

# CITY OF ALBUQUERQUE



June 17, 2016

Grace Vicuna  
Suina Mead Architects  
401 Edith NE, Suite 100  
Albuquerque, NM 87102

**Re: TEF Warehouse**  
**10116 Cochiti Rd., NE**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp dated 6-16-16 (L20-D069)

Dear Mr. Jones,

The TCL submittal received 6-16-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: TEF WAREHOUSE Building Permit #: C201691181 City Drainage #: L200069

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

Engineering Firm: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Owner: TEF CONSTRUCTION Contact: LEON JONES

Address: 10019 ACOMA RD SE ALBUQUERQUE, NM 87123

Phone#: 505-238-8610 Fax#: \_\_\_\_\_ E-mail: leonrontefconstruction@gmail.com

Architect: R. LAWRENCE MEAD AIA - SUINA + MEAD ARCHITECTS Contact: GRACE VICUNA

Address: 401 EDITH BOULEVARD NE SUITE 100

Phone#: 505-766-6968 Fax#: \_\_\_\_\_ E-mail: grace@suinamead.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- \_\_\_\_\_ HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- \_\_\_\_\_ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ ARCHITECT CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

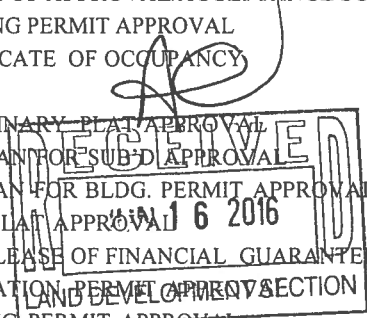
IS THIS A RESUBMITTAL?:  Yes \_\_\_\_\_ No

DATE SUBMITTED: 06-16-16 By: GRACE VICUNA

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUBD APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ PRE-DESIGN MEETING
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_



**REQUIRED PARKING SPACES**

PER ALBUQUERQUE ZONING CODE 2015: 14-16-3-1 (A) (31):  
 ONE SPACE PER 2,000 OF NET LEASABLE AREA.  
 NET LEASABLE AREA: = 1,500 SF  
 REQUIRED OFF-STREET PARKING SPACE: = 1 (1,500 SF < 2,000 SF NET LEASABLE AREA)  
 PROVIDED OFF-STREET PARKING SPACE: = 1

PER ALBUQUERQUE ZONING CODE 2015: 14-16-3-1 (F) (9)(a):  
 TOTAL REQUIRED OFF-STREET PARKING SPACES 1 TO 25  
 REQUIRES 1 MINIMUM DESIGNATED DISABLED PARKING.

REQUIRED DISABLED PARKING SPACE: = 1 (1 REQUIRED OFF-STREET PARKING SPACE)  
 DESIGNATED DISABLED PARKING SPACE: = 1

PER ALBUQUERQUE ZONING CODE 2015: 14-16-3-1 (A) (31):  
 ONE SPACE PER 2,000 OF NET LEASABLE AREA.

