

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 6, 2022

Jeffrey T. Wooten, PE
Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174

**RE: Presidential Cultivation
9910 Acoma Rd SE
Grading and Drainage Plan
Engineer's Stamp Date: 5/12/2022
Hydrology File: L20D076**

Dear Mr. Wooten:

Based upon the information provided in your submittal received 5/16/2022, the Grading & Drainage Plan **is not** approved for Grading Permit. The following comments need to be addressed for approval of the above referenced project:

General Notes

1. Please review calculations for the site.
 - a. Stated in the drainage calculations, the impervious area is 40% of what the total site which is 0.39 acres which is close to 6800 so the SWQV calcs are wrong although the pond is larger anyhow.
2. Provide a cross section of the pond to show water surface elevation, outlet elevation, inlet elevation and SWQV elevation.
3. Are there any proposed walls?
 - a. This is not clear. If so please provide top of wall and bottom of wall elevations.
4. Please provide some adjacent spot elevations to see what your site is tying into.
 - a. It is unclear without information ~10 to 15 ft around subject site.
5. Please include project benchmark and datum.
6. There appears to be a driveway here with a very slim piece of sidewalk between. Can this culvert work here?
 - a. Please review and show adjacent driveway to see how it works out.

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Albuquerque

NM 87103

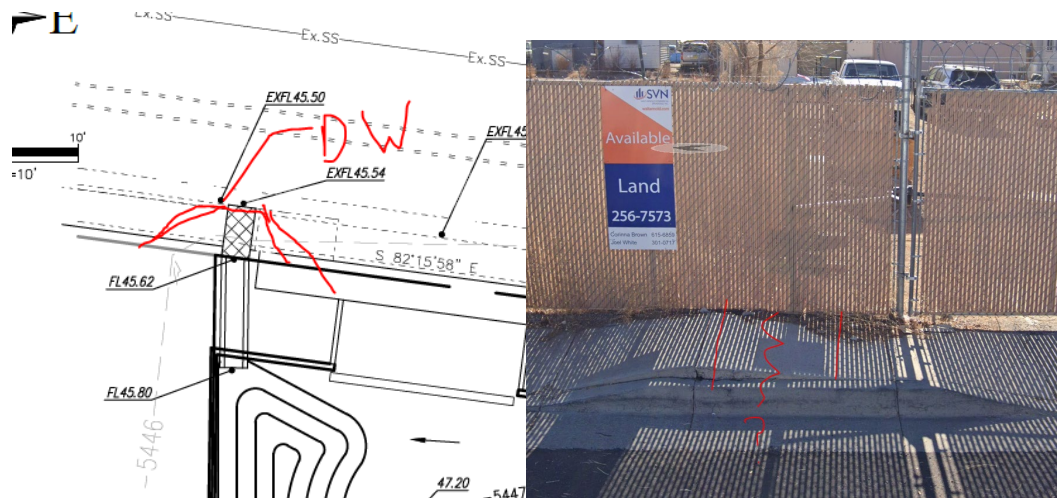
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- b.
7. Please add a standard commercial entrance per standard detail.
 8. Please provide existing conditions. (calcs etc...)
 9. Please add a note under Grading Notes. "Side slopes need to be stabilized with Native Grass Seed (per City Spec 1012) with Aggregate Mulch or equal (Must satisfy the "Final Stabilization criteria" CGP 2.2.14.b.)".

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

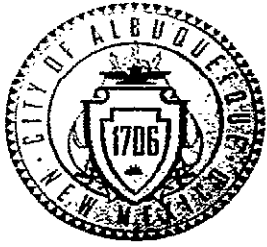
If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov

Sincerely,

www.cabq.gov

A handwritten signature in black ink, appearing to read "David G. Gutierrez".

David G. Gutierrez, P.E.
Senior Engineer 751r, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11-2018)

Project Title: Presidential Cultivation **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 4 & 5, Block 42, Skyline Heights Add'n and half of vacated Parsifal Road
City Address: 9910 Acoma Rd SE, Albuquerque, NM 87123

Applicant: Wooten Engineering **Contact:** Jeffrey T. Wooten, P.E.
Address: PO BOX 15814, Rio Rancho, NM 87174
Phone#: 505-980-3560 **Fax#:** N/A **E-mail:** jeffwooten.pe@gmail.com

