

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 2, 2022

Roger Cinelli, RA
Roger Cinelli and Associates Inc Architects
2418 Manuel Torres Ln NW
Albuquerque, NM 87107

Re: Presidential Cultivation FAC
9910 Acoma RD SE
Traffic Circulation Layout
Architect's Stamp 04-01-2022 (L20-D076)

Dear Mr. Cinelli,

The TCL submittal received 04-26-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

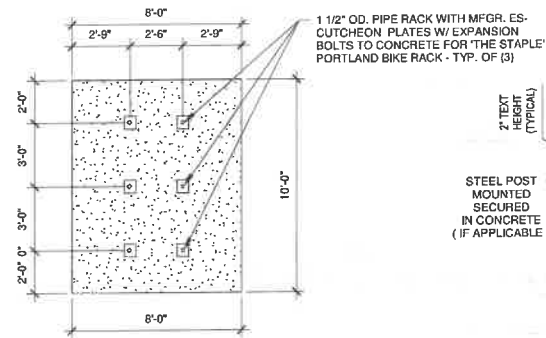
When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

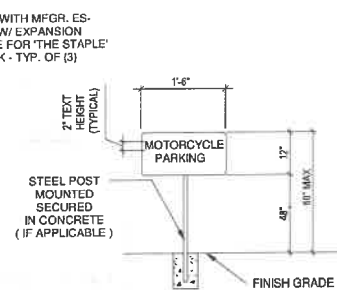
Sincerely,

Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

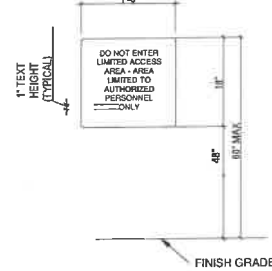
C: CO Clerk, File



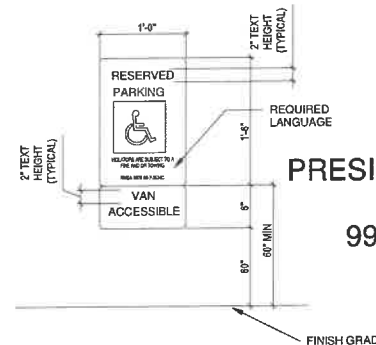
5 BIKE RACK PLAN
1/4" = 1'-0"



4 MOTO PARKING SIGNAGE
1" = 1'-0"



3 WALL MOUNTED ENTRY SIGNAGE
3/4" = 1'-0"



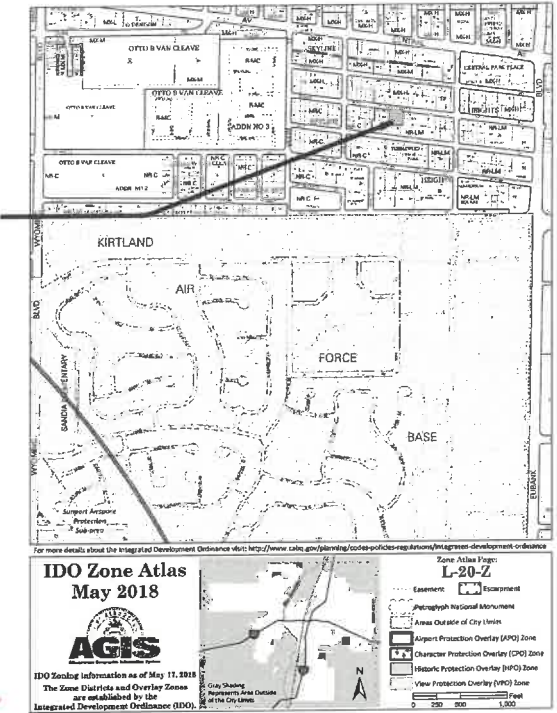
2 WALL MTD ADA PARKING SIGN
1" = 1'-0"

TRAFFIC CIRCULATION LAYOUT
APPROVED

Signed

Date

5/2/2022



VICINITY MAP

ZA MAP L-20-Z

TCL DESIGN CRITERIA

PROJECT LOCATION:
9910 ACOMA RD. S.E., ALBUQUERQUE, NM
ACOMA ROAD BETWEEN ALTEZ AND CONCHAS ST. SE.

