

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 16, 2024

Kevin deGraauw
VIGIL & ASSOCIATES
4477 Irving NW Suite A
Albuquerque, NM 87114

kevin@va-architects.com

Re: Fire Station 12
11701 Central NE
Albuquerque, NM 87123
Traffic Circulation Layout
Engineer's Stamp Dated 8-30-24 (L21D036)

Dear Mr. deGraauw,

The TCL submittal received 9-16-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

EXECUTIVE SUMMARY

THIS PROJECT IS A NEW 11,169 SQ. FT. FIRE STATION. THE REPLACEMENT FIRE STATION, HAS 8 BUNK ROOMS, 3 APPARATUS BAYS, AND 3 OFFICER SUITES.

ALL PUBLIC VEHICLES ARE TO ENTER FROM THE WESTERN ACCESS POINT. AFD PERSONAL VEHICLES ARE TO PARK IN THEIR DESIGNATED PARKING LOTS (LOCATED DIRECTLY EAST OF THE FIRE STATION). ALL VEHICLES EXCEPT FOR FIRE TRUCKS ARE TO EXIT USING THE WESTERN SITE ACCESS POINTS. ONLY FIRE APPARATUS VEHICLES ARE TO ENTER USING THE NORTHERN DRIVEWAY ALONG LINN.

SITE DATA

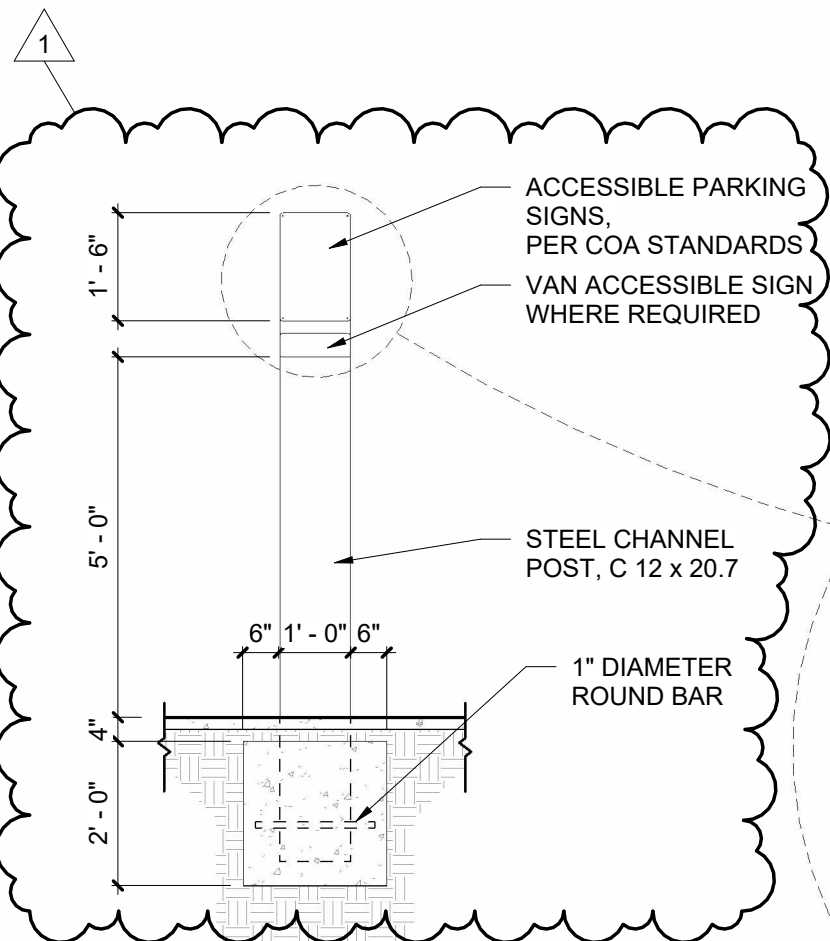
LEGAL DESCRIPTION:
LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34) INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION CONTAINING 3.214 ACRES (140,000 SF)

