

ZONE ATLAS MAP L-21

1921 Central Ave NE (NW corner with Elizabeth
ST 10A BLOCK 3 LONGFIELD ADDITION
SECTION 28 TOWNSHIP 10 N., RANGE 4 EAST
1PM BERNALILLO COUNTY, NEW MEXICO

LOT AREA: 30,374 s.f.
BUILDING AREA: 9,992 s.f. gross
(NO ADDITION; INCLUDES THICKENED WALLS)
OCCUPANCY: B (former Retail Store - no
occupant now SHELL ONLY)
CONSTRUCTION TYPE: V-B

PARKING:

Parking area is to be repaved - and rearranged
to avoid new facade improvements and to
provide for ADA space and related ADA
passenger loading area. Previously
existing was 11 spaces (no ADA). 9 spaces
are provided.
ADA accessible space delineated at entry

EXECUTIVE SUMMARY: SHELL PERMIT

THERE ARE NO KNOWN OR APPLICABLE EPC DECISIONS,
VARIANCES,
MASTERPLANS OR SIMILAR OVERARCHING GUIDELINES. MX-H ZONE.
THE WORK OF THIS SHELL PROJECT IS PRIMARILY ENHANCEMENT
OF THE EXTERIOR AT THE FRONT, SIDES AND REAR. THERE IS NO
USE STIPULATED, AND NO OCCUPANTS ANTICIPATED EXCEPT FOR
WORKERS. LATER PERMITS ARE EXPECTED WHEN TENANTS ARE
ENGAGED AND THOSE PERMITS WILL INCLUDE STIPULATED
OCCUPANTS, AND WITH THESE A STIPULATED REQUIRED PARKING
COUNT AND LAYOUT.

EXISTING SHELL IS METAL BUILDING WITH STEEL PRIMARY AND
SECONDARY STRUCTURE AND ORIGINALLY HAD METAL ROOF
PANELS AND METAL PANEL SIDING. STUCCO WAS LATER ADDED
AND WILL BE
REFINISHED WITH THE SHELL PERMIT.
ORIGINALLY A 50' x 100' BUILDING, THE STRUCTURE HAD 2 MAJOR
ADDITIONS ENLARGING SQUARE FOOTAGE.
THE ROOF AT SOME POINT HAD A SECOND METAL ROOF OVERLAID,
AT DOWNSLOPES OVERLAYING ORIGINAL ROOF

NEW WORK THIS PERMIT:

a.) NEW EXTERIOR WALLS ALL SIDES:

INSTALL NEW CONTINUOUS INSULATION WITH ELASTOMERIC
FINISH SYSTEM

INSTALL TWO STOREFRONT ENTRY SYSTEMS AT SOUTH
AND REMOVE PREVIOUS STOREFRONT ENTRY AT SOUTH.

* note: AT WEST WALL, EXISTING WALL IS NOT BEING

RECONFIGURED

EIFS MEMBRANE IS TO BE ADDED AT EXTERIOR, AND
INSULATION

OVER EXISTING AT INTERIOR

b.) ADD H.C. RAMP AND STAIRS AND PLATFORM AT NORTH (REAR)

c.) ADD 2 OVERHEAD DOORS AT SOUTH AND TWO AT NORTH
(REAR)

d.) INSTALL NEW DECORATIVE STEEL TRELLIS FEATURES IN
FRONT OF SOUTH (ENTRY) FACADE.

e.) INSTALL NEW DECORATIVE ENTRY STRUCTURE

f.) EXISTING ROOF HAD 17 SKYLIGHTS - SURFACE MOUNTED
TRANSLUCENT PANELS. SOME WERE LEAKING. THESE ARE
TO BE REMOVED AND OPENINGS COVERED OVER WITH
METAL PANEL TO MATCH EXISTING ROOF