UPC NUMBER: 102005638143410920

ZONE ATLAS MAP: L-20

LEGAL DESCRIPTION: LOT 4 & 5, BLOCK 42 & 1/2 OF VACATED PARSIFAL ROAD SKYLINE HEIGHTS ADDITION

NR-LM TOTAL ACREAGE: .3879 ACRES

EXISTING ZONING: NR-LM, AREA OF CONSISTENCY ABUTTING PROPERTIES - AREA OF CONSISTENCY

LAND USE CLASSIFICATION: 3000

PROPOSED USE: CANNABIS CULTIVATION FACILITY
FACILITY IS 550 FEET FROM AVENUE'S LEARNING CENTER DAY CARE AT 9901 CENTRAL AVE NE
550 FEET > 300 FEET - COMPLIES TO CANNABIS ORDINANCE

CONSTRUCTION TYPE: PROCESSING BUILDING - TYPE VB NON SPRINKLERED
GREENHOUSE - TYPE VB NON SPRINKLERED

SEISMIC ZONE: D

TWO BUILDINGS:
FRAME/SIDING PROCESSING = 840 SF
TEMPORARY GREENHOUSE = 1,920 SF
TOTAL = 2,760 SF

REQUIRED PARKING:

OFF STREET PARKING CALCULATION

840 SF PROCESSING/HYDROPONIC FAC. +
1920 GREENHOUSE = 2760 SF
1 PARKING SPACE PER 1000 SF PER LIGHT MANUFACTURING
2760 SF/1000 = 3 PARKING SPACES REQUIRED
INCLUDING ADA VAN PARKING AND 8' WIDE AISLE

