

LOT 4, BLOCK 3, JOSEPH W. VAN CLEAVE HOMESTEAD ADDITION
(REC. 11/29/1948 D-60)

GENERAL NOTES

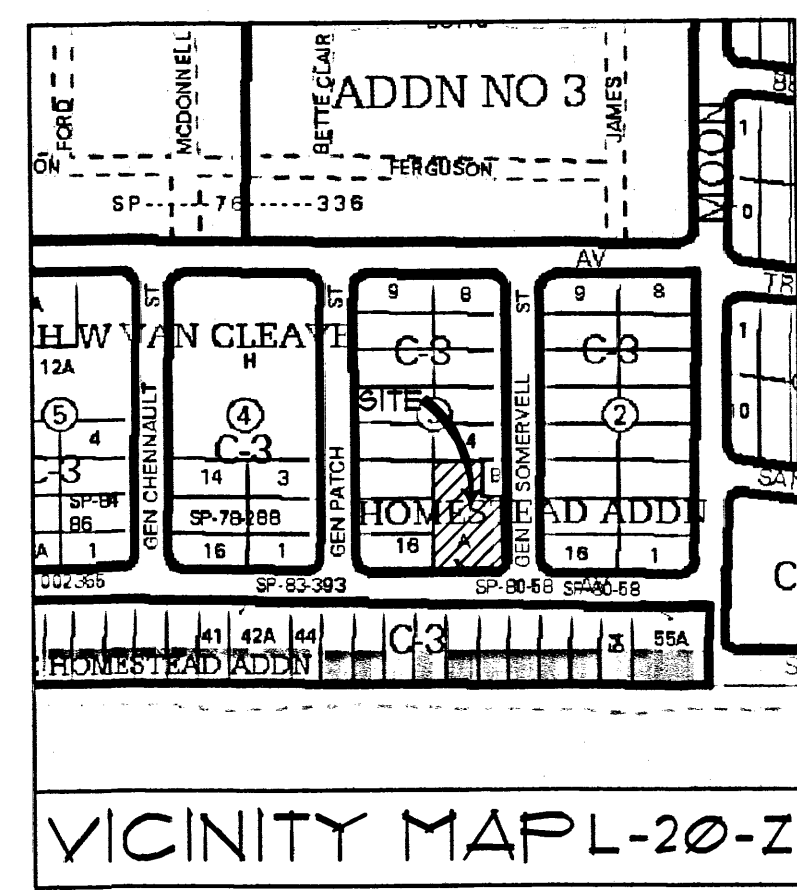
A C.J. INDICATES CONTROL JOINT LOCATION PER DETAIL 2/CU

KEYED NOTES

- 1 REMOVE EXISTING CONCRETE VAULT
- 2 4"-8" RIPRAP AT POND OUTLET OVER FILTER FABRIC
- 3 NEW CONCRETE LOADING PAD PER DETAIL 1/CU
- 4 2'-4" x 3'-0" AT MIDDLE OF SLAB

LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- NEW CONTOUR
- x EXISTING SPOT ELEVATION
- 26.50 NEW SPOT ELEVATION
- NEW FLOW DIRECTION ARROW
- TA TOP OF ASPHALT
- TC TOP OF CONCRETE OR CURB
- FG FINISHED GRADE
- NG NATURAL GRADE
- FL FLOW LINE
- C.J. CONTROL JOINT
- TCB TOP OF BACK OF CURB
- [Pattern] NEW CONCRETE PAVING
- SWALE
- - - BASIN DIVISION LINE



LEGAL DESCRIPTION

LOT LETTERED "A", IN BLOCK NUMBERED THREE (3) OF THE JOSEPH W. VAN CLEAVE HOMESTEAD ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 5, 1920, IN VOLUME B71, FOLIO 120.