g.) NEW HVAC ROOFTOP PACKAGE UNITS TO BE INSTALLED
ON ROOF

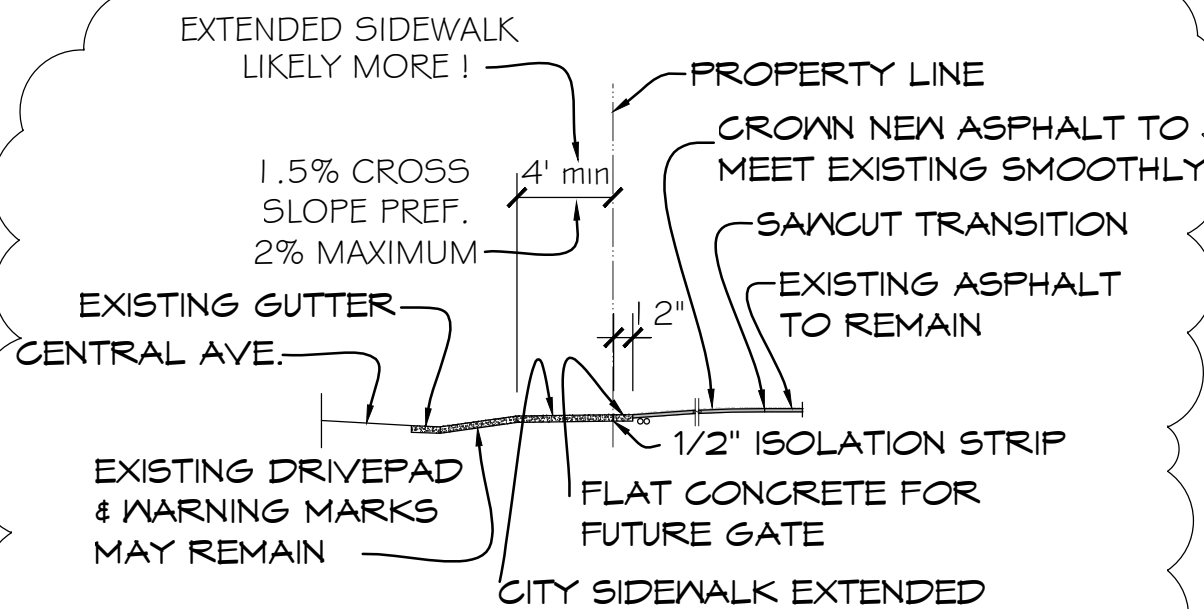
h.) REMOVAL OF EXISTING TOILET ROOMS AND SANITARY
SEWER AND DOMESTIC WATER LINE FEED AND INSTAL-
LATION OF NEW SEWER AND WATER AND NEW MINIMAL
TOILET ROOMS (EXPANSION OF THESE AT A LATER DATE
WILL CONFORM WITH TENANT OCCUPANCY REQUIREMENTS)

KEYED NOTES:

1. NEW DECORATIVE TRELLIS (2 THUS)
2. EXISTING WATER METER TO REMAIN; NEW 1-1/4" WATER SUPPLY IN TRENCH
3. NEW SEWER STUB TO BE DEVELOPED THIS AREA; CONNECT AT STREET AND
CARRY IN FROM EXTERIOR WALL AND RISE AND CAP
4. FUTURE ELECTRICAL PANELS THIS AREA (PRIMARY BREAKER OUTSIDE, HOUSE
PANELS INSIDE, SEE ELECTRICAL)
5. NEW ENTRY CANOPY BASE (CONCRETE); 4 THUS
6. NEW LOADING PLATFORM, RAMP, AND EXTERIOR STAIRS TO GRADE
7. THIS AREA UNDIFFERENTIATED TRAFFIC AND PARKING NOT DELINEATED
8. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND
CURB AND GUTTER PER COA STANDARD DRAWING 2430
9. 4" THICK CONCRETE SIDEWALK; 1/2" TURNDOWN AT PLANTERS. 6' WIDE SIDEWALK
CONTINUES TO MEET CITY SIDEWALK AT ELIZABETH STREET.
10. PLANTER: BRING SOIL TO WITHIN 1/2" OF SIDEWALK
11. CONCRETE PARKING BUMPER EACH SPACE
12. EXISTING CURB CUT AND DRIVE TO REMAIN. MODIFY SIDEWALK RAMP IF SLOPES
ARE NOT CORRECT AND ADD TACTILE TRUNCATED DOME WARNINGS PER COA
STANDARD DRAWING 2425B (DRIVE AT BACK OF CURB).
- 12a. EXISTING CURB CUT WIDENED. EXTEND CONCRETE SIDEWALK TO NORTH TO
PROPERTY LINE AND ENSURE CROSS SLOPE IS NOT GREATER THAN 2%, 1.5%
PREFERRED. ADD 12" CONCRETE STRIP NORTH OF PROPERTY LINE SEPARATED WITH
FIBROUS CONTROL JOINT FOR POSSIBLE FUTURE GATE TRACK. INSTALLATION TO
COMPLY WITH COA DRIVEPAD DWG 2425B EXAMPLE WITH SIDEWALK AT PROPERTY
LINE
13. EXISTING IS SET OVER PROPERTY LINE. REMOVE SIGN AND POSTS
14. EXISTING LARGE SIGN TO REMAIN
15. TRANSFORMER ON PAD: SEE ELECTRICAL WITH 6 BOLLARDS PER NOTE 21
16. VENT THROUGH ROOF: SEE PLUMBING
17. PROVIDE SIGN ON POST AT HEAD OF HC SPACE (VAN ACCESSIBLE) SEE DETAIL
THIS SHEET
18. EXISTING ASPHALT REPLACED; REVISE NEW AT REVISION TO CENTRAL AVE DRIVE
PAD ENTRY SO THAT ASPHALT MEETS NEW (LOWER) BACK OF SIDEWALK ELEVATION
AND GENTLY RAMPS UP TO MEET EXISTING ASPHALT AT MAIN E-W DRIVE AISLE
THIS DRIVEWAY CUT DOES NOT COMPLY WITH CURRENT STANDARDS AND
WILL BE TAKEN OUT AND REPLACED WITH STANDARD SIDEWALK, CURB & GUTTER
per COA STANDARD DRAWING 2430
- 19.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Curtis A. Cherna 1-26-24
Signed Date