PROPOSED PARKING:
OFF STREET PARKING - 3 PARKING SPACES AND ONE ADA VAN SPACE W/ AISLE PROVIDED COMPLIES

BICYCLE PARKING:
3 BICYCLE SPACES REQUIRED
3 BICYCLE SPACES PROVIDED COMPLIES

MOTORCYCLE PARKING:
1 MOTORCYCLE PARKING SPACE REQUIRED
1 MOTORCYCLE PARKING SPACE PROVIDED COMPLIES

SHEET KEYNOTES CIVIL101

- MOTORIZED OPERATOR VEHICULAR ROLLING GATE WITH WHEELS WITH 14" X 8" CONCRETE RIBBON TRACK, FIRE DEPARTMENT KNOX BOX AND REMOTE ENTRY - TYPICAL OF (2) - SHEET STEEL OVER PIPE FRAME GATE - 22 FEET WIDE BY 6 FEET TALL
- WALL MOUNTED SIGNAGE - "DO NOT ENTER - LIMITED ACCESS AREA - ACCESS LIMITED TO AUTHORIZED PERSONNEL ONLY" - SEE 3/CIVIL101
- EXISTING PROPERTY LINE
- EXISTING 4' SIDEWALK TO REMAIN
- MINI CLEAR SIIGHT TRIANGLE - TYPICAL BOTH SIDES OF GATED ENTRANCE-SEE TRAFFIC CIRCULATION PLAN LEGEND - CIVIL102
- CONCRETE PAVED DRIVE AISLE FOR ADA ACCESSIBILITY - 2% MAXIMUM SLOPE & 6" CONCRETE CURBING
- 6' WIDE ADA ACCESS - 4" WIDE WHITE PAINTSTRIPING @ 12" O.C. AND 45 DEGREE ANGLE ON PAVING
- 5' UTILITY LINE EASEMENT REC 11-8-46 BK B1 PG. 112
- STAKED PRECAST CONCRETE PARKING BUMPERS - 6' LONG BY 5" TALL
- GRAVEL 24' WIDE DRIVE/PAVE W/ STEEL EDGING
- GRAVEL PARKING AREA WITH 24' WIDE DRIVE/PAVE W/ STEEL EDGING
- REFUSE ENCLOSURE W/ 6' CMU ENCLOSURE WALLS & 6 CY DUMPSTER - NO OVERHEAD POWER LINES
- STEEL SIDING ON PIPE FRAME 6 FOOT WIDE X 6 FOOT HIGH GATE WITH CARD ENTRY AND KNOX BOX
- 6' WIDE CONCRETE PEDESTRIAN WALKWAY
- BIKE PARKING RACK TO ACCOMMODATE (3) BICYCLES - SEE 5/CIVIL101 AND TRAFFIC CIRCULATION PLAN LEGEND - CIVIL102
- MOTORCYCLE PARKING - 4' X 8' W/ WALL MOUNTED SIGNAGE - SEE 4/CIVIL101
- ADA VAN SPACE AND 8' ACCESS AISLE W/ WALL MOUNTED SIGNAGE - BLUE PAINTED WHEELCHAIR SIGN OF ACCESSIBILITY IS OPTIONAL - SEE 2/CIVIL101
- NEW 6' CMU PROPERTY LINE WALL
- EXISTING 6' CMU WALL
- EXISTING FIRE HYDRANT
- 4' WIDE ADA ACCESSIBLE SIDEWALK - SEE DETAIL DWG 2425 - SEE TRAFFIC CIRCULATION LEGEND - CIVIL102 - 2% MAX. SIDE SLOPE
- SIDEWALK CULVERT AS PER GRADING PLAN
- NEW 6' HIGH CMU OR SPLIT FACE CMU WALL

SHEET KEYNOTES CIVIL101

- MOTORIZED OPERATOR VEHICULAR ROLLING DELIVERY GATE WITH WHEELS WITH 14" X 8" CONCRETE RIBBON TRACK, FIRE DEPARTMENT KNOX BOX AND REMOTE ENTRY - TYPICAL OF (2) - SHEET STEEL OVER PIPE FRAME GATE - 22 FEET WIDE BY 6 FEET TALL
- 4 FOOT SIDEWALK - 2% MIN. CROSS SLOPE
- 8' WIDE ADA VAN ACCESS AISLE W/ 4" WIDE WHITE STRIPING SPACED @ 12" O.C. @ 45 DEGREE ANGLE & "NO PARKING" AT REAR OF VEHICLE - 12" HIGH LETTERS WITH 2" STROKE
- REPAIR SIDEWALK AND EXTEND/DRIVE 4' SIDEWALK TO NEXT CONSTRUCTION JOINT(5 FEET) DRIVE PAD W/ 1% TO 10% SIDE SLOPE - PROVIDE SIDEWALK, CURB & GUTTER AS PER ABQ STD DWG #2415A AND #2430
- CONCRETE CURBING

Cinelli / Roger Cinelli & Assoc.
ARCHITECTS
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

PROJECT TITLE: PRESIDENTIAL CULTIVATION FACILITY
9910 ACOMA RD. S.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: TRAFFIC CIRCULATION LAYOUT

SEAL



DATE

APRIL 2022

DRAWING NO.

