

# CITY OF ALBUQUERQUE



December 21, 2016

Engineer or Architect Firm Name  
John Degnaro  
1408 June St NE  
Albuquerque, NM 87112

**Re: Bombs Away Beer Co.**  
**9801 Acoma Rd SE**  
**Traffic Circulation Layout**  
Architect's Stamp XX-XX-XX (L20-D070)

Dear Mr. Degnaro,

Based upon the information provided in your submittal received 11-29-16, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. A scale of 1"=20' is recommended for sites less than 5 acres per the Development Process Manual, Chapter 27, Section 2, Part B.1.
3. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
4. Please identify all existing drive pad widths.
5. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown. What are the dimensions of the parking stall in the back?
6. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs.
8. The ADA parking space has a clearly visible, blue, International Symbol of Accessibility painted on the pavement at rear of the space (66-1-4.1.E NMSA 1978) or MUTCD recommends a white symbol on a blue background.
9. Show all drive aisle widths and radii. Some dimensions are not shown. Please dimension the distance from the parking stalls in the back to the end of the drive aisle, also dimension the aisle for the motorcycle parking.
10. Per the zoning code, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details or notes if it is flush with the entrance.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

11. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
12. Please specify the City Standard Drawing Number when applicable.
13. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
14. The second driveway on Acoma Rd must be closed. Please relocate the motorcycle and close the NW driveway on Acoma RD.
15. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.

Resubmit a revised plan along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. PDF copies of the plans and submittal package must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) at time of resubmittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,



Logan Patz  
Senior Engineer, Planning Dept.  
Development Review Services

LWP via: email  
C: File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Bombs Away Beer Co. Building Permit #: BP-2016-02597 Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Westerly 25.175' of lot 7, and all of lots 8, 9, 10 in block 16 Skyline Heights  
City Address: 9801 Acoma RD SE Albuquerque, NM 87123

Applicant: Beer Not Bombs LLC Contact: John W. Degnaro  
Address: 1408 June St NE Albuquerque, NM 87112  
Phone#: 505-270-8980 Fax#: \_\_\_\_\_ E-mail: JDegnaro101@gmail.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

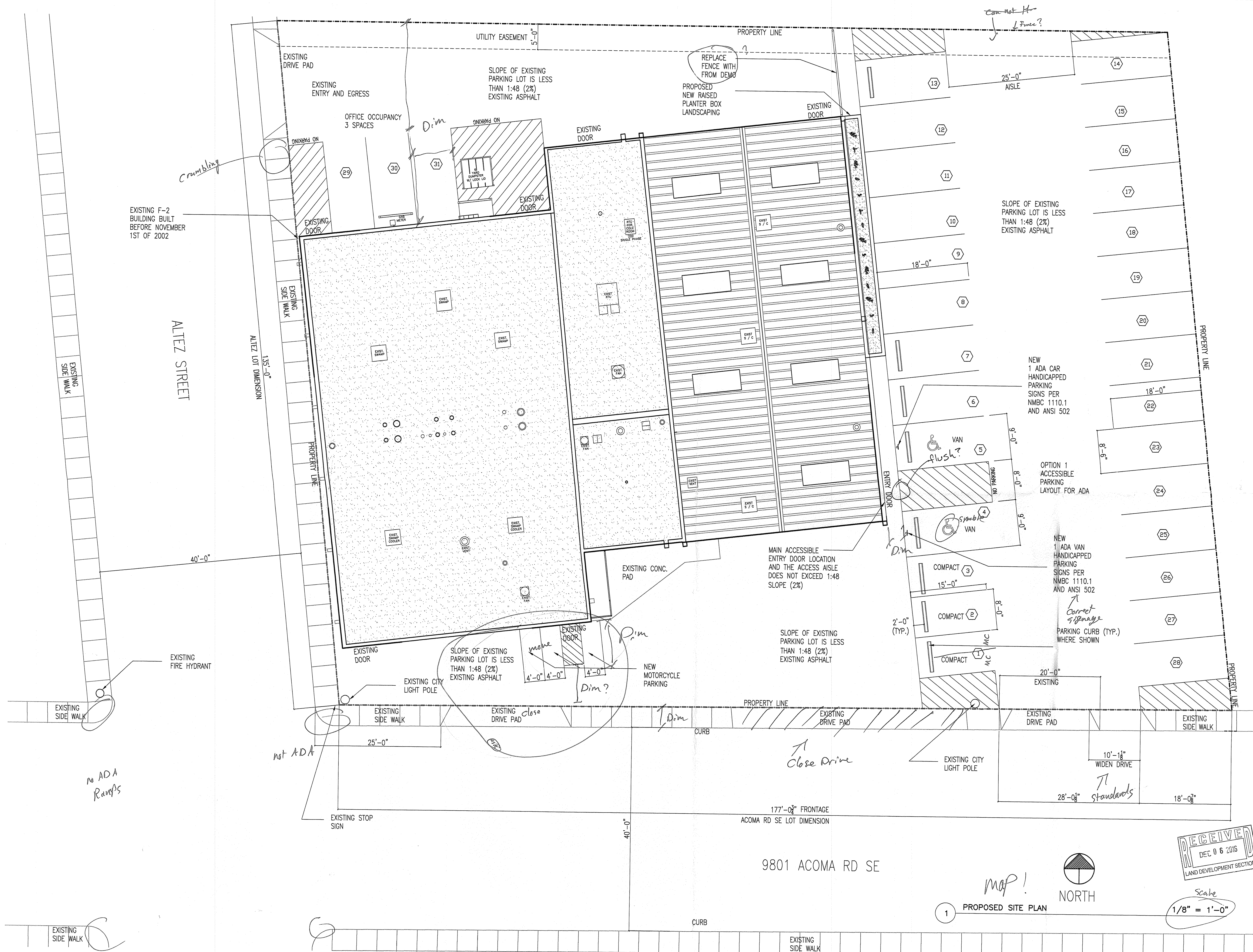
IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 29 Nov 2016 By: John W. Degnaro, Managing Member Beer Not Bombs LLC

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





NOTES

SCOPE:

RE-STRIPE OF AN EXISTING PARKING AREA AND WIDEN AN EXISTING DRIVE PAD

EXISTING BUILDING CONSTRUCTED BEFORE November 1, 2002

SITE ADDRESS:

9801 ACOMA RD SE  
ALBUQUERQUE, NEW MEXICO  
87123

LOTS:

THE WESTERLY 25.175 FEET OF LOT #7, AND LOTS NUMBERED 8, 9, 10.

BLOCK:

NUMBER 16 OF SKYLINE HEIGHTS

# NUMBERED PARKING SPACES

OCCUPANCY F2

5822 SQFT NET. / 2000 = 2.9  
3 SPACES REQUIRED

OCCUPANCY A-2

90 CHAIRS / 4 = 22.5  
23 SPACES REQUIRED

A TOTAL OF  
26 SPACES REQUIRED

31 SPACES PROVIDED  
(1 VAN-ADA SPACE)  
(1 ADA SPACE)

3 MOTORCYCLE SPACES

STATE OF NEW MEXICO

GREG C REID

3438

REGISTERED ARCHITECT

BREWERY

9801 Acoma Rd SE

ALBUQUERQUE, NEW MEXICO

87123

Issues

No.

Date

Description

1

8-23-16

PERMIT

Revisions

No.

Date

Description

This

SITE PLAN / PARKING

Scale

AS NOTED

106-16

A1.2

map!

1 PROPOSED SITE PLAN

NORTH

Scale  
1/8" = 1'-0"