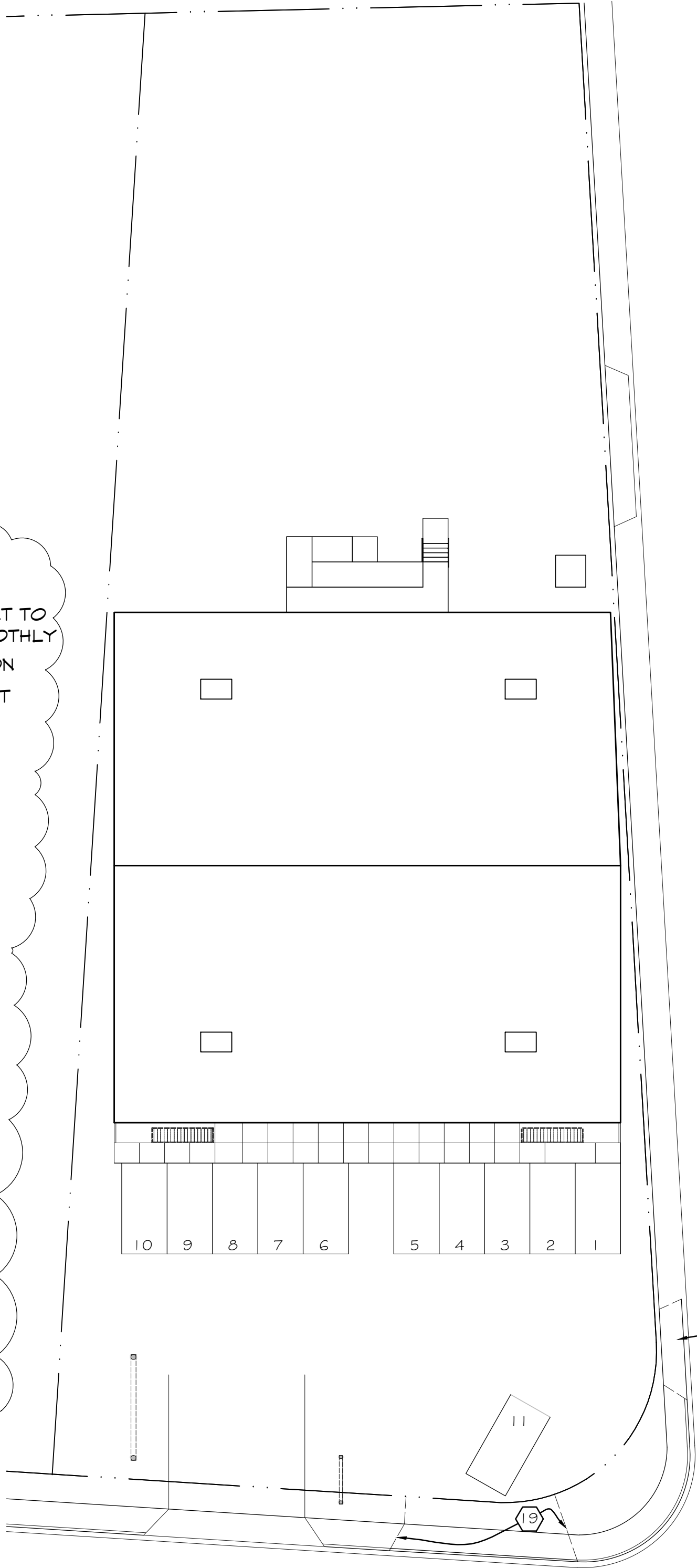


PARTIAL SITE PLAN AT
CENTRAL AVE DRIVEPAD
ENLARGED DETAIL

1" = 10' - 0"