CASS

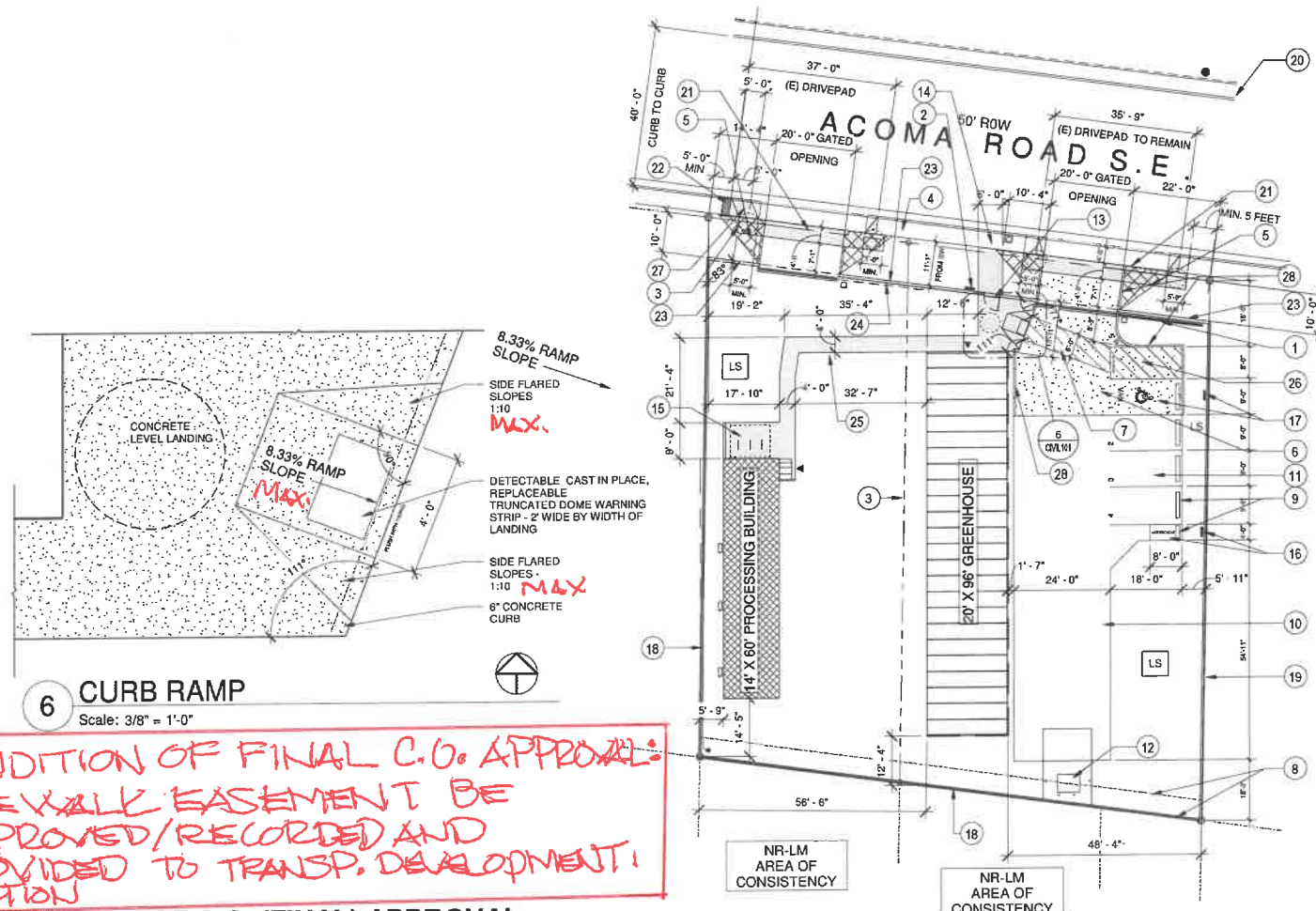
PROJECT NO.

