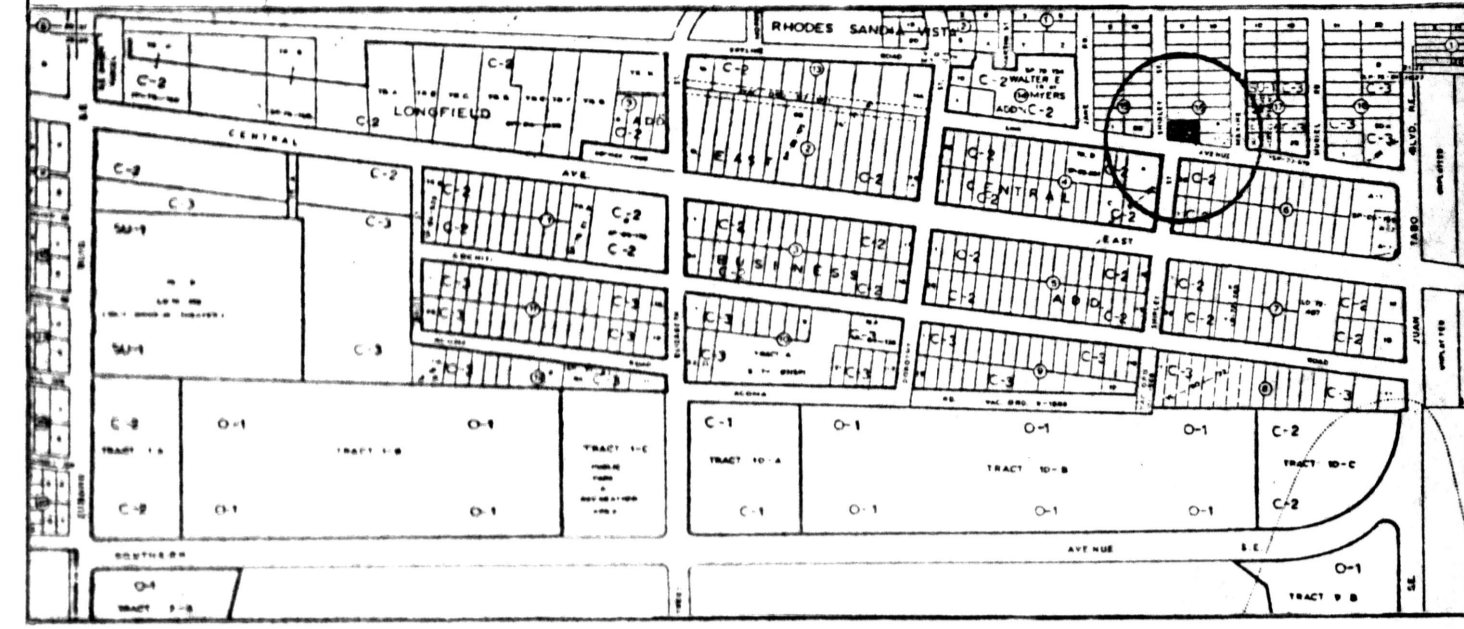


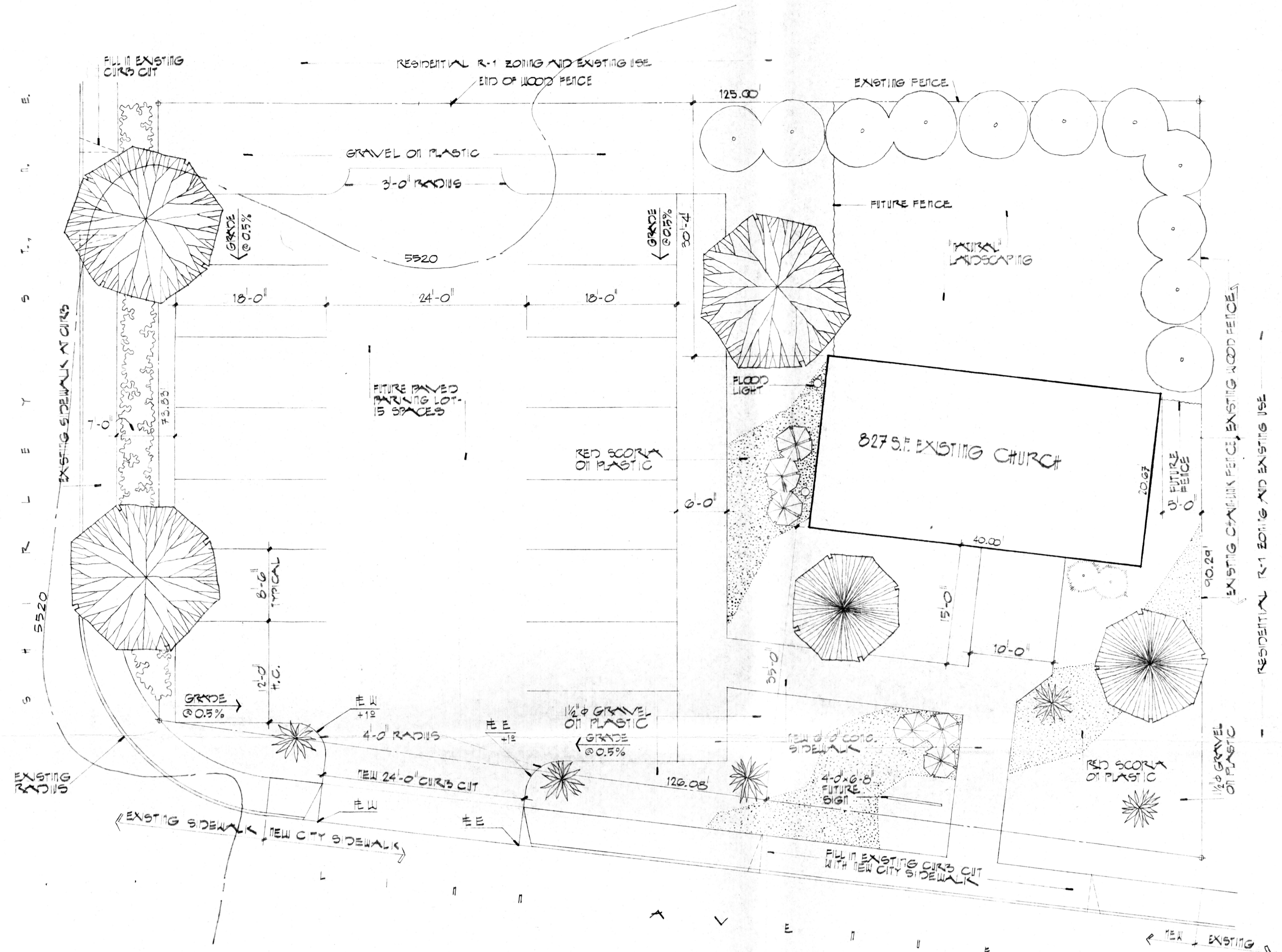
VICINITY MAP



LANDSCAPING LEGEND

- ARIZONA ASH - 1 1/2 CALIPER
- AUSTRIAN OR SCOTCH PINE - 1 1/2 CALIPER
- ITALIAN OR ARIZONA CYPRESS - 1 1/2 CALIPER
- PALM - 5 GAL.
- RED BARBERRY - 5 GAL.
- SOFT LEAVED YUCCA - 1 GAL.
- PFEIFFER JUNIPER @ 5'-0" O.C. - 2 GAL.

NOTE: ALL GROUND COVER NOT OTHERWISE NOTED SHALL BE 1/2" GRAVEL OR PLASTIC FILL. LANDSCAPE MAINTENANCE WILL BE DONE BY MEMBERS OF THE CHURCH. PLANTS & TREES WILL BE WATERED BY HAND.



SITE, LANDSCAPING AND DRAINAGE PLAN 1/8" = 1' - 0"



PHOTO FROM SOUTHEAST

ENTIRE BUILDING TO BE REFINISHED + BE GE COLORED STUCCO

EAST WALL IS BLANK (NO OPENINGS)