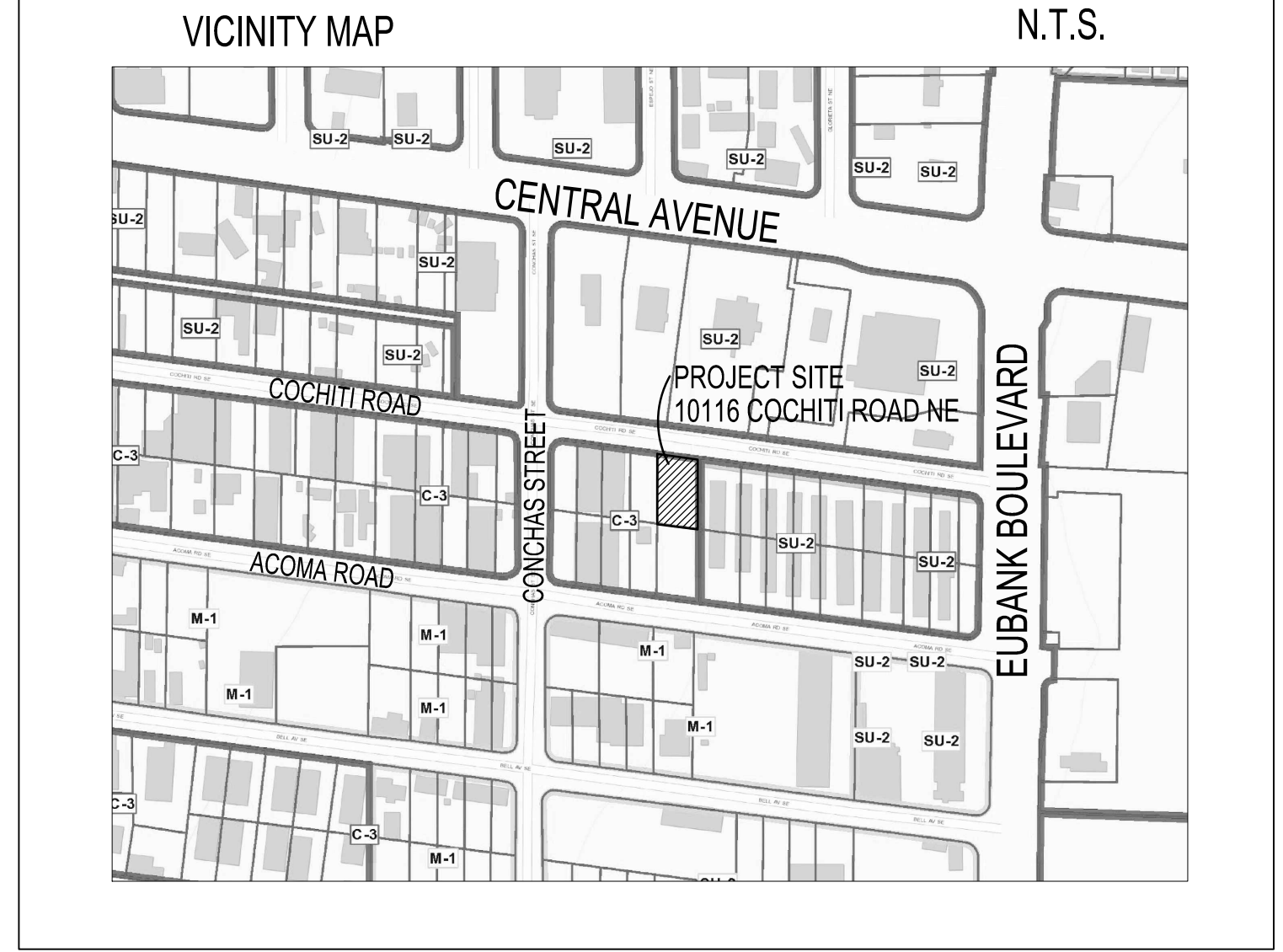
PER ALBUQUERQUE ZONING CODE 2015: 14-16-3-1 (C) (1):  
 REQUIRED MOTORCYCLE PARKING SPACE = 1

PER ALBUQUERQUE ZONING CODE 2015: 14-16-3-1 (B) (3):  
 REQUIRED BICYCLE SPACES = 2

**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
<b>TREES</b>					
2		Fraxinus Angustifolia Raywood Ash	15 gal.	8' ht. x 4' spr. 20' ht x 20' spr.	Low +
<b>SHRUBS/PERENNIALS</b>					
5		Mahonia trifolata algerita Desert Holly	1-Gal.	6'-8" o.c. 4' ht. x 6' spr.	Low +
5		Pyracantha crenato serrata Pyracantha 'Victory'	1-Gal.	10'-12' o.c. 10' ht. x 12' spr.	Low +

NOTE: ALL LANDSCAPING IRRIGATED. REFERENCE LANDSCAPE PLAN L-100.