CASS

4/1/22

REVISED 4/25/22

CIVIL101



1 TRAFFIC CIRCULATION PLAN
Scale: 1" = 20'-0"



6 CURB RAMP
Scale: 3/8" = 1'-0"

CONDITION OF FINAL C.O. APPROVAL:
SIDEWALK EASEMENT BE
APPROVED/RECORDED AND
PROVIDED TO TRANSP. DEVELOPMENT
SECTION

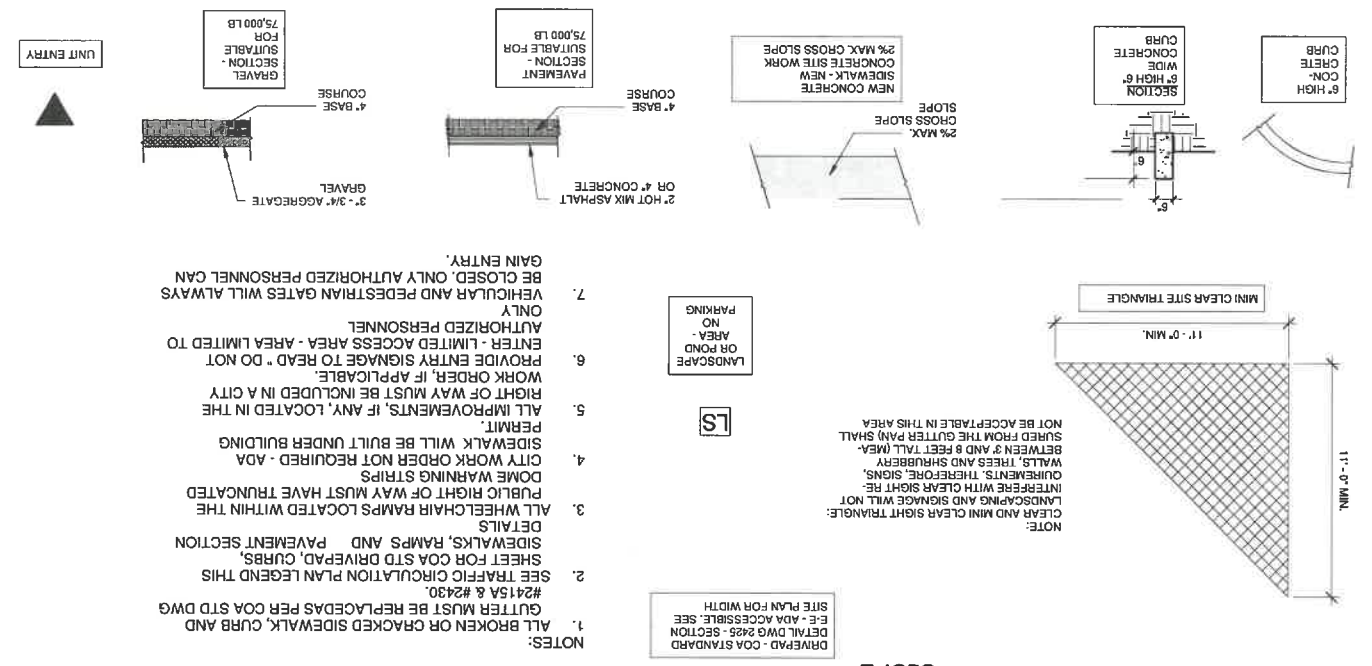
CONDITION OF C.O. (FINAL) APPROVAL:
SIDEWALK EASEMENT FOR NORTH
& SOUTH DRIVEPADS SHALL BE APPROVED,
ACCEPTED AND IN PLACE.

