDITIONAL WORDS OR ITEMS OF INFORMATION, PER STREET FRONTAGE.

PARKING CALCULATIONS

PARKING REQUIRED:	PROVIDED:
PER C.O.A. ZONING 14-16-3-1(27) (RETAIL) 10,010 SF (GROSS) FIRST FLOOR/200 = 50 SPACES	
TOTAL PARKING REQUIRED: = 50 SPACES	57 SPACES
PARKING REDUCTIONS: PER C.O.A. 14-16-3-1(E) 6% TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.	
PARKING REQUIRED AFTER TRANSIT REDUCTIONS (AT 10%) = 45 SPACES	57 SPACES
PER C.O.A. ZONING 14-16-3-1(c)(1) MOTORCYCLE PARKING REQUIRED = 2 SPACES	3 SPACES
PER C.O.A. ZONING 14-16-3-1(f)(9) HANDICAP PARKING REQUIRED = 3 (1 VAN)	4 (2 VAN)
PER C.O.A. ZONING 14-16-3-1(B)(3) BICYCLE SPACES 1 PER 20 VEHICLES REQUIRED = 3 SPACES	8 + SPACES

INNOVA PLAZA - SITE DEVELOPMENT
OVERALL SITE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

REVISION DATE
DATE
02-19-2015
SHEET NUMBER
C-1.0

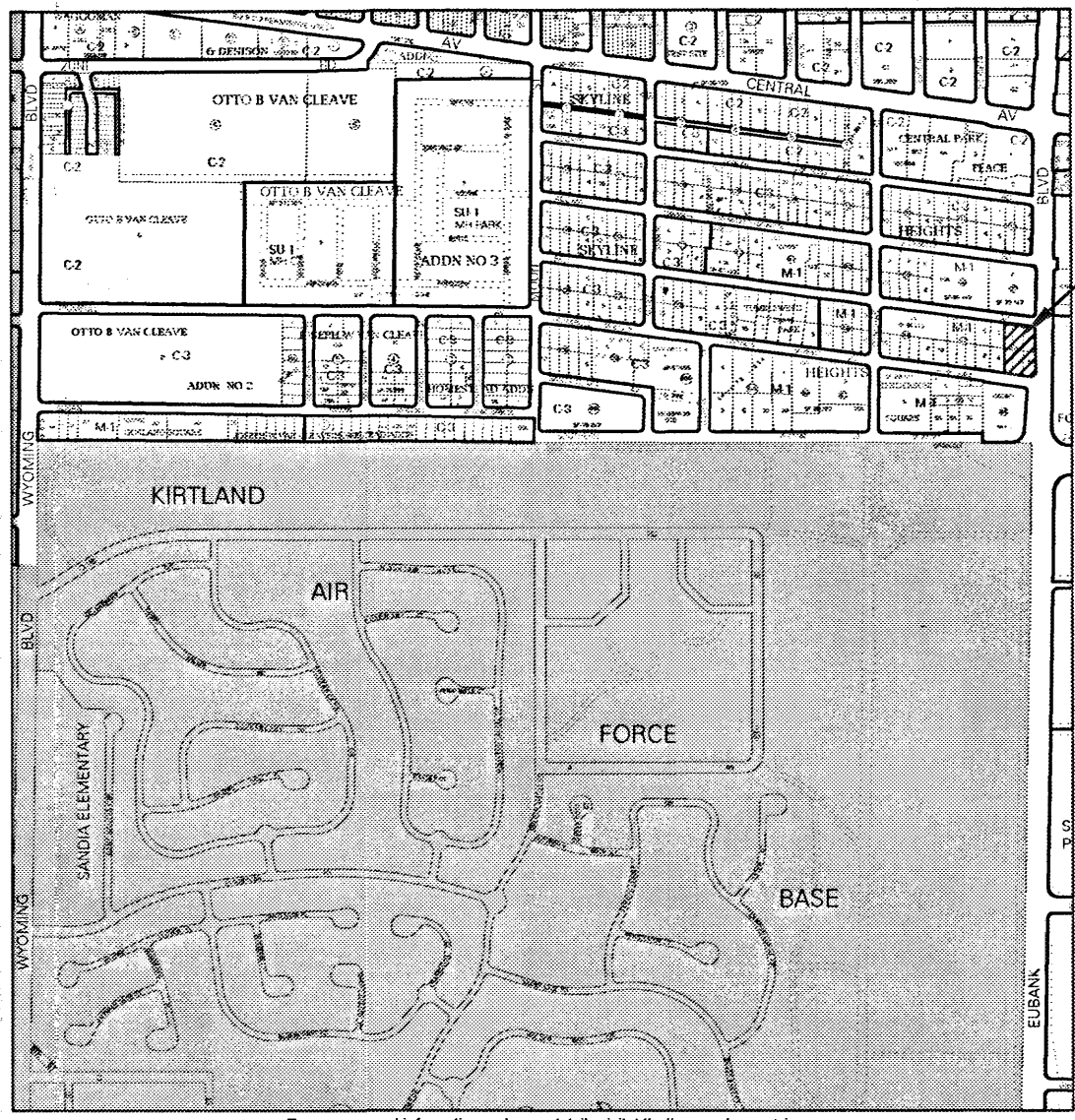
INNOVA PLAZA

PROJECT TEAM

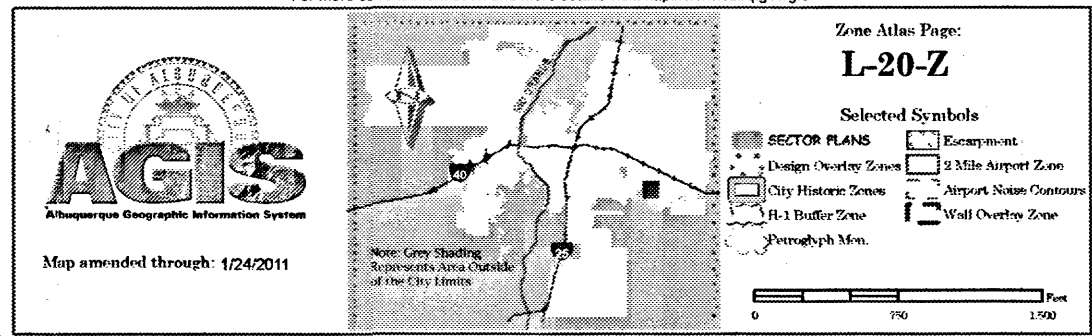
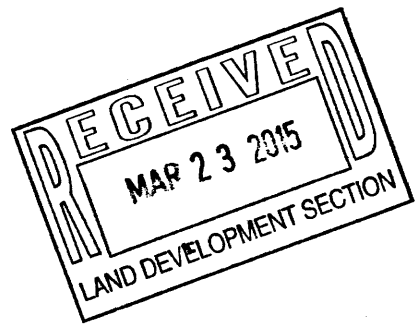