BENCHMARK

ACS STA 5-K20 1-3/4" ALUMINUM DISK, STAMPED "ACS STA, 5-K20", SET IN TOP OF CONCRETE AT THE NORTHEAST CORNER OF CENTRAL AVENUE NE AND MOON AVENUE NE, ELEV. 5430.00 (NAVD 1988)

TEMPORARY BENCHMARK (TBM)

5 REBAR AND CAP "1.5 3516" AT NORTHEAST PROPERTY CORNER, ELEV. 5430.10

DESIGN NARRATIVE

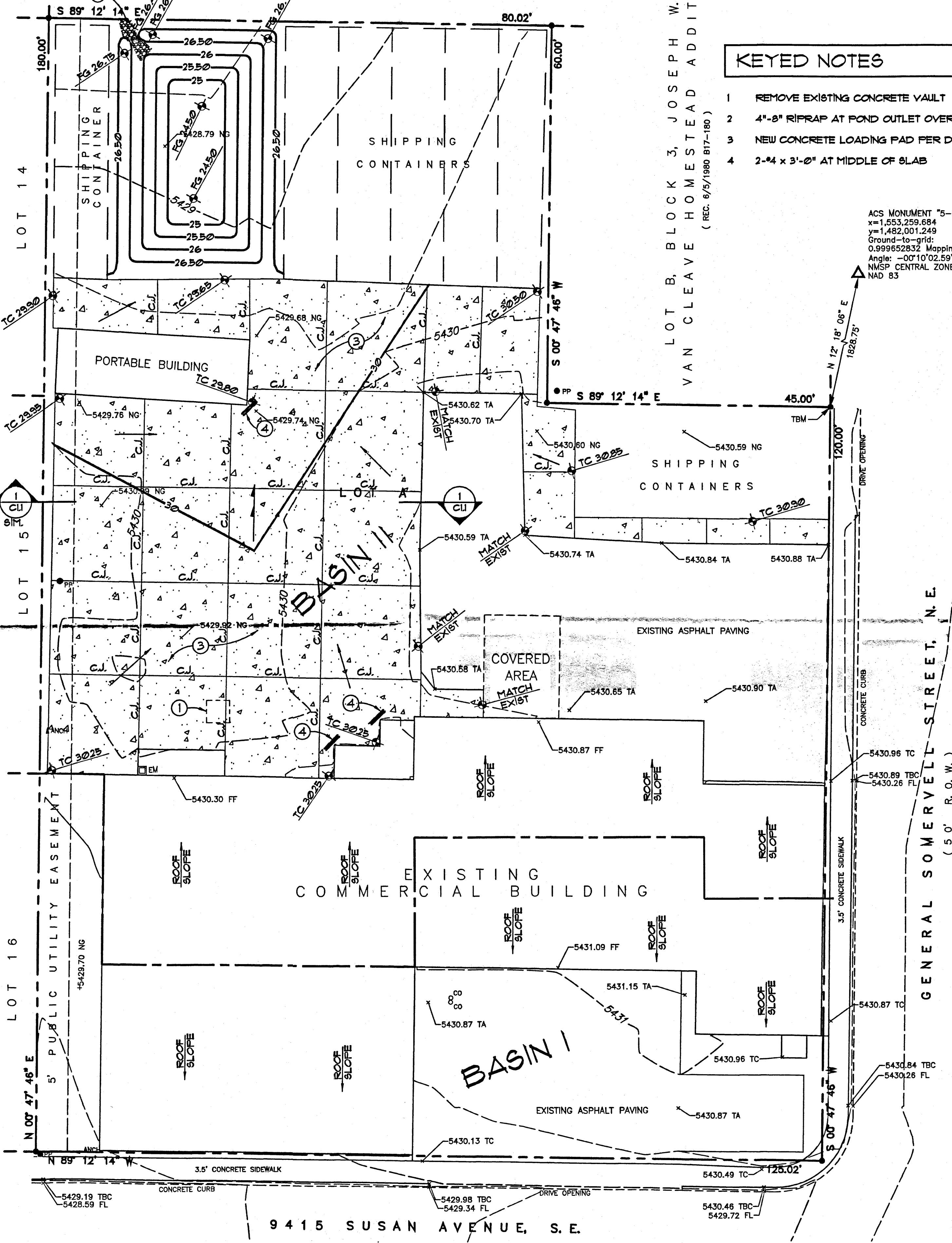
THE SUBJECT SITE IS A 0.455 ACRE EXISTING PROPERTY CURRENTLY USED FOR AUTO REPAIR. THIS CONSTRUCTION PROJECT WILL INCLUDE INSTALLATION OF A CONCRETE PAD ON THE SITE NORTH OF THE EXISTING BUILDING TO ASSIST IN REPAIR AND PROCESSING OPERATIONS ON THE SITE. THE PAD WILL REPLACE SOME PAVED AND SOME PACKED EARTH SURFACES AND WILL THEREFORE INCREASE IMPERVIOUS AREA ON THE SITE. THE SITE SLOPES FROM THE SOUTHEAST CORNER TO THE NORTHWEST CORNER OF THE SITE. THE NEW SITE IMPROVEMENTS WILL NOT CHANGE THIS PREVAILING SLOPE. HISTORIC DEVELOPED RUNOFF EXISTS THE SITE ACROSS THE NORTH BORDER TO THE ADJACENT PROPERTY AND NO POND CURRENTLY EXISTS ON THE SITE. THERE IS NO OFFSITE RUNOFF ENTERING THE SUBJECT SITE. THE NEW SITE IMPROVEMENTS INCLUDE A PONDING AREA DESIGNED TO STORE "FIRST FLUSH" FLOWS FROM HARD SURFACES ON THE SITE AND PROVIDE CONTROLLED RELEASE FOR RUNOFF EXCEEDING THIS VOLUME AT A RATE MATCHING HISTORIC EXISTING CONDITIONS AT THE NORTH END OF THE SITE.