UPC: 10210564468011001

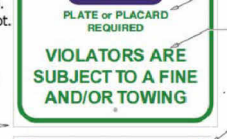
ZONE ATLAS PAGE: L-21-Z

EXISTING ZONING: MX-H
PROPOSED ZONING: NR-SU
PROPOSED LAND USE: FIRE STATION

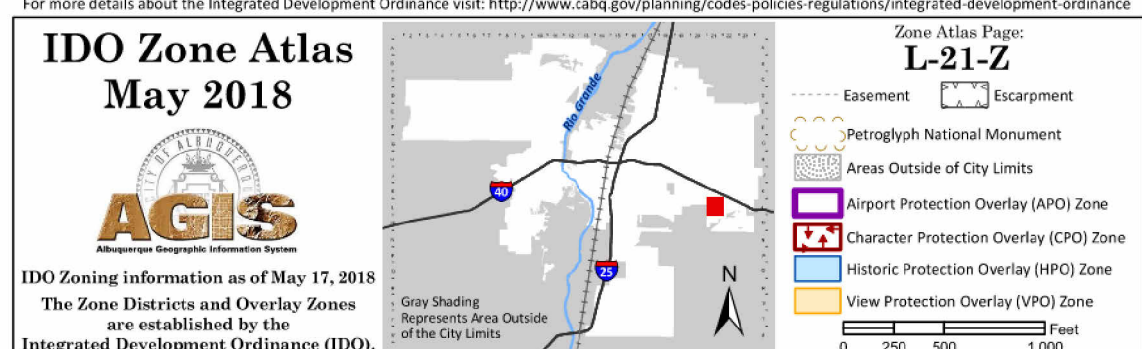
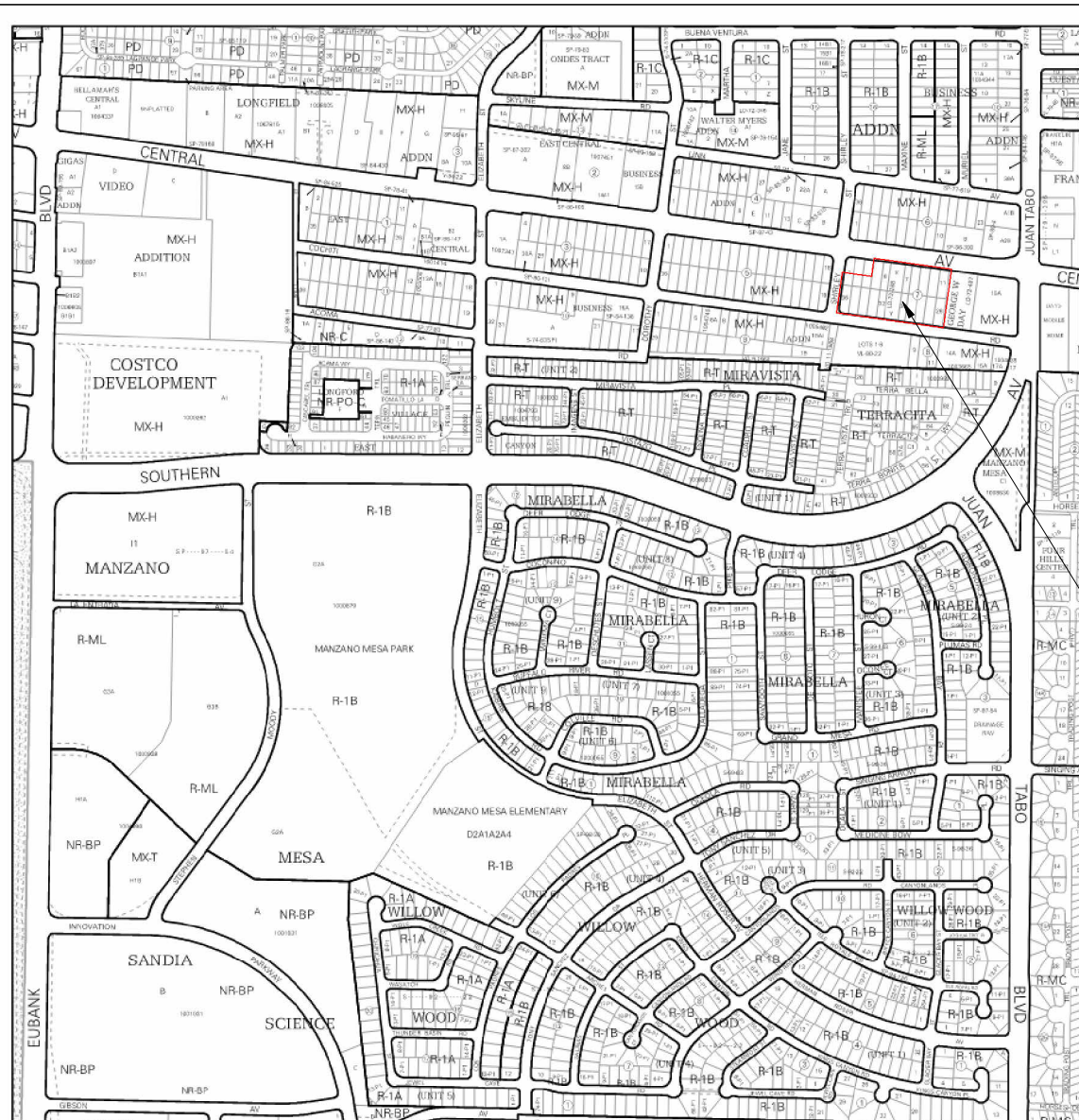
PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE. WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDING.
BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK FREQUENCY OF 15 MINUTES



