

DRAINAGE INFORMATION SHEET

PROJECT TITLE: _____ ZONE ATLAS/DRNG. FILE #: L21/D30

LEGAL DESCRIPTION: TRE B*4 East Central Business Add.

CITY ADDRESS: 11411 Central Ave. N.E.

ENGINEERING FIRM: C.A. Coonce & Assoc. Inc. CONTACT: C.A. Coonce

ADDRESS: 12324 Pineridge N.E. PHONE: 296-1089

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

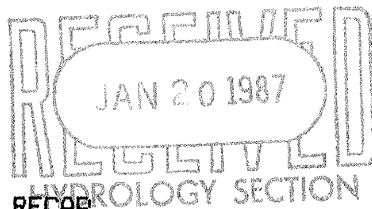
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: Jan. 20, 1987 (Resubmittal)

BY: C.A. Coonce



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Ken Schultz
Mayor

UTILITY DEVELOPMENT DIVISION
HYDROLOGY SECTION
(505) 768-2650

February 5, 1987

C.A. Coonce
C.A. Coonce & Associates, Inc.
12324 Pineridge, NE
Albuquerque, New Mexico 87112

RE: DRAINAGE PLAN FOR 11411 CENTRAL AVENUE
(L-21/D30) RECEIVED JANUARY 20, 1987

Dear Mr. Coonce:

The above referenced plan dated January 19, 1987, is approved for Building Permit. Prior to Certificate of Occupancy release, please submit the recorded plat for the site.

Please attach a copy of this approved plan to both sets of drawings submitted for building permit sign-off.

If you have any questions, call me at 768-2650.

Cordially,

Carlos A. Montoya, P.E.
City/County Floodplain Administrator

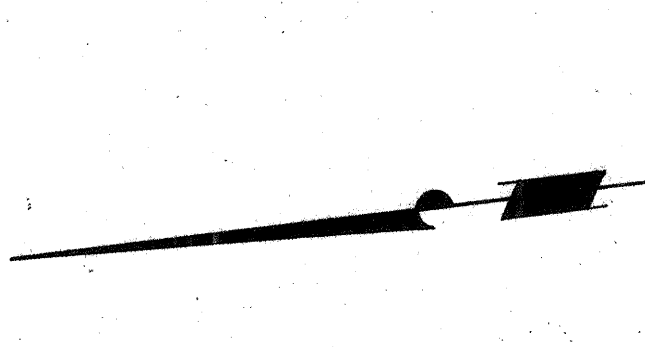
CAM/bsj

PUBLIC WORKS DEPARTMENT

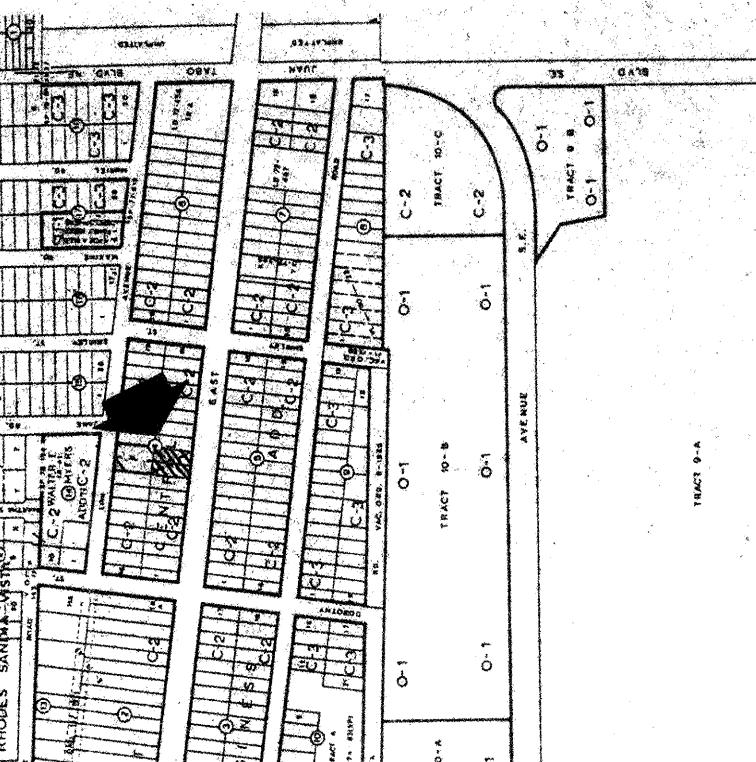
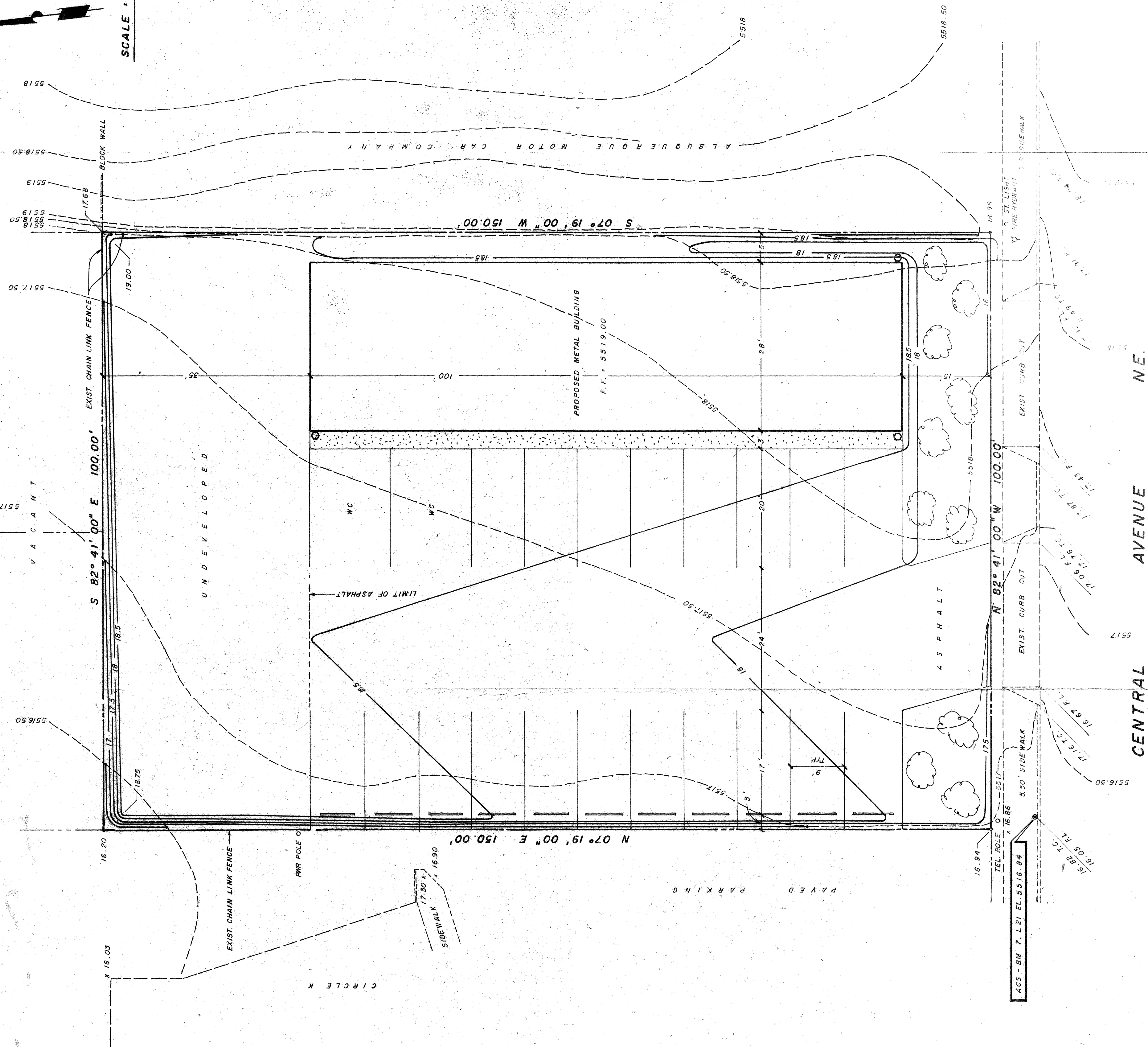
Walter Nickerson, P.E., City Engineer