OWNER DOUG ADAMS GLAD LLC P.O. BOX 1111 CEDAR CREST, NM 87008	ARCHITECT RBA Architecture 110 4 Park Ave. SW Albuquerque, NM 87102 505-242-1859	ELECTRICAL NORTHIDGE ELEC. 328 RANCHITOS NW ALBUQUERQUE, NM 87114 (505) 898-7245	MECHANICAL DSL ASSOCIATES 299 Garcia Rd. NW Albuquerque, NM 87114 (505) 980-0238	CONTRACTOR KIMCON INC. 405 DARTMOUTH SE ALBUQUERQUE, NM 87106 (505) 620-4993
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SOUTHWEST RENDERING



SITE



INDEX OF DRAWINGS

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GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK @ 40' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMIS IDENTIFICATION - SHALL BE MINIMUM 24 INCHES HIGH X .5 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- PROPOSED BUILDING TO HAVE FIRE SPRINKLER SYSTEM THROUGHOUT PER 2009 I.B.C. SECTION 903 AND MANUAL FIRE ALARM SYSTEM PER SECTION 907.
- FIRE SPRINKLER SYSTEM PLANS TO BE SUBMITTED UNDER SEPARATE PERMIT.
- G.C. TO PROVIDE KEY BOX. KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN ACCESS TO BUILDING AND FIRE RISER ROOM.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.