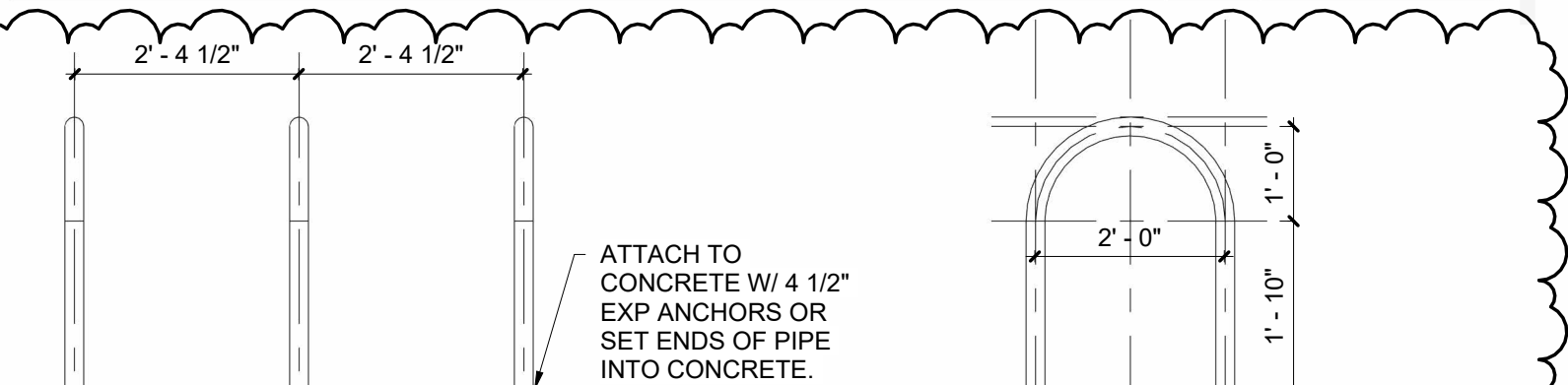
ACCESSIBLE PARKING SIGN



Parking Signage



HC RAMP



BIKE RACK DETAIL



PARKING REQUIREMENTS

PARKING CALCULATIONS:
PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:
FIRE STATION OR POLICE STATION: 2 SPACES/1,000 SQ. FT. GFA