ENGINEERING GROUP

Telephone (505) 768-2500



SCALE : 1" = 10'



LOCATION MAP L-21-2



FLOODWAY
FLOOD BOUNDARY
FLOODWAY MAP
PANEL 37 OF 50 NO 350002 0037

NOTES :

THIS TRACT OF LAND IS BEING REPLATED FROM LOTS 9 AND 10 TO TRACT 15. THE LOT CORNERS ARE BEING REPLATED TO BE 100' X 150' X 150' X 150' PRECIPITATED STEEL BUILDING IS PROPOSED FOR THIS SITE. THE FRONT 15' EXCEPT FOR A 24' DRIVEPAD, IS TO BE LANDSCAPED. THIS GIVES A LANDSCAPING AREA OF 1,140 SQUARE FEET, OR 7.62% OF THE LOT AREA. THE REAR 35' OF THE LOT IS TO BE UNUSUED AT THIS TIME.

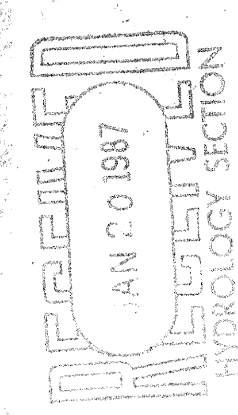
THE LOTS ALONG THE NORTH SIDE OF CENTRAL AVE HAVE AN ADVERSE TOPOGRAPHIC GRADE. THE LOTS ARE REQUIRED TO DRAIN TO CENTRAL AVE. THE ELEVATIONS SET FOR THIS LOT WILL ALLOW FOR DRAINAGE TO THE EXISTING CURB CUT FOR CONVEYANCE TO THE CENTRAL AVENUE STORM DRAINAGE SYSTEM.

THE RESULTING LOT COEFFICIENT OF RUNOFF WILL BE 0.79 AND THE 100 YEAR PHA W WILL BE 1.42 CFS, BASED UPON A RAINFALL INTENSITY OF 5.27 INCHES PER HOUR.

THE ADJACENT DEVELOPED AND UNDEVELOPED LOTS ARE CONTOURED SO THAT THERE ARE NO OFF-SITE FLOWS ONTO THIS LOT.

A VERY SMALL AMOUNT OF ASPHALT RUNOFF WILL ENTER THE SOUTHWEST LANDSCAPED AREA (APPROXIMATELY 40 CF DURING A 2.4 IN. 6 HOUR STORM). ONLY MINOR OVERFLOW FROM THE SOUTHEAST LANDSCAPED AREA EXISTS AT ITS BEST POINT, WHICH IS THE SOUTHWEST CORNER OF THAT AREA, INTO THE CENTRAL AVE. HENCE TO THE CENTER.

DOWNSPOUTS



C.A. COONCE & ASSOC.
ENVIRONMENTAL, WATER RESOURCES, & SANITARY CONSULTING ENGINEERS
12324 PINERIDGE N.E. ALBUQUERQUE, N.M. 87112 PH. (505) 296-1089

TITLE
GRADING AND DRAINAGE PLAN

PROJECT NO.
114111

DATE
CENTRAL AVENUE N.E.