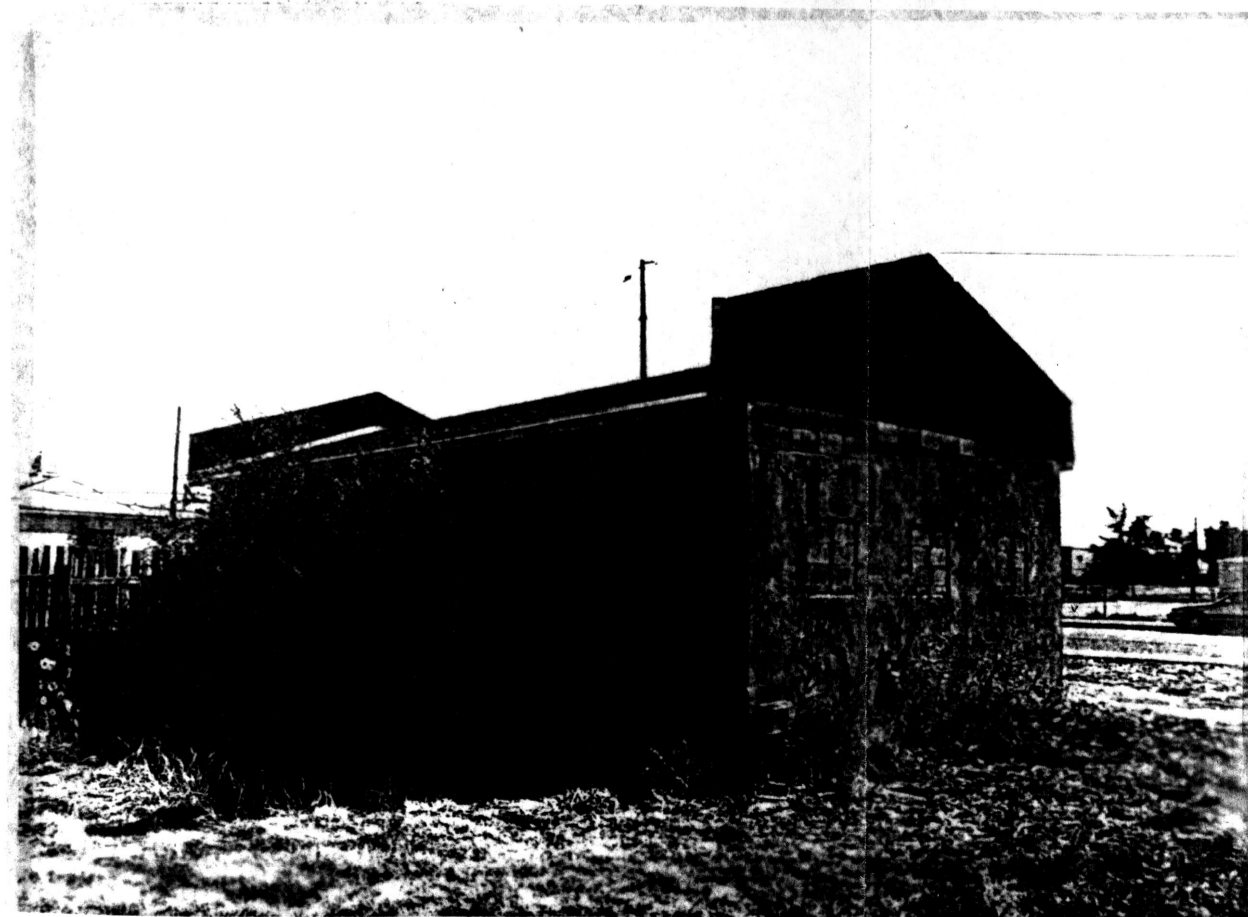


PHOTO FROM NORTHWEST

WEST WALL IS BLANK (NO OPENINGS) TO BE REFINISHED + BE GE COLORED STUCCO

DATA & CALCULATIONS

S.C.S. SOILS MAP #32
 SITE OF CONGREGATION = 30 TO 40 WORSHIPPERS
 REQUIRED PARKING PER CODE = 10 SPACES
 OFF STREET PARKING SHOWN = 15 SPACES
 HANDICAPPED PARKING REQUIRED = 1 SPACE
 HANDICAPPED PARKING SHOWN = 1 SPACE
 AREA OF THE PARKING LOT = 4140 S.F.
 LANDSCAPED AREA = 5200 S.F.
 TOTAL AREA OF THE LOT = 10,257 S.F. = 0.235 ACRES
 TOTAL GROSS AREA OF THE STRUCTURE = 827 S.F.