TOTAL REQUIRED:
FIRE STATION #12- 11,169 SF (11,169/1000)*2 = 23 SPACES

TOTAL PROVIDED:
40 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE

PER 5-5(D)(1):
REQUIRED/ PROVIDED: 1/4

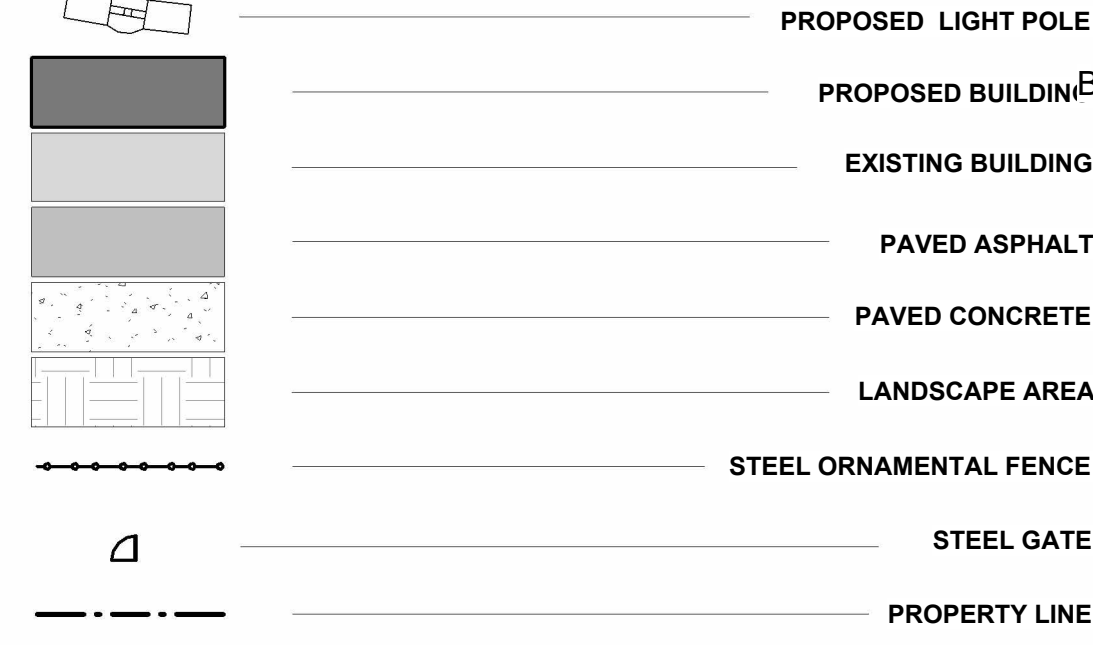
PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:
3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES WHICHEVER IS GREATER IS REQUIRED.

BICYCLE SPACES
REQUIRED/ PROVIDED: 3/6

SHEET KEYNOTES

- 1 NEW CABQ STANDARD "DO NOT ENTER" SIGN
- 2 BEAM BOLLARD - 2 AS SHOWN - SEE DETAIL C5/AS-502
- 3 NEW BICYCLE RACK SEE A2/AS-501
- 4 ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A2/AS-503
- 5 EXISTING SITE FENCE TO REMAIN
- 6 PROPOSED 6" HIGH DECORATIVE SITE FENCE - SEE B3/AS-501
- 7 PROPOSED ENTRY DOOR
- 8 6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE D1/C-501
- 9 CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT- COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2X6" STRIPES EA AT 2' APART TO EXTENTS SHOWN
- 10 EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
- 11 PROPOSED 6" HIGH RIBBED SITE FENCE; PAINT BACK - SEE B2/AS-501
- 12 EXISTING FIRE HYDRANT TO REMAIN
- 13 EXISTING STREET LIGHT TO REMAIN
- 14 EXISTING POWER POLE TO REMAIN
- 15 EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
- 16 EXISTING SIDEWALK TO REMAIN
- 17 REFUSE VEHICLE TURNAROUND
- 18 COVERED PATIO WITH LOOSE FURNITURE, 597 SF
- 19 HANDICAP PARKING PER CABQ STANDARD
- 20 REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS
- 21 ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
- 22 ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DETAIL 2443 DETAIL C
- 23 EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
- 24 PROPOSED EXIT DOOR LOCATION
- 25 ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
- 26 ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE SITE DETAILS ON AS-502
- 27 CLEAR SIGHT TRIANGLE
- 28 EXISTING SIGN TO REMAIN AND TO BE RE-USED
- 29 EXISTING STOP SIGN TO REMAIN
- 30 NEW 25' FLAGPOLE TYP. OF 3 SEE A2/AS-502
- 31 PAVEMENT DIRECTION MARKERS SEE A3/AS-503
- 32 RAISED PLANTER SEE A3/AS-501
- 33 EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
- 34 NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT), REFERENCE ELECTRICAL. SEE B1/AS-501
- 35 NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
- 36 STEEL GATE
- 37 INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
- 38 PROPOSED 6" HIGH CMU SITE FENCE SEE C3/AS-503
- 39 BEAM BOLLARD - 1 AS SHOWN - SIMILAR TO DETAIL C5/AS-502
- 40 CONCRETE APRON AROUND ENTIRE BUILDING; SEE DETAILS
- 41 "EXIT ONLY" PAINTED PAVEMENT MARKER
- 42 MOTORCYCLE PARKING
- 43 WORK EXTENTS LINE