ZONE MAP NO. L-20-Z

**TRAFFIC CIRCULATION LAYOUT NOTES**

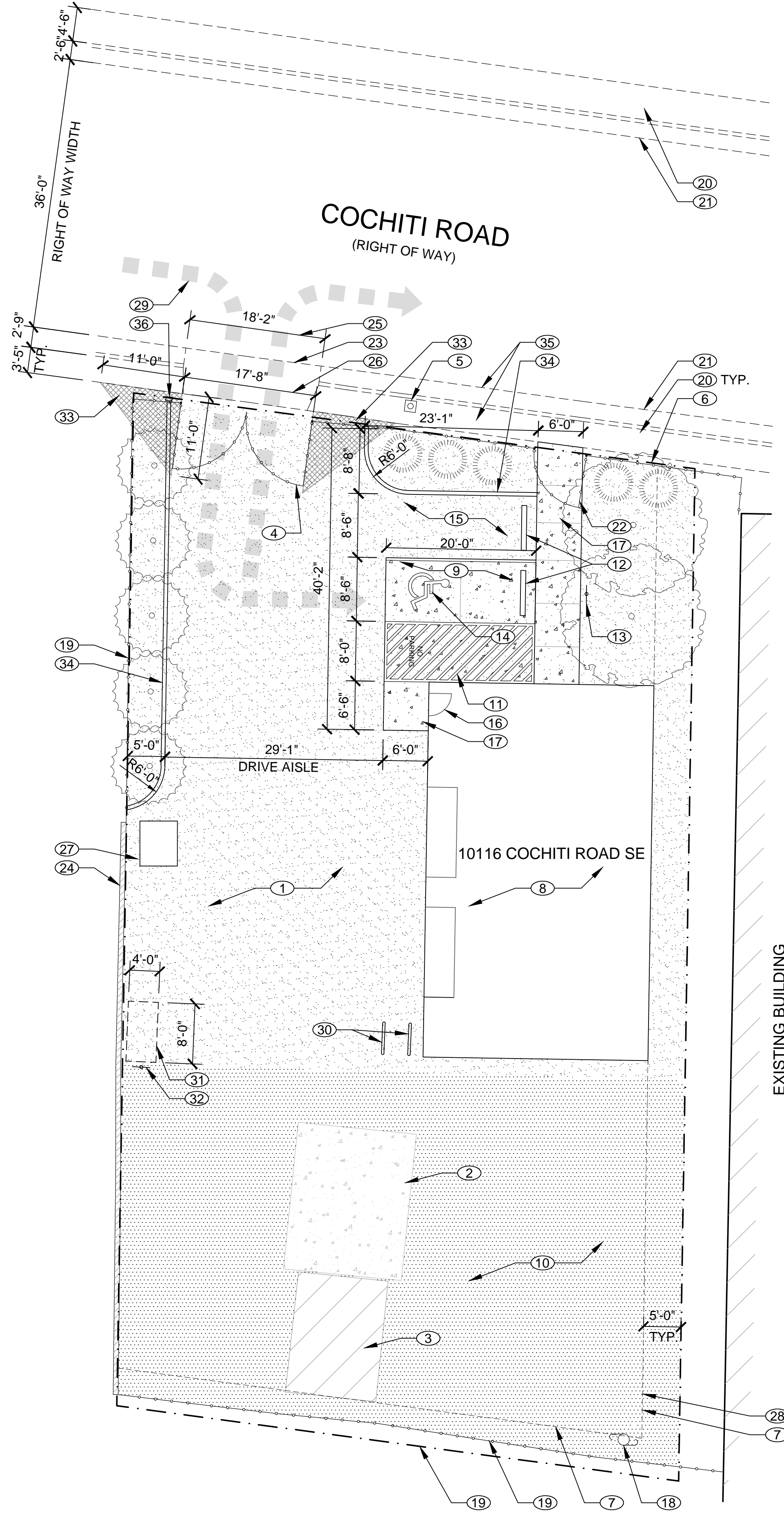
- ADDRESS: 1016 COCHITI ROAD SE
- TYPE OF DEVELOPMENT: WAREHOUSE
- SIZE OF DEVELOPMENT: 1,500 SF.
- PARKING SPACES PROVIDED: 1 HANDICAPPED VAN ACCESSIBLE SPACE  
1 PASSENGER VEHICLE SPACE  
1 MOTORCYCLE SPACE  
2 BICYCLE SPACES
- FIRE HYDRANT: CLOSEST 292' FROM PROPERTY, LOCATED AT NORTHEAST CORNER OF INTERSECTION OF COCHITI ROAD AND CONCHAS STREET. NONE WITHIN PROPERTY'S CLOSE PROXIMITY.
- STREET SIGNS: NONE WITHIN PROPERTY'S CLOSE PROXIMITY.
- STREET LIGHTS: NONE WITHIN PROPERTY'S CLOSE PROXIMITY.
- MEDIANS: NOT APPLICABLE.