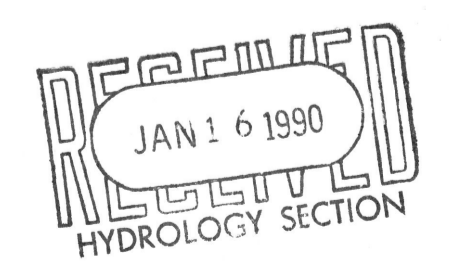
DRAINAGE DATA



OFFSITE
 FEMA FLOODWAY PANEL #37 INDICATES THE PROPERTY IS NOT LOCATED IN A DESIGNATED FLOOD PLAIN. THE PROPERTY IS NOT IMPACTED BY OFFSITE DRAINAGE. (THERE ARE MAJOR FLOWS ENTERING FROM ADJACENT WARDENS OF THIS PROPERTY. THESE FLOWS WILL CONTINUE TO BE ACCEPTED.)

ONSITE
 AREA = 10,257 S.F.
 $t_c = 10 \text{ MIN.}$
 $i = 3.25 \text{ IN./HR.}$
 $Q_{100} = (0.85)(5.28)(10,257/43,560) = 1.00 \text{ C.F.S.}$
 $Q_0 = 0.69 \text{ C.F.S.}$
 $V_{100} = (2.5)(12)(0.85)(10,257) = 1,815 \text{ C.F.}$
 $V_0 = 1,192 \text{ C.F.}$

LEGAL DESCRIPTION
 LOT 1, BLOCK 10, PHOENIX VISTA



REV 01/05/90

LEGEND

- TBM TEMPORARY BENCH MARK
- FF FINISH FLOOR
- FG FINISH GRADE
- FL FLOW LINE
- TA TOP OF ASPHALT
- TC TOP OF CURB
- TP TOP OF PAD
- TS TOP OF SIDEWALK
- TW TOP OF WALL
- FH FIRE HYDRANT
- MH MAN HOLE
- PP POWER POLE
- RD ROOF DRAIN
- PED POWER OR TEL. PEDESTAL
- WV WATER VALVE
- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- (XX.X) EXISTING ELEVATION
- XX.X PROPOSED ELEVATION
- AS-BUILT ELEVATION

CONSTRUCTION NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
 - ALL CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- EROSION CONTROL MEASURES:**
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
 - THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE

EXISTING CONDITION

The site is located in a fully developed neighborhood. The building (proposed for renovation) is an existing structure located at the rear of the lot. The existing finish floor elevation is lower than most of the surrounding top of curb. The onsite earth surface is below the top of curb and stormwater ponds onsite.

Portions of the adjoining lots to the east contribute stormwater to the subject lot through a chainlink fence.

The site is not located in a designated flood hazard area per FEMA FIRM Panel No. 37, dated Oct. 14, 1983.

PROPOSED CONDITION

The existing building is to be renovated and a paved parking area and sidewalks are to be constructed. Due to the low elevation of the existing floor it is necessary to drain the lot via a proposed sidewalk culvert at the northwest corner of the site. The proposed parking lot will also be drained through this culvert.

Offsite flows will continue to be accepted and routed through the site.