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

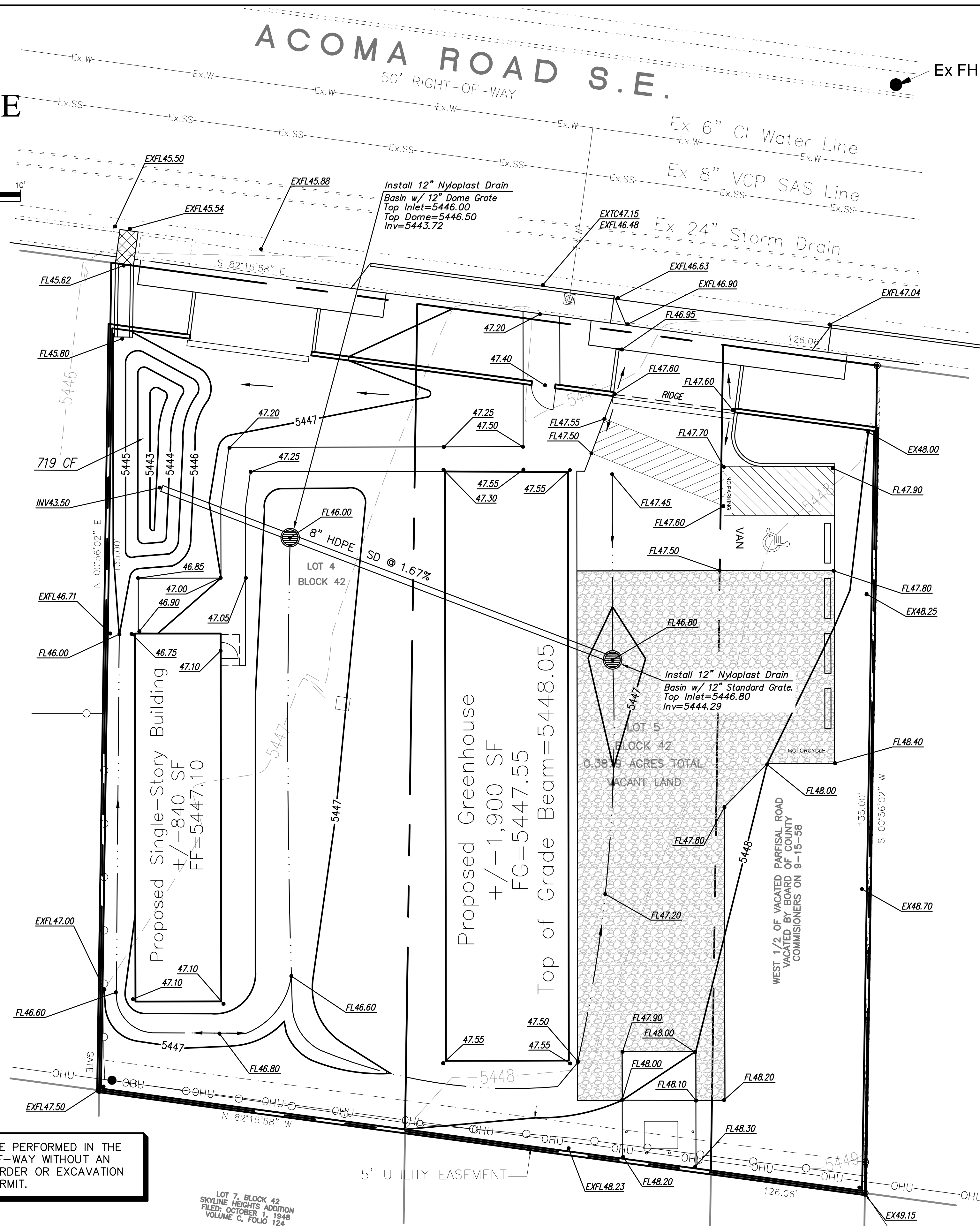
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☒ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: May 16, 2022 **By:** Jeffrey T. Wooten, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Proposed Drainage Calculations												
Ultimate Development Conditions Basin Data Table												
This table is based on the COA DPM Chapter 6, Zone 3												
BASIN	Area (SQ. FT)	Area (A/C)	A	B	C	D	Q(100) (cfs/ac.)	Q(100) (CFS)	WT E (inches)	V(100) ³⁶⁰ (CF)	V(100) ¹⁴⁴⁰ (CF)	V(100) ^{10day} (CF)
A	16898	0.39	0.0%	0.0%	60.0%	40.0%	4.08	1.58	1.72	2419	2645	3320
TOTAL	16898	0.39						1.58		2419	2645	3320

TOTAL NEW IMPERVIOUS AREAS = 5,250 SF
SWQ VOLUME REQ'D = $5,250 \times 0.42'' / 12 = \underline{184 \text{ CF}}$
TOTAL VOLUME PROVIDED = 719 CF