DESIGN CRITERIA

MAXIMUM BUILDING HEIGHT:	=	32' BUILDING HEIGHT
MINIMUM BUILDING SETBACKS:	NORTH	= 5' PER COA 14-16-3-1(E)
	EAST	= 35' PER COORS CORRIDOR PLAN
	WEST	= 5' PER COA 14-16-2-15(E)

SIGNAGE: ALL SIGNAGE SHALL COMPLY WITH THE C-1 COMMERCIAL ZONE AND THE COORS CORRIDOR SIGNAGE REGULATION. ANY SIGN WITH MOVING ELEMENTS OR FLASHING LIGHTS, INCLUDING ELECTRONIC SIGNS ARE NOT PERMITTED. SHADES AND INTERNAL IMAGES THAT MEET THE DEFINITION OF A SIGN ARE NOT PERMITTED. FUTURE SIGNAGE IS LIMITED TO A MAXIMUM OF 8 ADDITIONAL WORDS OR ITEMS OF INFORMATION, PER STREET FRONTAGE.

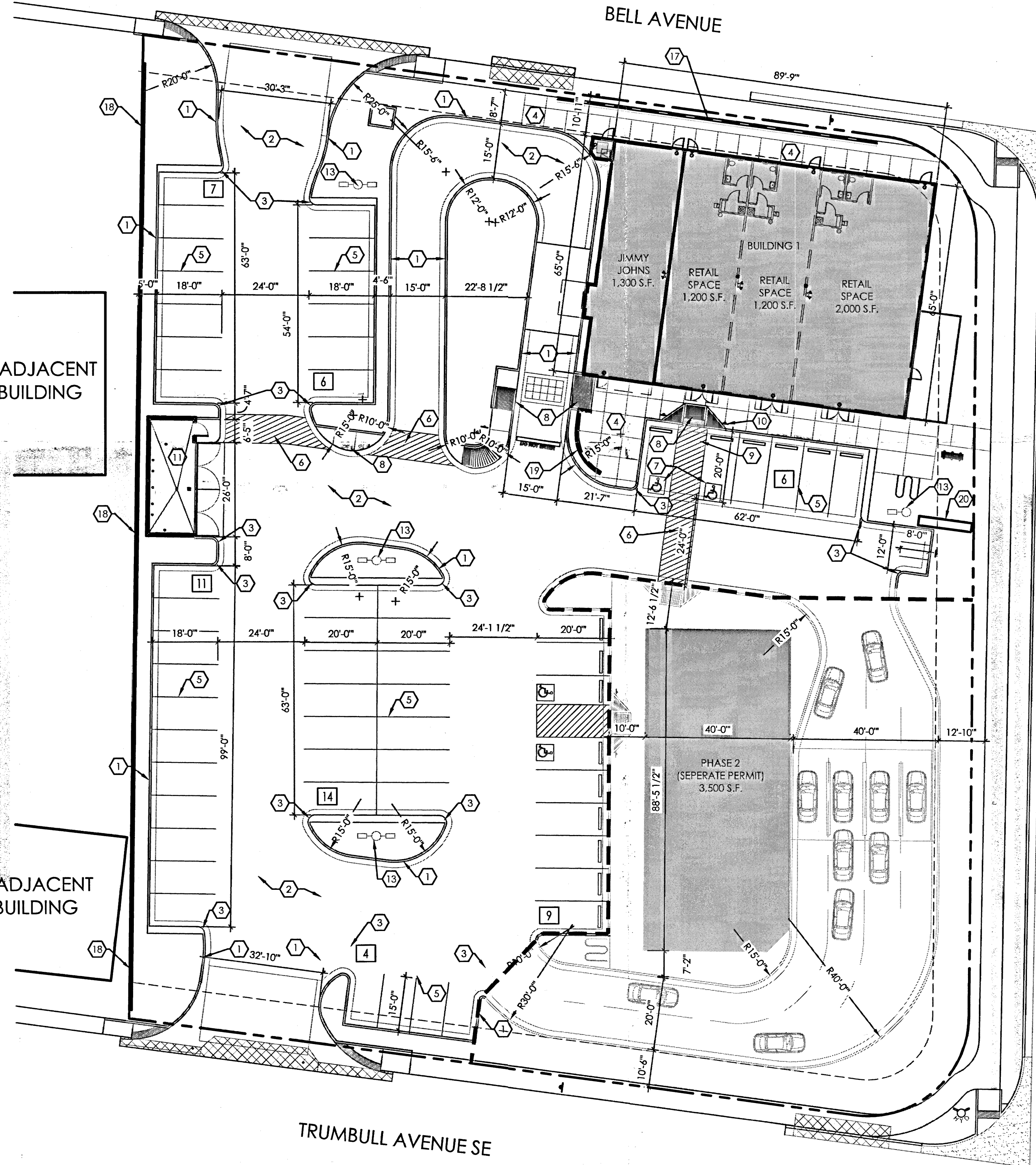
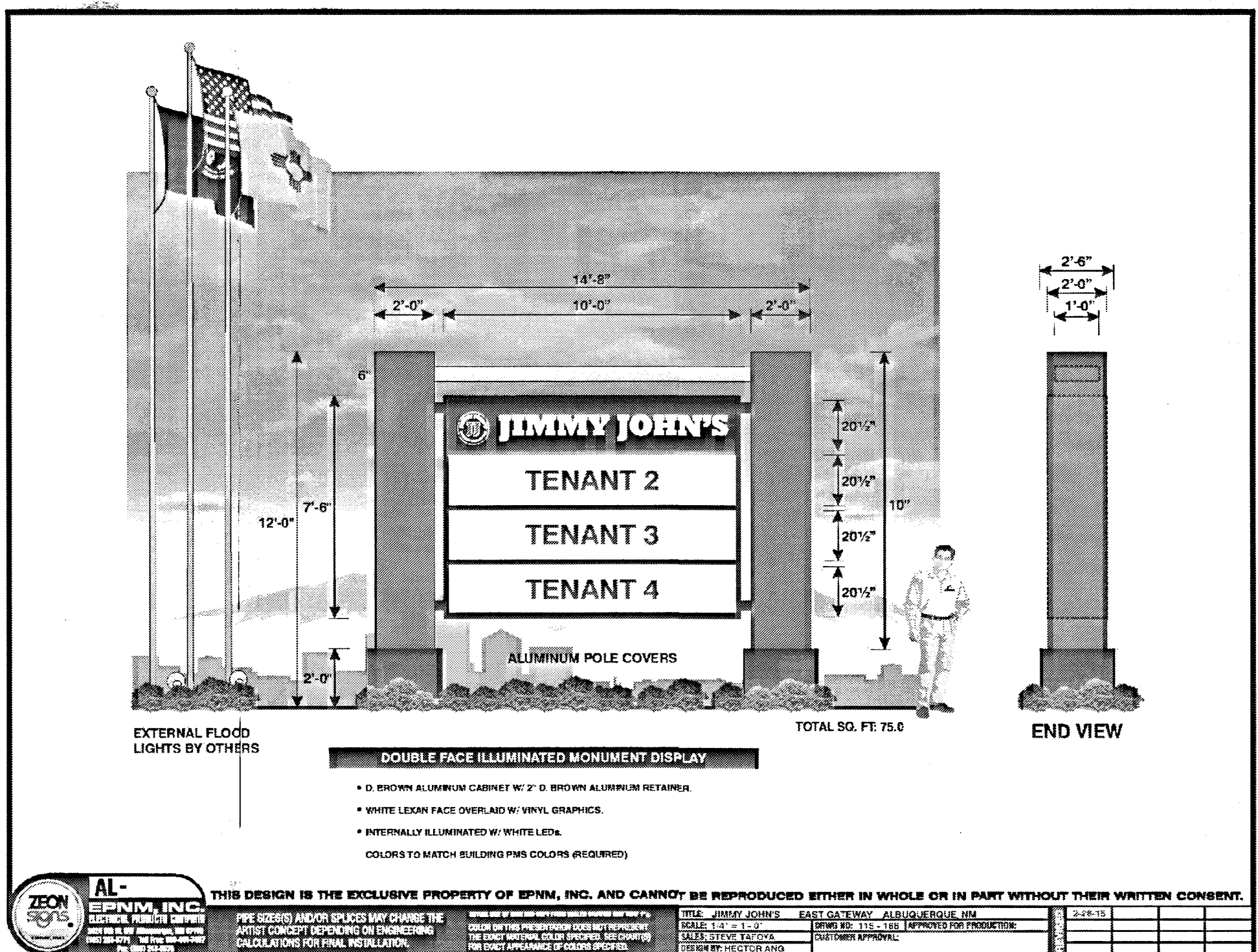
PARKING CALCULATIONS