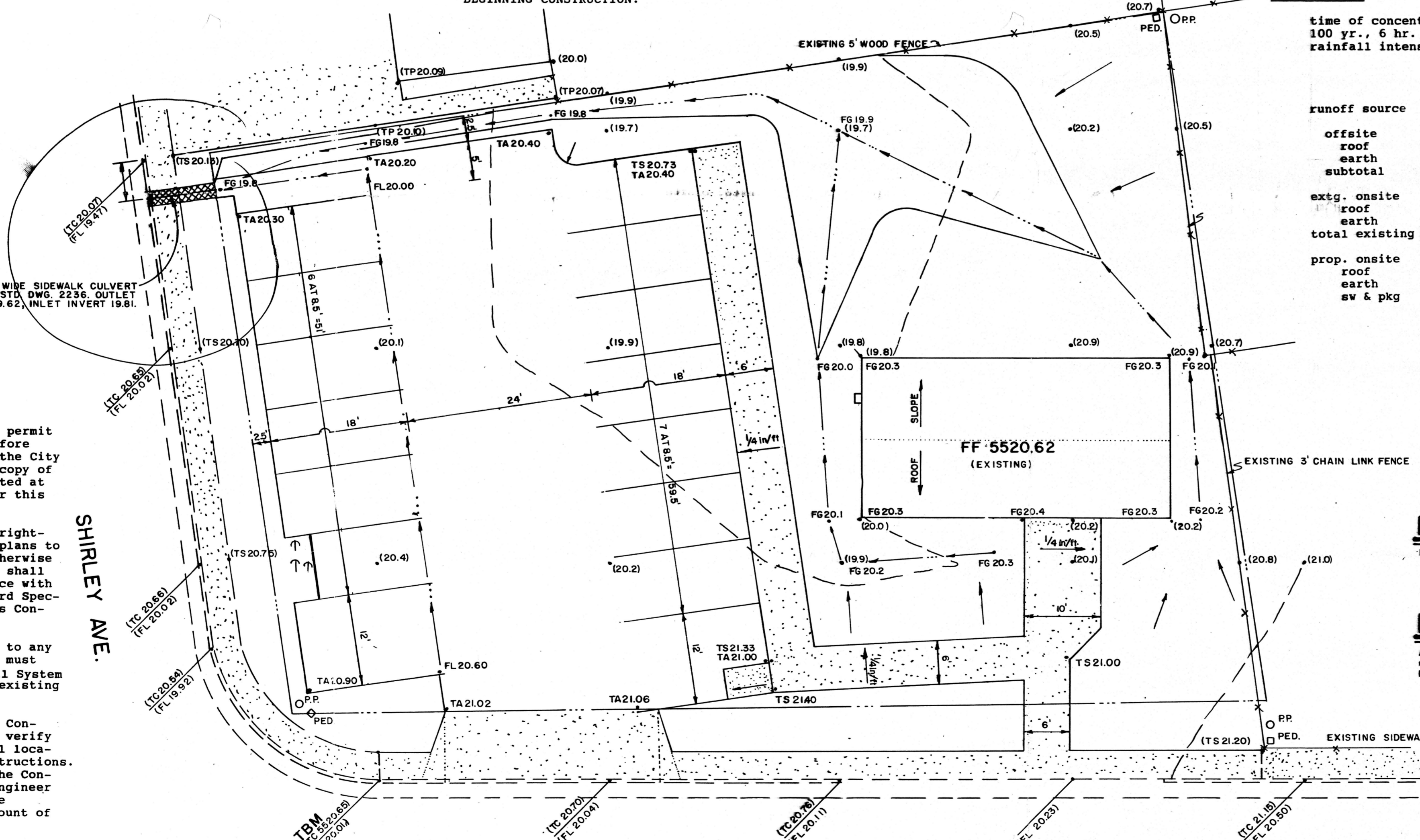
No ponding is required as the site does not contribute to downstream flooding.

Minor ponding, due to the flat grades, can be expected on the earth surfaces around the building. The parking lot is designed with 1% grades to assure positive drainage. In addition the parking area has been designed with an asphalt outfall to the sidewalk culvert to reduce onsite erosion and street deposition.

CALCULATIONS

time of concentration - 10 min.
 100 yr., 6 hr. rainfall - 2.45 in.
 rainfall intensity - (2.45)(6.84)(10)^{-0.51}
 5.18 in./hr., 100 yr.
 3.40 in./hr., 10 yr.

runoff source	area	runoff coeff	100 yr runoff rate	10 yr runoff rate
offsite				
roof	1100	0.90	0.12	0.08
earth	3750	0.40	0.18	0.12
subtotal	4850		0.30	0.20
extg. onsite				
roof	880	0.90	0.09	0.06
earth	9370	0.40	0.45	0.29
total existing	15100		0.84	0.55
prop. onsite				
roof	880	0.90	0.09	0.06
earth	4125	0.40	0.20	0.13
sw & pkg	5245	0.95	0.59	0.38
total	15100		1.18	0.77



GRADING PLAN 1" = 10'