**KEYNOTES**

- EXISTING CRUSHER FINE GRAVEL.
- EXISTING CONCRETE PAD.
- EXISTING SHED.
- EXISTING GATE.
- EXISTING WATER METER.
- PROPERTY LINE.
- UTILITY EASEMENT.
- NEW METAL BUILDING.
- NEW CAST IN PLACE CONCRETE PAVEMENT, DESIGNATED DISABLED PARKING SPACE/VAN ACCESSIBLE SPACE 11'-6"x20' WITH 5'-0" ACCESSIBLE AISLE. 2% SLOPE MAXIMUM. REFERENCE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, FIGURE 23.7.1 .
- NATIVE HYDROSEED MIX. GRASSES. AREA 3,065 SF.
- ACCESSIBILITY SYMBOL, REFERENCE A1/TCL-100.
- 6'-0" PRECAST CONCRETE PARKING BUMPER.
- ACCESSIBLE PARKING SIGN, REFERENCE A2-1/TCL-100.
- NEW STRIPING IN SAFETY BLUE.
- GRAVELED PARKING SPACE. 6% SLOPE MAXIMUM. REFERENCE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, FIGURE 23.7.1.
- EXISTING ENTRY DOOR.
- NEW 6'-0" WIDE CAST IN PLACE CONCRETE SIDEWALK.
- EXISTING ELECTRIC POWER POLE, WITH ELECTRIC METER, NOT IN USE.
- EXISTING FENCE.
- EXISTING SIDEWALK.
- EXISTING LIMIT OF CONCRETE CURB AND GUTTER.
- TYPICAL PER CITY STANDARDS.
- NEW 3'-0" FENCE HEIGHT GATE WITH PADLOCK.
- EXISTING ACCESS- POINT CURB CUT DRIVEPAD PER ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME II, CHAPTER 23, SECTION 6.
- EXISTING BLOCK WALL.
- CURB CUT WIDTH.
- ENTRY GATE WIDTH.
- 4 YARD SOLID DUMPSTER ON CASTERS ROLLED OUT TO ADJACENT STREET FOR SERVICE.
- 5'-0" SETBACK PER EAST GATEWAY SECTOR DEVELOPMENT PLAN AND ZONING CODE 14.16.2.18 HEAVY COMMERCIAL ZONE.
- CIRCULATION ACCESS.
- DESIGNATED BICYCLE SPACE.
- DESIGNATED MOTORCYCLE PARKING.
- MOTORCYCLE PARKING SIGN, REFERENCE A2-2/TCL-100.
- MINI CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- 6" WIDE X 6" HIGH CONCRETE BARRIER CURB.
- REPLACE ALL BROKEN OR CRACKED SIDEWALK AND CURB & GUTTER WITH NEW SIDEWALK AND CURB & GUTTER TO COMPLY WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME II, CHAPTER 23, SECTION 6.
- KNOX BOX.