L20-DO76

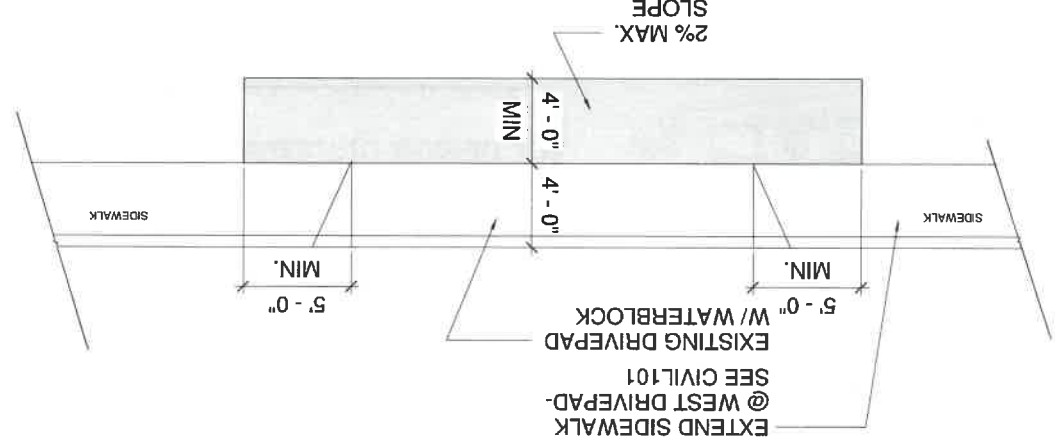
L20-0071

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed _____
Date 5/2/22

TRAFFIC CIRCULATION LAYOUT LEGEND

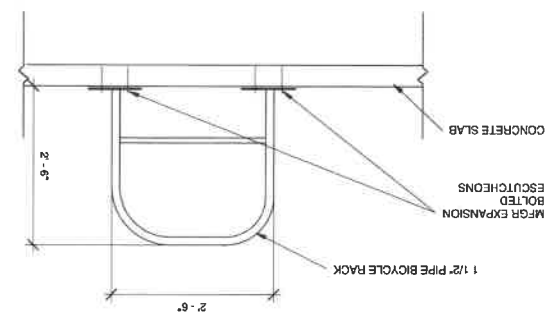


- NOTES:
1. ALL BROKEN OR CRACKED SIDEWALK, CURB AND GUTTER MUST BE REPLACED AS PER COA STD DWG #2415A & #2430.
 2. SEE TRAFFIC CIRCULATION PLAN LEGEND THIS SHEET FOR COA STD DRIVEPAD, CURBS, SIDEWALKS, RAMPS AND PAVEMENT SECTION DETAILS.
 3. ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOME WARNING STRIPS.
 4. CITY WORK ORDER NOT REQUIRED - ADA SIDEWALK WILL BE BUILT UNDER BUILDING PERMIT.
 5. ALL IMPROVEMENTS, IF ANY, LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A CITY WORK ORDER, IF APPLICABLE.
 6. PROVIDE ENTRY SIGNAGE TO READ "DO NOT ENTER - LIMITED ACCESS AREA - AREA LIMITED TO AUTHORIZED PERSONNEL."
 7. ONLY VEHICULAR AND PEDESTRIAN GATES WILL ALWAYS BE CLOSED. ONLY AUTHORIZED PERSONNEL CAN GAIN ENTRY.



BICYCLE RACK SPECIFICATION
BICYCLE RACK REQUIREMENTS

- 30" WIDE "THE STAPLE" BY HUNTCO SITE FURNISHINGS OR EQUAL
1. RACK SHALL BE A MINIMUM 30" TALL AND 18" WIDE.
 2. BICYCLE FRAME SHALL BE SUPPORTED HORIZONTALLY AT TWO OR MORE PLACES. COMBINATION RACKS ARE NOT ALLOWED.
 3. BICYCLE RACK SHALL SUPPORT BICYCLE IN A UPRIGHT POSITION.
 4. BICYCLE RACK SHALL ACCOMMODATE VARIOUS BICYCLE FRAME SIZES AND STYLES.
 5. EACH BICYCLE PARKING SPACE SHALL BE ACCESSIBLE WITHOUT MOVING ANOTHER BICYCLE.
 6. BICYCLE RACK SHALL BE STURDY AND ANCHORED TO CONCRETE PAD.
 7. BICYCLE PARKING SPACES SHALL BE 6' X 2' WITH 1 FOOT CLEAR ZONE ALL AROUND.



PROJECT TITLE: PRESIDENTIAL CULTIVATION FACILITY
9910 ACOMA RD. S.E.
ALBUQUERQUE, NEW MEXICO

DRAWING TITLE: TRAFFIC CIRCULATION LAYOUT DETAILS

DATE: APRIL 2022
PROJECT NO. CASS
DRAWING NO. CIVIL102

REVISOR: 4/25/22
4/1/22

REGISTERED ARCHITECT
STATE OF NEW MEXICO

ARCHITECTS
Cinelli/
Roger Cinelli & Assoc.
2418 Manuel Torres Lane N.W.
Albuquerque, New Mexico 87107
(505) 243-8211

2/2