LEGEND

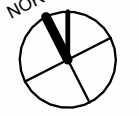
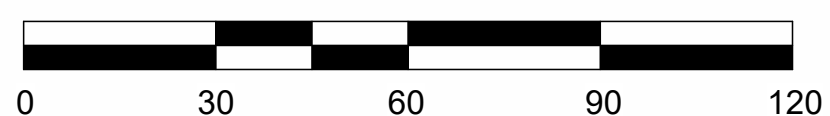


GENERAL NOTES

1. SLOPES ARE TO BE SPECIFIED REFER TO CIVIL DRAWINGS.
 - a. PARKING LOTS ARE TO HAVE A SLOPE BETWEEN 1% AND 8%.
 - b. PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES ARE TO BE BETWEEN 1% AND 6%.
 - c. HANDICAP PARKING IS TO BE BETWEEN 1% AND 2%.
2. ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE AREA.
4. ALL INTERNAL SIDEWALKS SHALL BE MIN 5 FEET IN WIDTH.
5. ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.
6. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER PER DPM STANDARD DETAILING.

SITE PLAN

Scale: 1" = 30'-0"



City of Albuquerque Electronic Stamp

TRAFFIC CIRCULATION
LAYOUT APPROVED

Sertil A. Kanbar 9/16/2024

Signed Date

CONTRACTOR
DATE

WORK
DATE

STACKED BY
DATE

INSTRUMENT BY
DATE

FIELD
DATE

VERIFICATION BY
DATE

COMMENTS BY
DATE

MICRO-FILM INFORMATION
DATE

RECORDED BY
DATE

NO

DATE

NO

DATE

NO

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NO

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NO

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NO

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NO

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NO

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NO

DATE

NO

DATE

NO

DATE

NO

DATE



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM

FIRE STATION 12

11701 Central Ave NE Albuquerque, NM 87123

Drawing Title

Design Review Committee

Issue Date:

AUGUST 2024

City Project No.

636793

City Engineer Approval

Mo./Day/Yr.

Mo./Day/Yr.

Mo./Day/Yr.

Mo./Day/Yr.

Mo./Day/Yr.

Sheet

TCL

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UPC: 10210564468011001

ZONE ATLAS PAGE : L-21-Z

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PROPOSED ZONING: NR-SU
PROPOSED LAND USE: FIRE STATION

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PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE, WITH
PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE
BUILDING.

BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK
FREQUENCY OF 15 MINUTES

PARKING REQUIREMENTS

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• FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT.
GFA