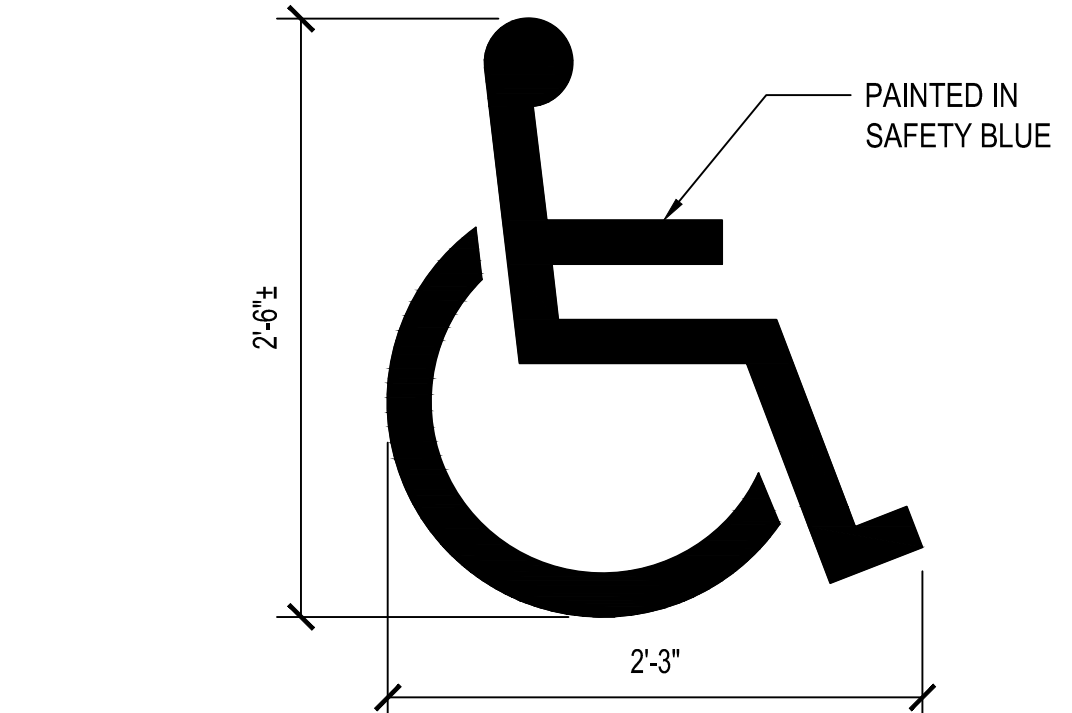
**LEGEND**

	PROPERTY LINE		EXISTING CRUSHER FINE GRAVEL
	EXISTING SIDEWALK, CURB AND GUTTER		NATIVE HYDROSEED MIX. GRASSES
	EXISTING CHAIN LINK FENCE		CIRCULATION ACCESS
	EXISTING BLOCK WALL		AREA OF MINI CLEAR SIGHT TRIANGLE
	CONCRETE PAVING		