PARKING REQUIRED:	PROVIDED:
PER C.O.A. ZONING 14-16-3-1(27) (RETAIL) 10,010 SF (GROSS) FIRST FLOOR/200 = 50 SPACES	57 SPACES
TOTAL PARKING REQUIRED: = 50 SPACES	
PARKING REDUCTIONS: PER C.O.A. 14-16-3-1(E) 40% TRANSIT REDUCTIONS 10% REDUCTION IF PROPERTY IS LOCATED WITHIN 300' OF TRANSIT ROUTE.	
PARKING REQUIRED AFTER TRANSIT REDUCTIONS (AT 10%) = 45 SPACES	57 SPACES
PER C.O.A. ZONING 14-16-3-1(C)1 MOTORCYCLE PARKING REQUIRED = 2 SPACES	3 SPACES
PER C.O.A. ZONING 14-16-3-1(F)9d HANDICAP PARKING REQUIRED = 3 (1 VAN)	4 (2 VAN)
PER C.O.A. ZONING 14-16-3-1(B)3 BICYCLE SPACES 1 PER 20 VEHICLES REQUIRED = 3 SPACES	8 + SPACES

KEYED NOTES

- CONSTRUCT 6" CONCRETE CURB AND GUTTER, SEE: DETAIL: 06/C-2
- ASPHALT PAVEMENT ON BASE COURSE, SEE DETAIL: 05/C-2
- 2'-0" RADIUS.
- CONSTRUCT CONCRETE SIDEWALK.
- 4" WIDE WHITE PARKING STRIPE AS SHOWN, PER LOCAL CITY CODE AND STANDARDS.
- HANDICAP ACCESSIBLE AISLE STRIPPING PER LOCAL CITY CODE AND STANDARDS.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, CENTER IN PARKING SPACE.
- CONSTRUCT HANDICAP ACCESSIBLE CURB RAMP, REF: DETAIL 07/C-2
- INSTALL CONCRETE WHEEL STOP.
- INSTALL HANDICAP PARKING SIGNAGE AT ALL HANDICAP SPACES, DETAIL 1/C-1
- DUMPSTER ENCLOSURE, REF: DETAIL 08/C-2
- FIRE HYDRANT.
- SITE LIGHT WITH CONCRETE BASE, REF: ELECTRICAL FOR DETAILS.
- SIGNAGE, BY OWNER, INSTALLED BY OWNER.
- LINE OF PHASE 2 DEVELOPMENT
- CMU RETAINING WALL, SEE DETAIL 2/C1 (THIS SHEET)
- 6'-0" HIGH CMU WALL, SEE DETAIL 1/C1 (THIS SHEET)
- 4'-0" HIGH CMU WALL, SEE DETAIL 1/C1 (THIS SHEET)
- 19'-0" HIGH MONUMENT SIGN - SEE ATTACHED ELEVATIONS FROM ZEON SIGNS

EUBANK BLVD.



ADJACENT BUILDING

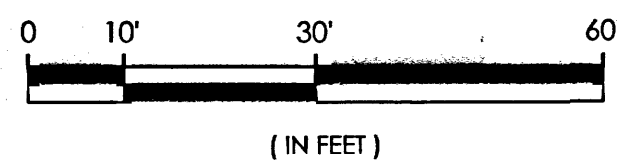
ADJACENT BUILDING

TRUMBULL AVENUE SE



OVERALL SITE PLAN
SCALE: 1"=20'-0"

BAR SCALE



INNOVA PLAZA - SITE DEVELOPMENT
OVERALL SITE PLAN
401 EUBANK SE, ALBUQUERQUE, NM 87123
PROJECT #1459

REVISION DATE

DATE
02-19-2015

SHEET NUMBER

C-1.0