TOTAL REQUIRED:
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TOTAL PROVIDED:
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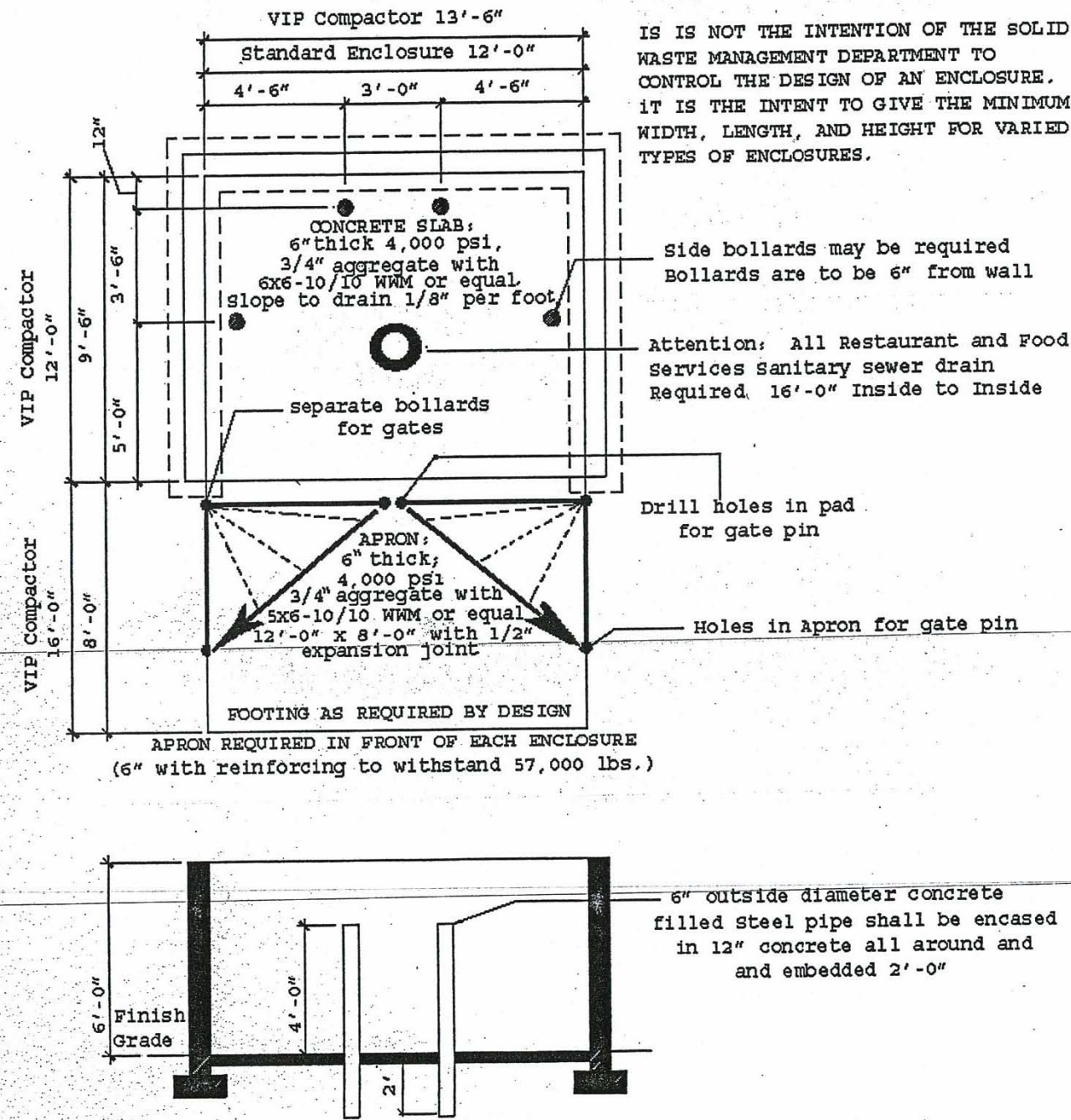
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3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES
WHICHEVER IS GREATER IS REQUIRED.

BICYCLE SPACES
REQUIRED/ PROVIDED: 3/6



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of SAM and BPM.
Reviewer: *Herman Gallegos*
Date: 07-12-24

****GATE ACCESS CODE****
****HAZARD ROUTE****
****GATES OPEN THE WIDTH OF THE DRIVE-PAD****



CITY OF ABLUQUERQUE STD DUMPSTER ENCLOSURE DETAIL R-1B SINGLE FAMILY RESIDENTIAL

PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved
by the Environmental Planning Commission (EPC) dated _____
and the Findings and Conditions in the Official Notification of
Decision are satisfied.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division