LEGAL

LOT 1, BLOCK 16, RHODES SANDIA VISTA

BENCHMARK

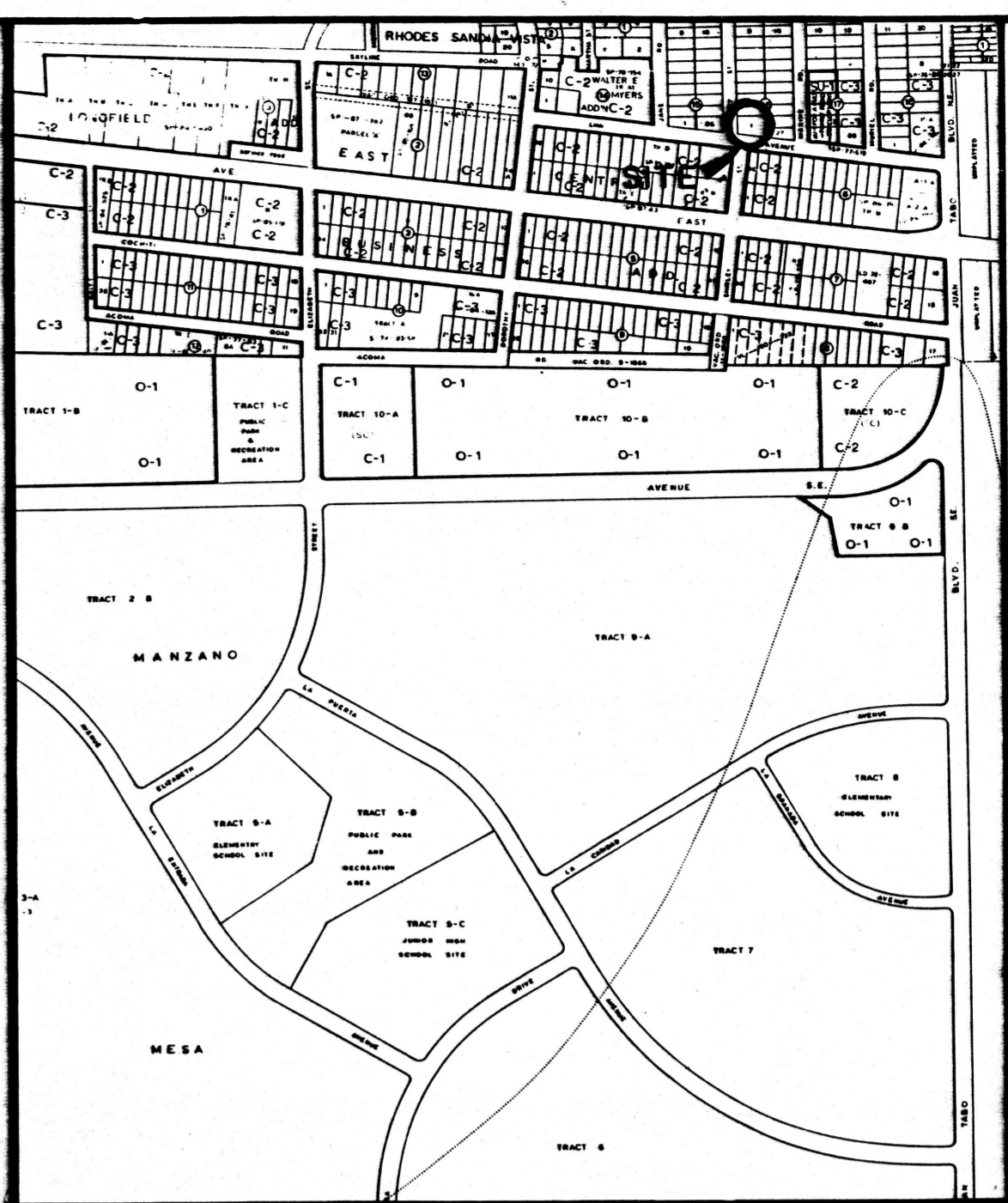
ACS BRASS CAP I-L2(I)
 CENTRAL AT JUAN TABO
 ELEV. 5554.54

HYDROLOGY APPROVAL & INSPECTION

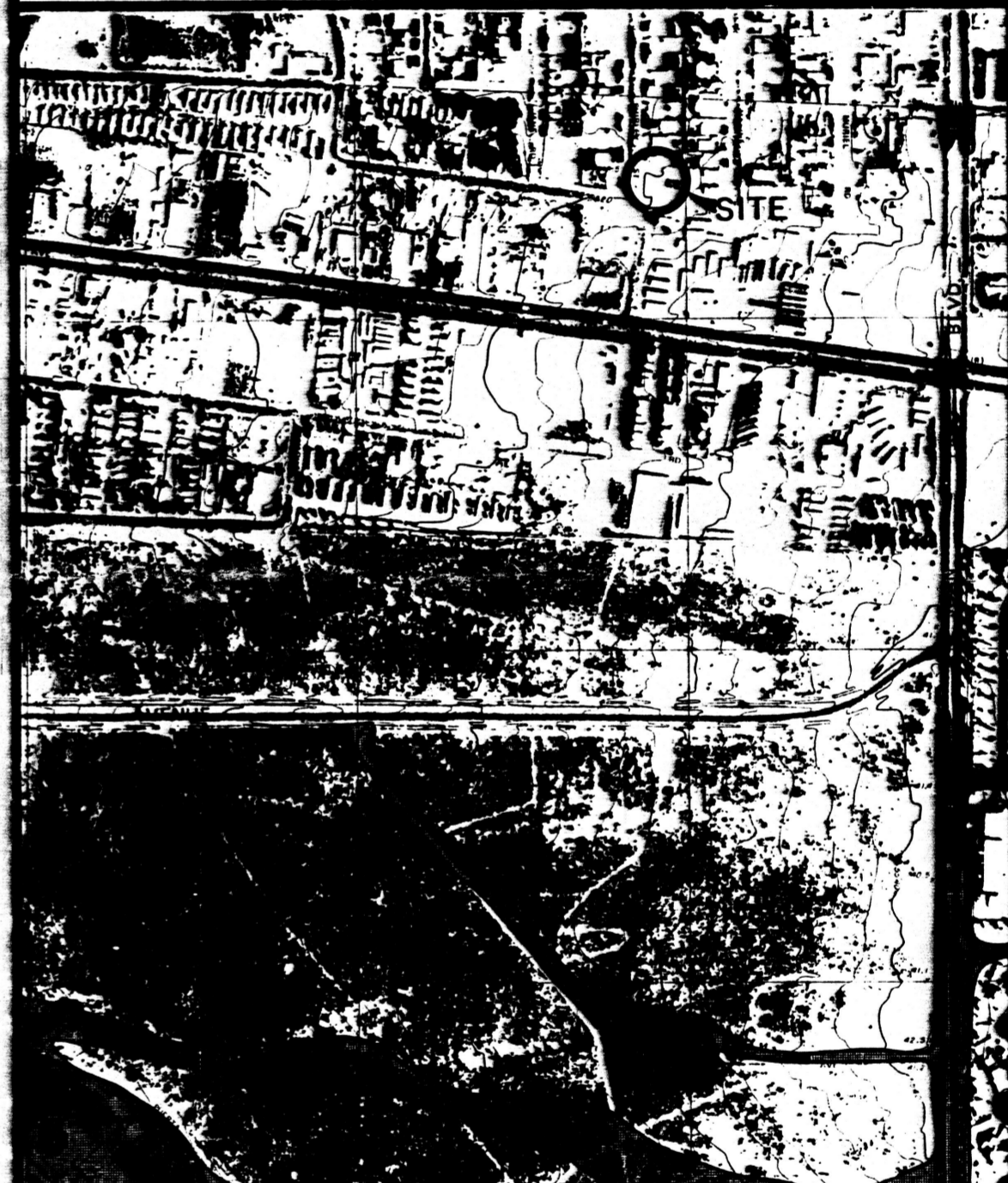
APPROVED FOR BUILDING PERMIT
 ENGINEER *B. Montoya* DATE 10/16/90
 INSPECTION REQUESTED DATE _____
 APPROVAL DATE _____ DISAPPROVED _____
 SO19 CANCELLATION DATE _____
 REVISION DATE _____
 PROJECT BOOK NO. / PAGE NO. _____
 SHEET _____ OF _____

- NOTICE TO CONTRACTOR**
- An excavation/construction permit will be required before beginning any work within the City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
 - All work, within the City right-of-way, detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction, 1986.
 - Two (2) working days prior to any excavation, the Contractor must contact New Mexico One Call System 260-1990 for location of existing utilities.
 - Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all potential obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum amount of delay.
 - Backfill compaction shall be according to residential street use.
 - Maintenance of these facilities shall be the responsibility of the Owner of the property served.

APPROVALS	NAME	DATE
A.C.E./DESIGN	<i>B. Montoya</i>	10/14/90
INSPECTOR		
A.C.E./FIELD		



VICINITY MAP L-21



FEMA FHBM NO. 37



SCS SOILS MAP NO. 32

CLIENT: PENTECOSTAL HOLINESS
 BORDENAYE DESIGNS
 7100 Louisiana Blvd., NE A106
 Albuquerque, New Mexico 87109
 (505) 823-1344

JOB DESIGNED: 9/30 DATE: 9/30
 EER: 9/30 DATE: 9/30
 JJB: 9/30 DATE: 9/30

NO. 10/25/90
 DATE 9/90

REVISIONS

RECEIVED
 OCT 8 1990
 GEOLOGY DIVISION

TITLE: PENTECOSTAL HOLINESS CHURCH OF DELIVERANCE
 LINN AVE. N.E.
 ALB., NM

SHEET _____ OF _____