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3 DESIGN STORM: (IN)									
	1hr	6hr	24hr	4day	10day				
	2.14	2.60	3.10	3.95	4.50				
EXISTING CONDITIONS - BASIN I									
LAND TRIBUT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.80	1.81	0.00	0	0	0	
B	0.014	12%	1.08	2.60	0.04	55	55	55	
C	0.000	0%	1.46	3.45	0.00	0	0	0	
D	0.125	88%	2.64	5.02	0.53	1,006	1,191	1,521	1,883
TOTALS	0.119	100%			0.56	1,061	1,252	1,516	1,938
PROPOSED CONDITIONS - BASIN I									
LAND TRIBUT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.80	1.81	0.00	0	0	0	
B	0.014	12%	1.08	2.60	0.04	55	55	55	
C	0.000	0%	1.46	3.45	0.00	0	0	0	
D	0.125	88%	2.64	5.02	0.53	1,006	1,191	1,521	1,883
TOTALS	0.119	100%			0.56	1,061	1,252	1,516	1,938
EXISTING CONDITIONS - BASIN II									
LAND TRIBUT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.80	1.81	0.00	0	0	0	
B	0.144	43%	1.08	2.60	0.37	565	565	565	
C	0.000	0%	1.46	3.45	0.00	0	0	0	
D	0.193	57%	2.64	5.02	0.91	1,850	2,200	2,795	3,461
TOTALS	0.337	100%			1.34	2,414	2,765	3,360	4,025
PROPOSED CONDITIONS - BASIN II									
LAND TRIBUT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.80	1.81	0.00	0	0	0	
B	0.016	8%	1.08	2.60	0.07	102	102	102	
C	0.000	0%	1.46	3.45	0.00	0	0	0	
D	0.310	92%	2.64	5.02	1.56	2,911	3,533	4,490	5,555
TOTALS	0.336	100%			1.63	3,013	3,635	4,592	5,661

FIRST FLUSH REQUIREMENT: 0.44' (0.31 AC) = 511 CF
SURPLUS DEVELOPED RUNOFF BEYOND EXISTING = 3073 CF - 2414 CF = 659 CF
POND CAPACITY: 26.8: 135 SF
26.0: 521 SF
25.5: 351 SF
25.0: 201 SF
TOTAL: 614 CF