ABCWUA

Parks and Recreation Department

Hydrology

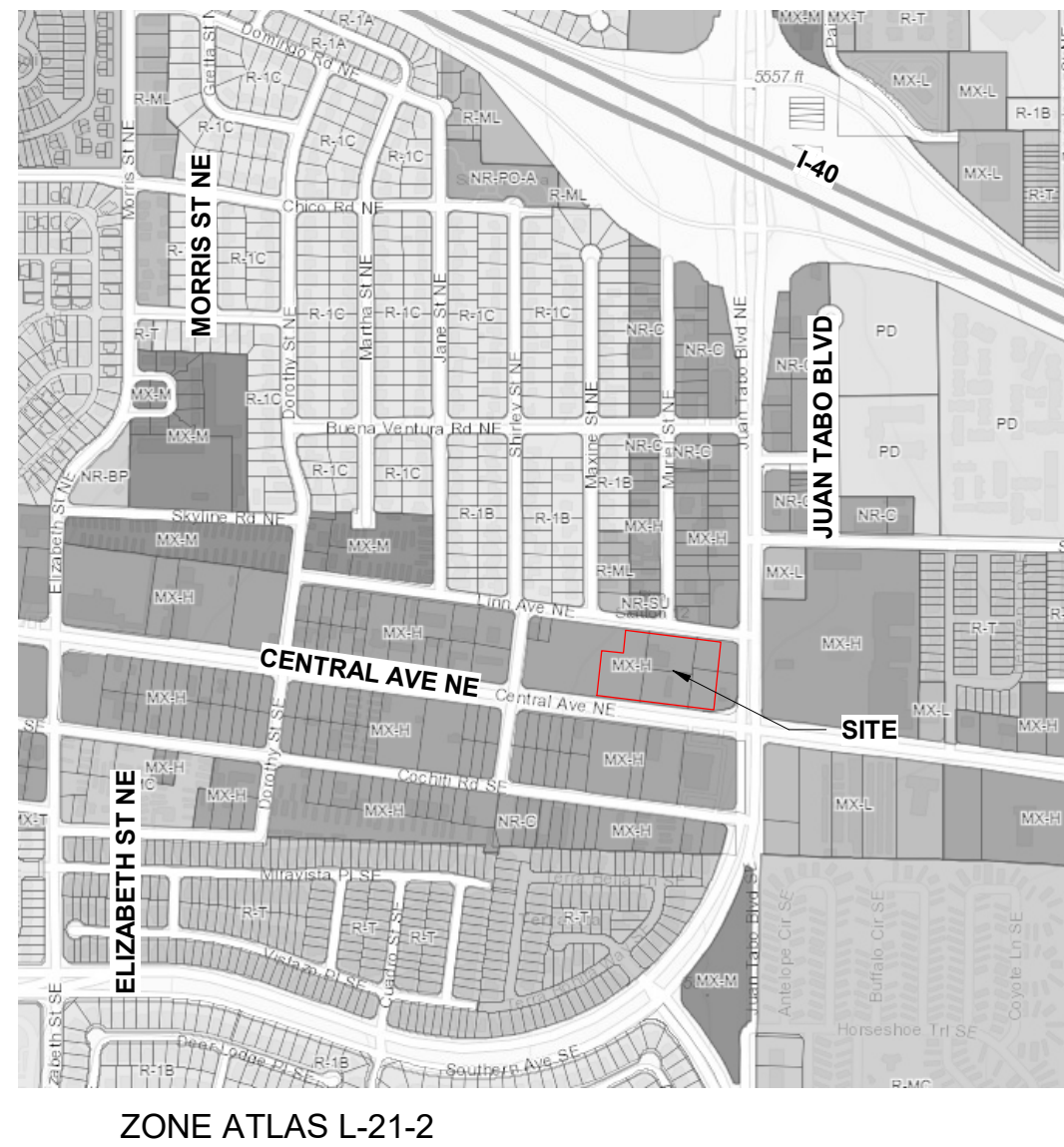
Code Enforcement

*Environmental Heath Department (conditional)

