

CITY OF ALBUQUERQUE



February 1, 2019

Adwelling Design
Jason Hall R.A.
8625 Golf Course Rd. NW
Albuquerque, NM 87114

Re: 10801 Acoma Rd SE
10801 Acoma Rd SE
Traffic Circulation Layout
Engineer's/Architect's Stamp 2-1-19 (L21D006)

Dear Mr. Hall,

The TCL submittal received 2-1-19 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Senior Transportation Engineer, Planning Dept.
Development Review Services

Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: File

1 SPACE PER 200 SQFT $754/200=3.7$
4 SPACES REQUIRED INCLUDING 1HC.
AND 1 MOTORCYCLE SPACE

86 Signed 2/1/19 Date

[illegible]

TOP VIEW

TUBING $\varnothing$ - 2
3/8" x 154" WALL
STEEL TUBING

BIKE 1 BIKE 2 BIKE 3 BIKE 4 BIKE 5 BIKE 6 BIKE 7

3'-10"

10"

SURFACE GRADE

5'-0" O.C.

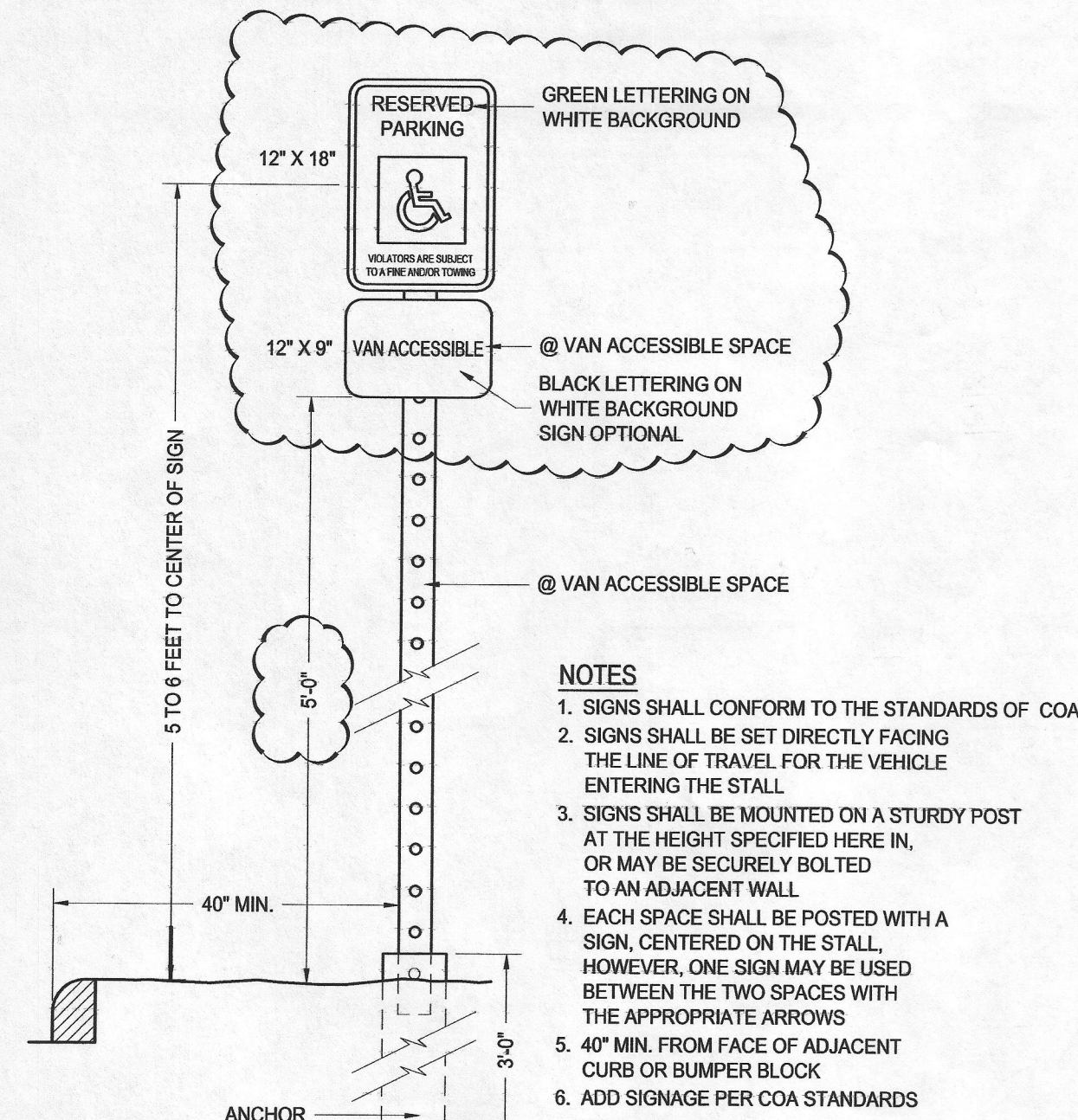
FRONT VIEW

$\varnothing$ 2.375"

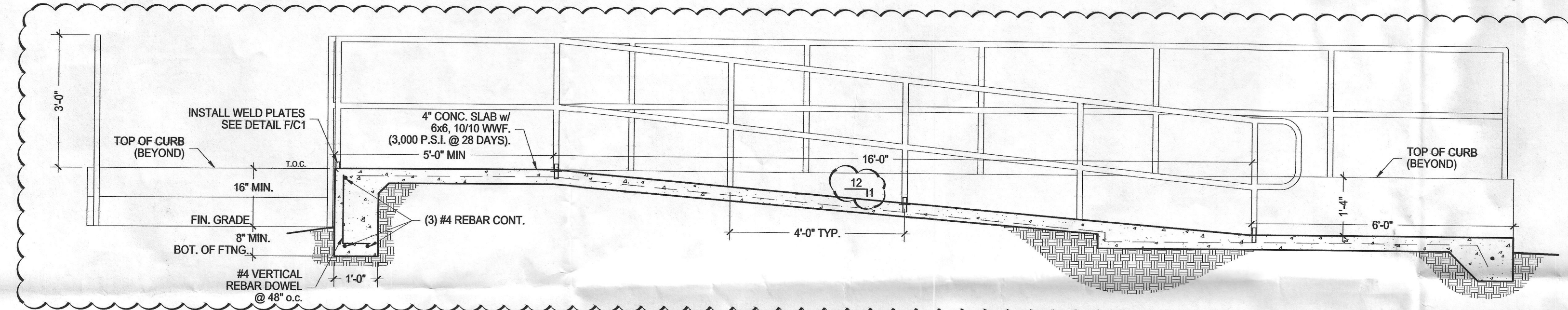
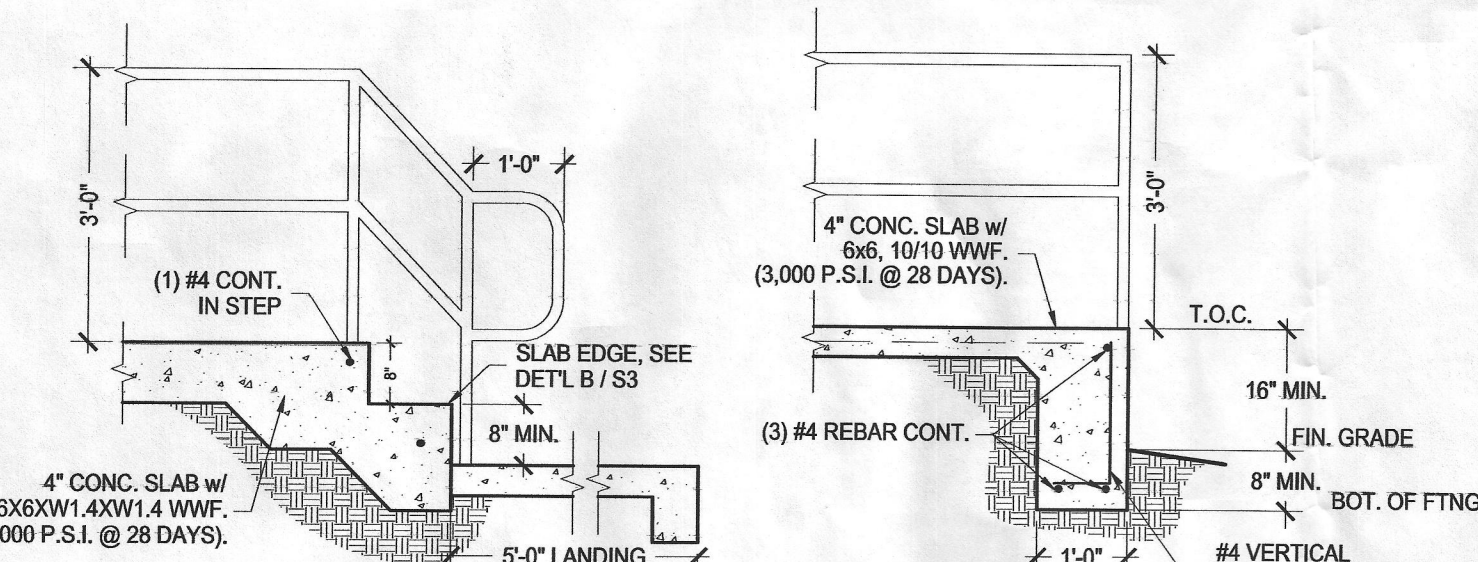
RIGHT SIDE VIEW