Backfill Compacted to 98%
Modified Proctor Density
per ASTM D-698

Min 3,500 psi Concrete;
6" Thickness

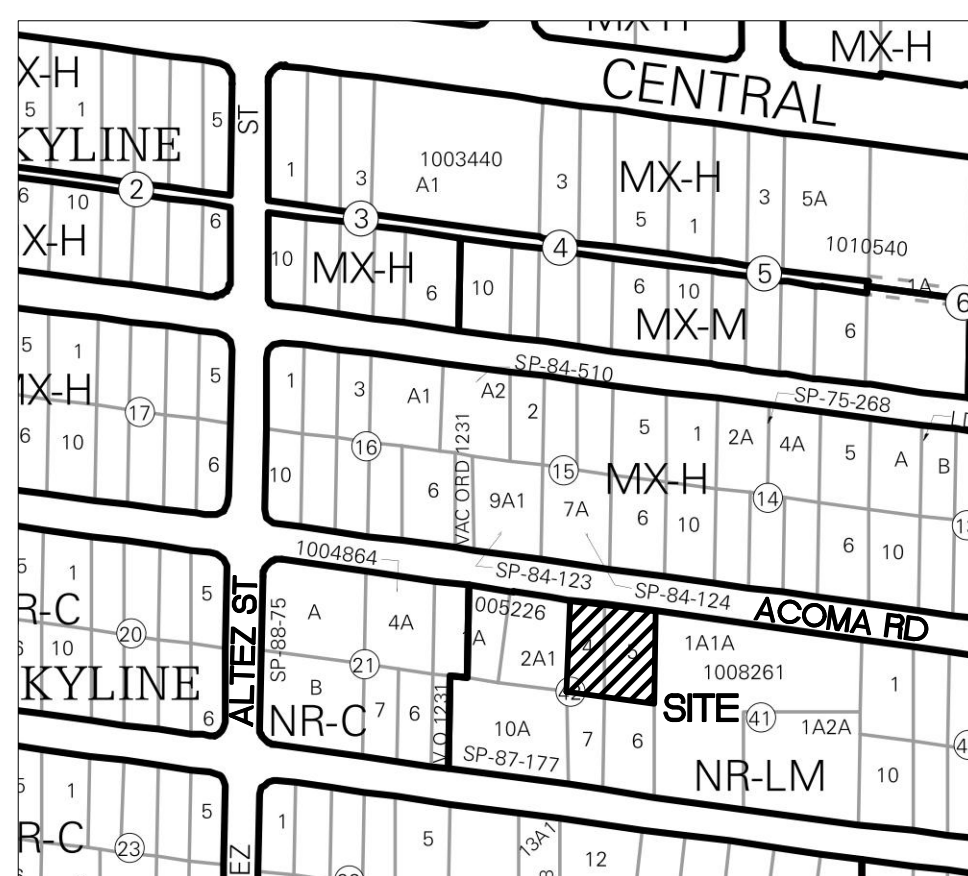
2' Concrete Flume Detail

NTS

Notice to Contractor
(Special Order 19 ~ "SO-19")

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact **New Mexico One Call, dial "811"** (or [505] 260-1990) for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets may be required on a 24-hour basis.
8. Contractor must contact Augie Armijo at [505] 857-8607 and Construction Coordination at 924-3416 to schedule an inspection.

Signature _____
Date _____



Per FIRM Map 35001C0358H, dated August 16, 2012, the site is not located in the Floodplain and determined to not be inside the 0.2% chance Annual Floodplain.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE RELIED UPON BEING CORRECT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

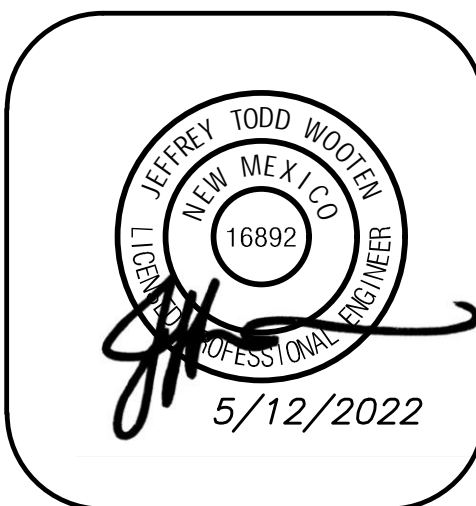
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PLOTS OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BARRIERS OR FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL AND BORROW SITE, AND Hauling AND/OR FILL SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

WEIR EQUATION
 $Q = C * L * (H^{1.5})$

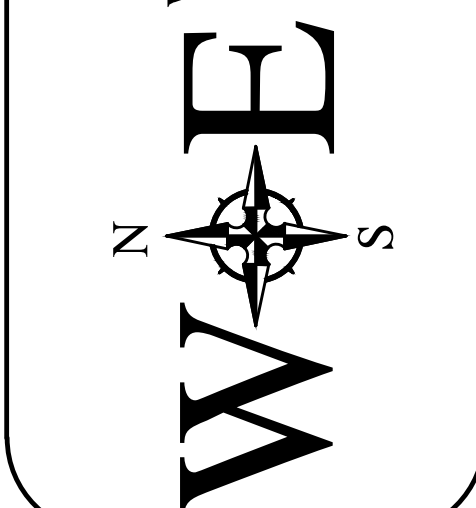
C = 2.87 (Weir Coefficient)
L = 2 feet (Width of Flow)

$$Q = 2.87 \cdot 2 \cdot (0.67^{1.5})$$
$$Q = 2.87 \cdot 2 \cdot 0.55$$
$$Q_{cap} = 3.15 \text{ cfs}; \quad Q_{reqd} = 1.58 \text{ cfs} \quad \text{CHECK}$$

BENCH MARKS
A.C.S. MONUMENT "5-K20"
MONUMENT TYPE 3
PUB. EL=5429.995 NAVD 1988

[illegible]

Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174
Phone: (505) 980-3560



Presidential Cultivation Facility
9910 Acoma Road SE
Albuquerque, NM 87123

Grading Plan

CIVIL103