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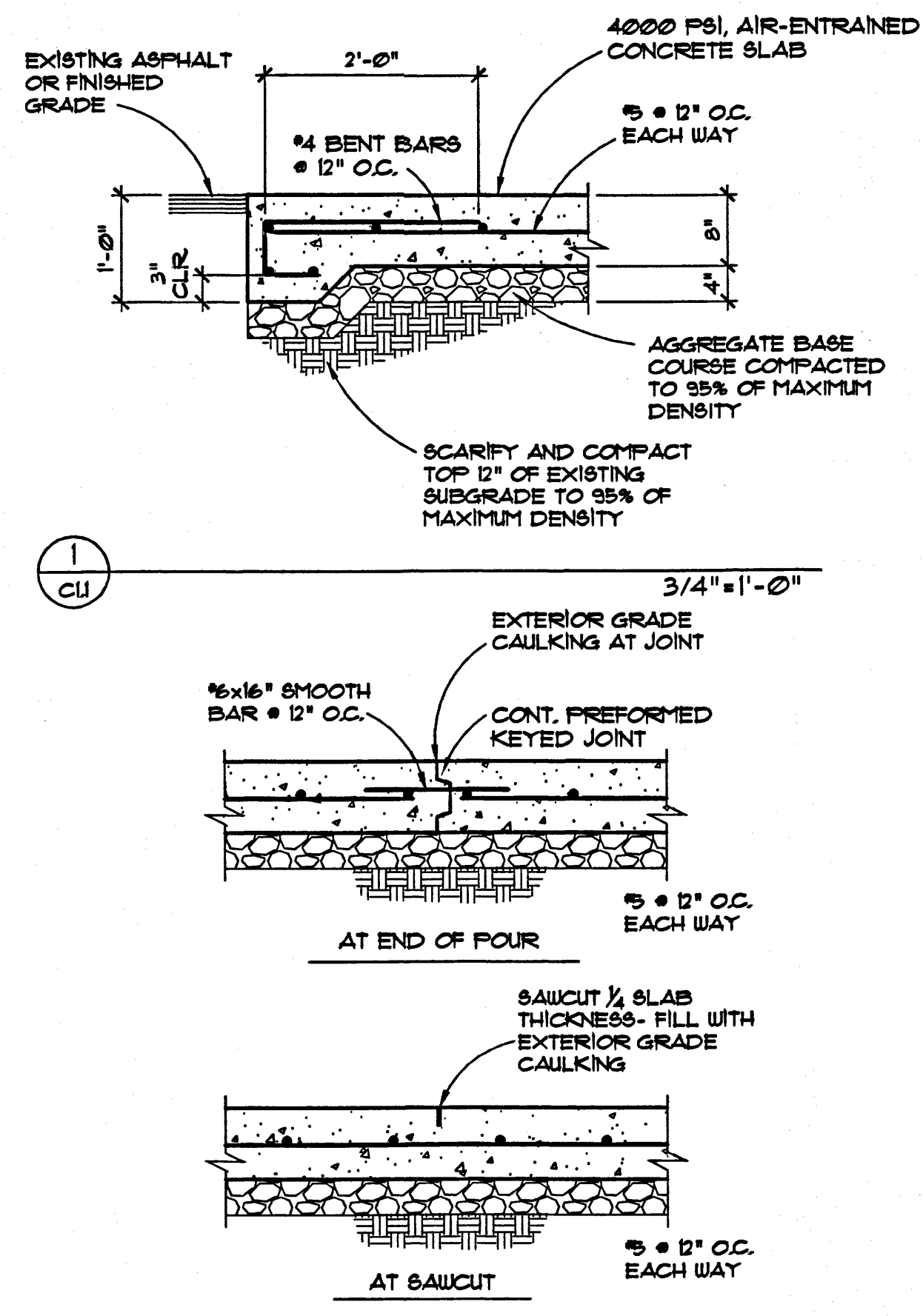


GRADING and DRAINAGE PLAN

1" = 10'

EROSION CONTROL PLAN

- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2 CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- 3 CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
- 4 REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5 ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- 6 CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE, IF NECESSARY.



2 TYPICAL CONTROL JOINT (C.J.)

3/4" = 1'-0"

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

ONE GAME SITE REMODEL
9415 SUSAN SE
ALBUQUERQUE, NM 87123
GRADING and
DRAINAGE PLAN

DATE: 17 NOV 2015
DRAWN BY: LEK
CHECKED BY: MJW
VERIFIED BY:

REVISIONS	

SHEET NO:
C1.1

Walla
ENGINEERING LTD
3501 Americas Parkway NE, Suite 301
Albuquerque, New Mexico 87110
881-3008 • Facsimile 881-4025