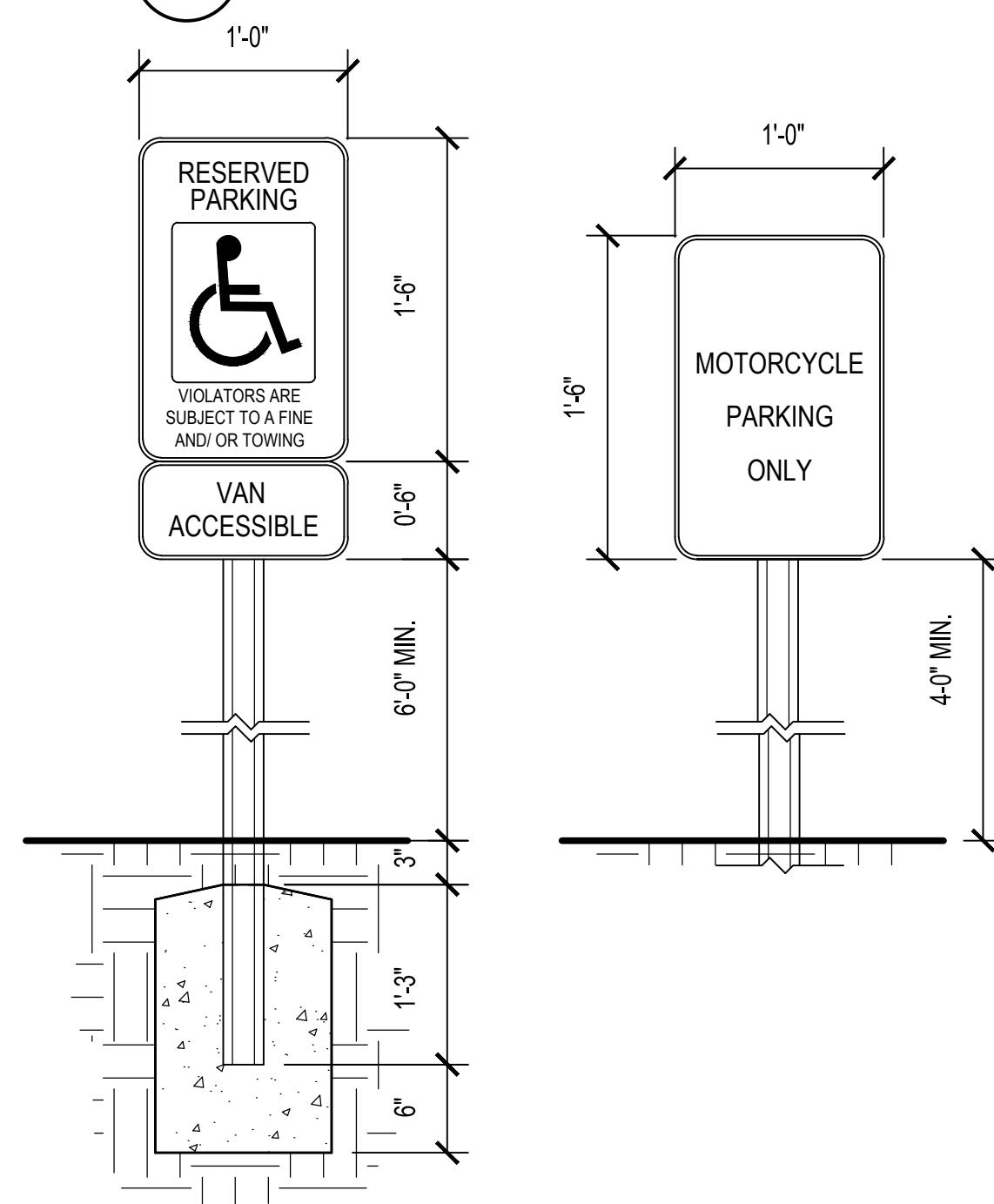


**TRAFFIC CIRCULATION LAYOUT PLAN**

1"=10'-0"



**A1 ACCESSIBILITY SYMBOL**  
NOT TO SCALE



**A2 SIGNAGE DETAILS**  
NOT TO SCALE

SHEET TITLE: **TRAFFIC CIRCULATION LAYOUT**

PROJECT NAME: **TEF WAREHOUSE**

MARK	DESCRIPTION	DATE

PROJ. NO.: SMA#307  
 FILE:  
 DRWN. BY: GV  
 CHKD BY: RLM  
 DATE: 06/14/2016  
 SEQ.

TCL-100