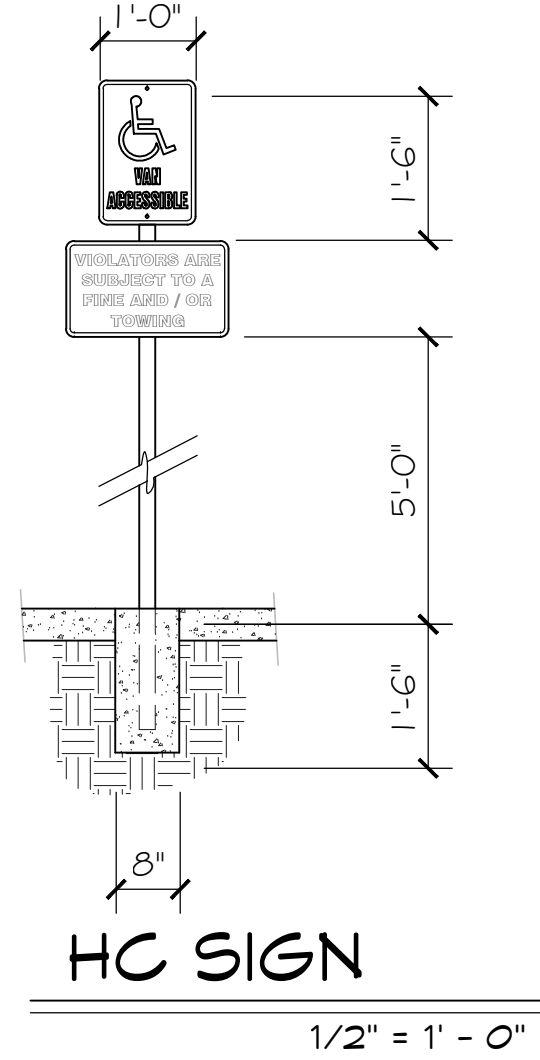
KEYED NOTES: (CONTINUED)

20. DUMPSTER IN ENCLOSURE WITH GATES
21. 4" Ø CONCRETE FILLED STEEL PIPE BOLLARD TO 42" ABOVE GRADE, 24" BURIAL,
PAINTED TRAFFIC YELLOW
22. PROVIDE 2-BIKE MINIMUM CAPACITY BIKE RACK: "BELSON INVERTED U" OR EQUAL,
36" HIGH x 22" WIDE, SET IN 12" DEEP CONCRETE PAD BOTH ENDS ON SIDEWALK
6' LONG x 30" WIDE
23. CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH
CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY
BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE
ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
24. EXTEND CONC. ENTRY WALK TO EXISTING SIDEWALK (ADA ACCESS); 1:20 MAX
SLOPE; THE SIDEWALK ON PROPERTY IS SLOPED LESS THAN 1:20 & 1/96 CROSS
SLOPE TO FRONT DOORS
25. INSTALL MOTORCYCLE PARKING SIGN ON POST AT HEAD OF SPACE SET IN CONC.
POST SIMILAR TO HC SIGN THIS SHEET
26. INSTALL RAILROAD TIES (OR FENCE) AT OPEN AREAS ALONG PROPERTY LINE TO
PREVENT CROSS-ACCESS TO PROPERTY TO WEST.
27. BURY TWO 1" CONDUIT SLEEVES 18" BELOW ASPHALT WITH SWEEPS RISING UP
AND CAPPED (FOR POSSIBLE FUTURE ELECTRIC GATE)