G
C1

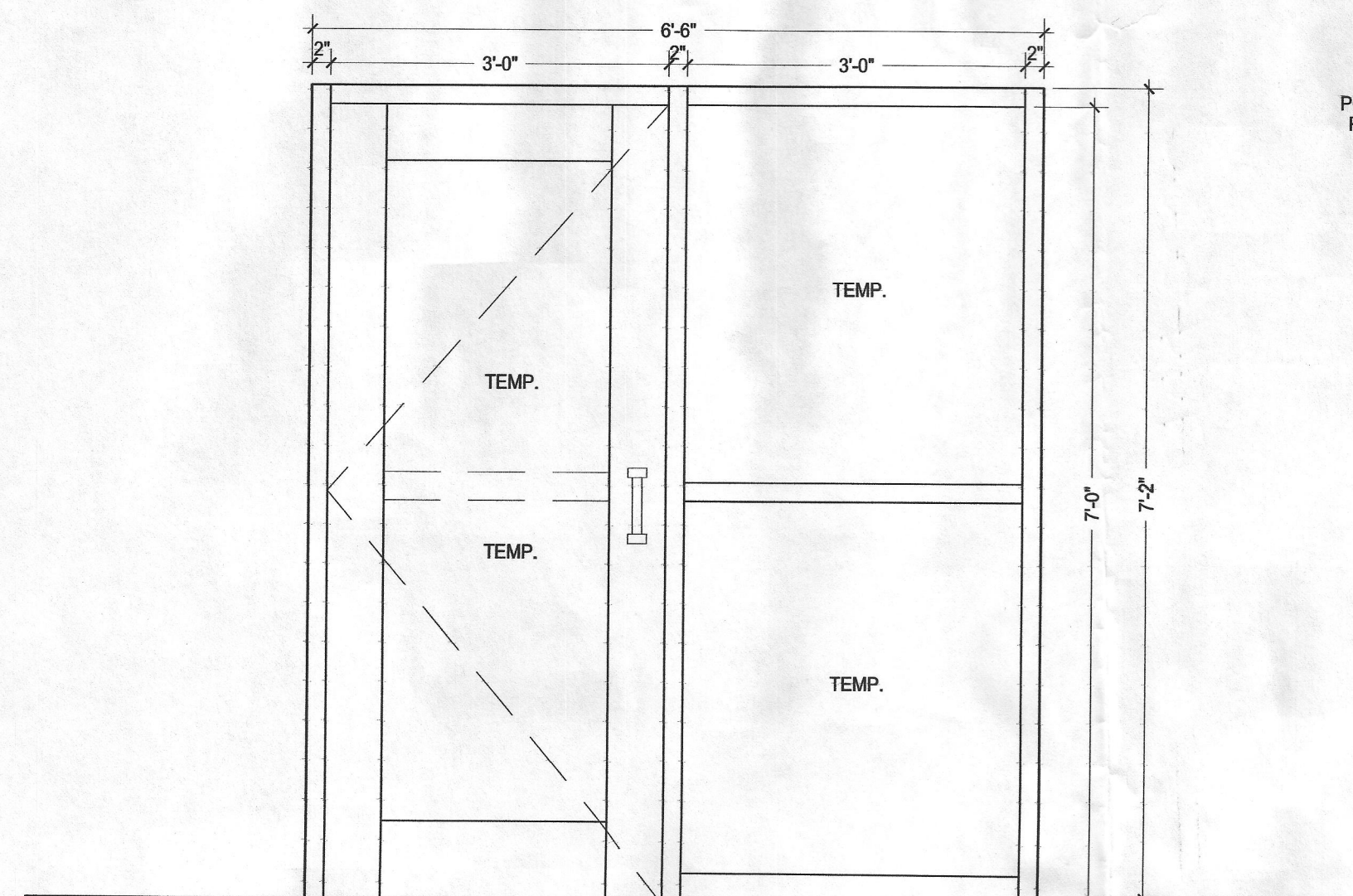
NOT TO SCALE



$\overline{C1} \quad 1'' = 1'-0''$


$$(C_1)^{1/2} = 1'-0''$$

$$\overbrace{C_1}^{1/2''} = 1'-0''$$

C1 $1/2'' = 1'-0''$



C1 3/4" = 1'-0"

PROJECT ADDRESS:

10801 ACOMA RD. SE
ALBUQUERQUE, NM

2015 INTERNATIONAL EXISTING BUILDING CODE

B

V-B

D

BUSINESS 754 SF/100 = 7.5
TOTAL LOAD = 8

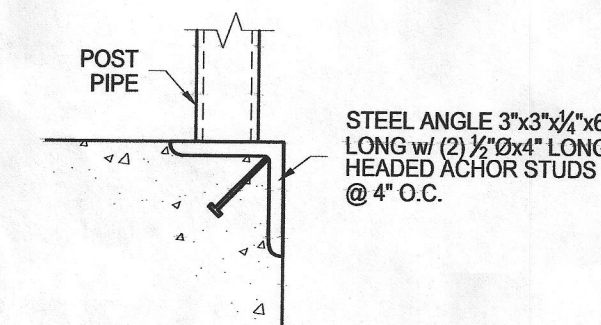
EXIT WIDTH (.2 x 32 = 6.4") 72"
NUMBER OF EXIST. (1 REQUIRED) 1 SUPPLIED

TOILETS (1 REQUIRED)	1 EXISTING
LAVATORIES (1 REQUIRED)	1 EXISTING
SERVICE SINK	1 EXISTING

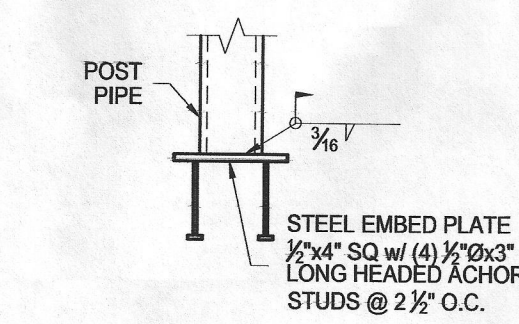
B OCCUPANCY TYPE VB 36,000 SF ALLOWABLE
ACTUAL BUILDING AREA 754 SF

NON-SPRINKLERED

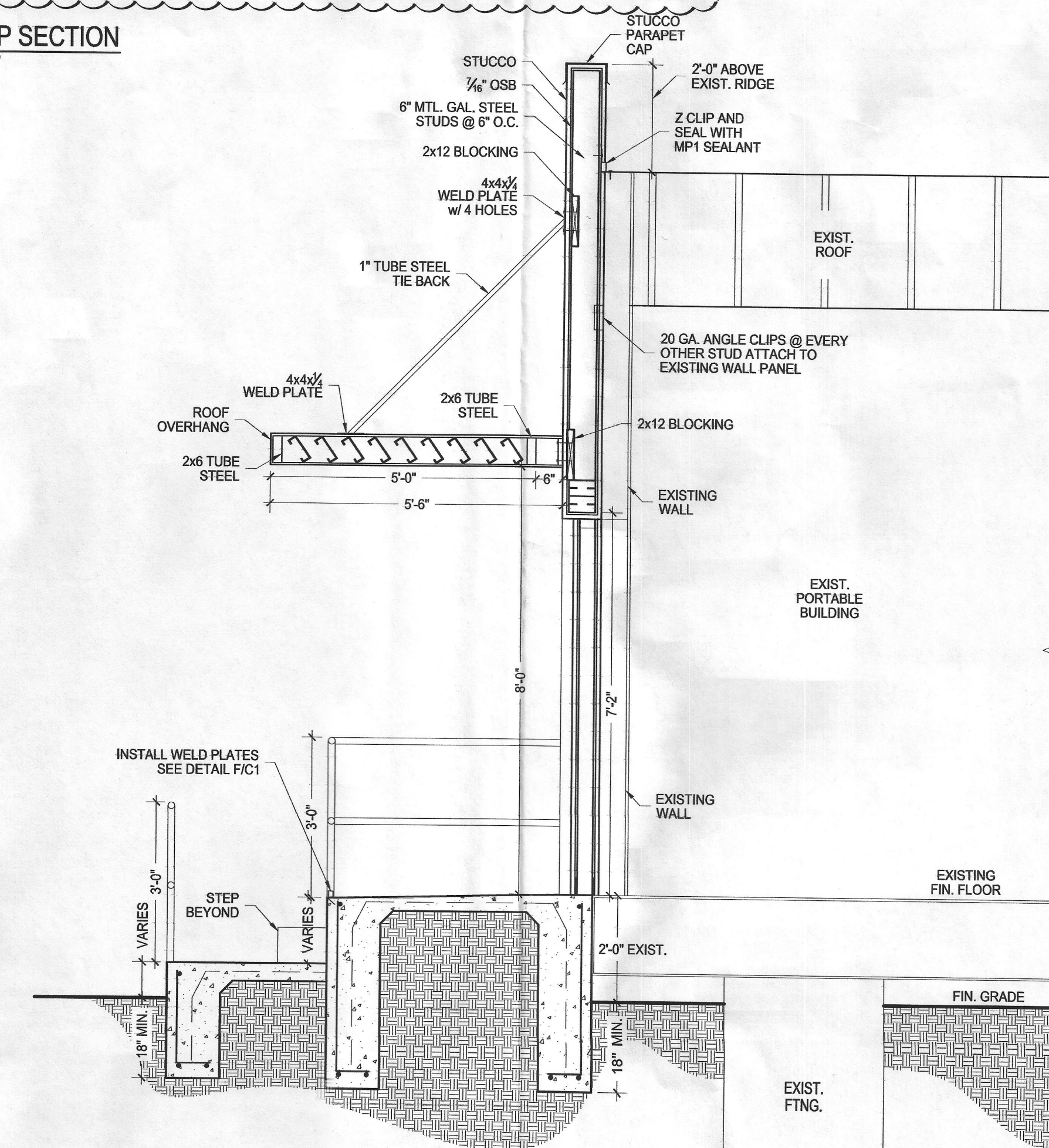
ALLOWABLE	2 STORY
ACTUAL	1 STORY



C1	NTS
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C1	N.T.S
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C1	1/2" = 1'-0"
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C1.....COVER SHEET & SITE PLAN
A1.....ARCHITECTURAL FLOOR PLAN & DETAILS

PROJECT ADDRESS: 10801 ACOMA ROAD SE
ALBUQUERQUE, NEW MEXICO 87123

LEGAL DESCRIPTION: LOT 30, BLOCK 11,
EAST CENTRAL BUSINESS ADDITION
BERNALILLO COUNTY, NEW MEXICO

The 2015 International Building Code
The 2015 International Residential Code
The 2015 International Energy Conservation Code
The 2012 Uniform Mechanical Code
The 2012 Uniform Plumbing Code
The 2015 National Electrical Code
Applicable Administrative Codes

Permit holder is responsible for checking with the permit office to verify current adopted codes and any amendments to current codes.

Exterior remodel only.

No plumbing, mechanical or electrical work this project.



PROJECT ADDRESS:
10801 ACOMA ROAD SE
ALBUQUERQUE, NM 87123

addwelling
DESIGN

DRAWING NAME: COVER SHEET & SITE PLAN

DRAWING NAME:
COVER SHEET & S

-PROJECT NUMBER-	
18-130	
-PROJECT PROGRESS-	
FINAL	
-DRAWN BY-	
ADWELLING	
-CHECKED BY-	-APPROVED BY-
J.H.	J.H.
-DATE-	
12.18.18	
-SCALE-	
AS NOTED	
-SHEET-	

C1

- 2 TOTAL SHEETS -

2142 BACA 944-5600