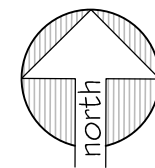
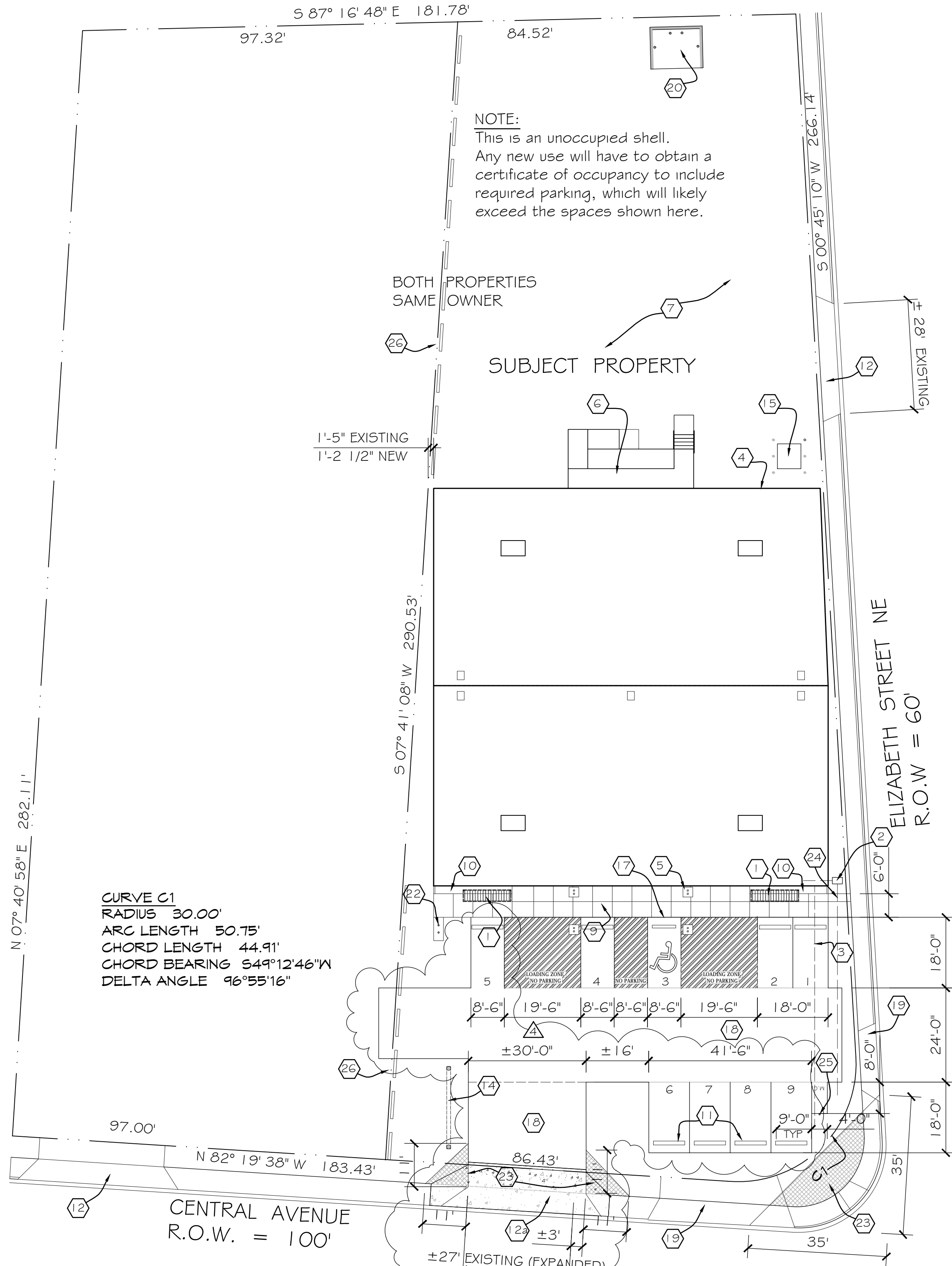
PARTIAL SITE PLAN AT FRONT SHOWING
PREVIOUS / EXISTING PARKING

1" = 20' - 0"



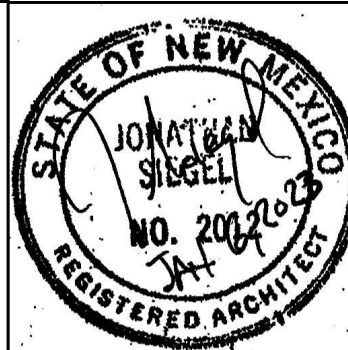
HC SIGN

1/2" = 1' - 0"



SITE PLAN SHOWING NEW PARKING

1" = 20' - 0"



SIEGEL DESIGN
ARCHITECTS, LLC

1006 PARK AVENUE SW
ALBUQUERQUE, NEW MEXICO 87102 (505) 243 4501
email: Jonathan@siegeldesignarchitects.com

RENOVATIONS to an
EXISTING BUILDING SHELL

10921 CENTRAL AVE. NE
ALBUQUERQUE, NEW MEXICO 87123

OWNER CONTACT: Steve DeBlasse 505 269 4142

PROJECT
2119

DATE REV
Jan 6, 2023
Mar 9, 2023
Nov 6, 2023
Jan 26, 2024

TCL