Herman Gallegos *Herman Gallegos* 07-12-24
Solid Waste Management

Planning Department

VICINITY MAP



GENERAL SHEET NOTES

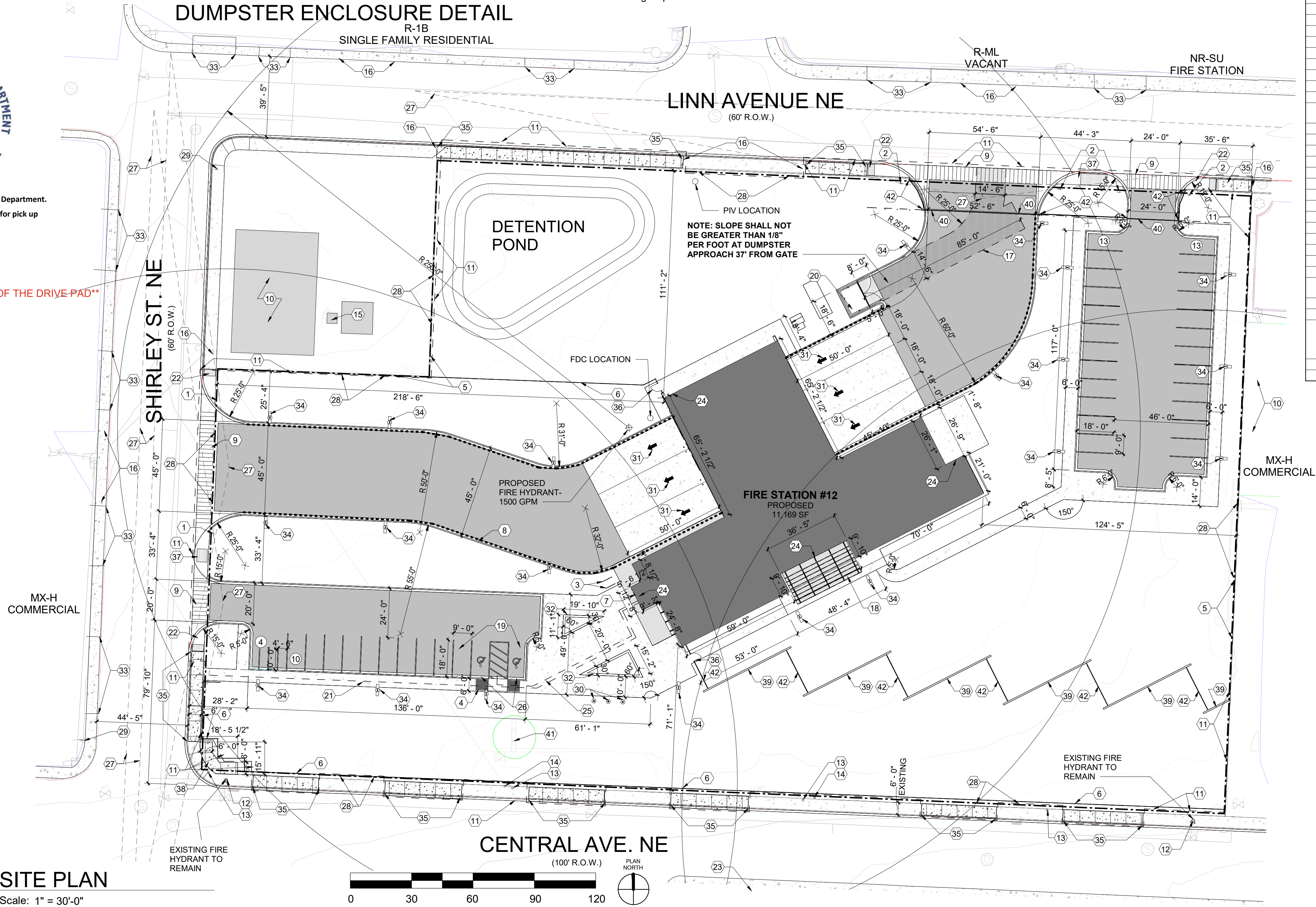
- ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE LINE OF SIGHT AREA.
- ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH UNLESS OTHERWISE NOTED.
- ON-SITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE OR AS PER PNM STANDARD REQUIREMENTS.
- TRANSIT ROUTES: ROUTE 66 AND ROUTE 777 ON CENTRAL AVENUE.

SHEET KEYNOTES

- NEW CABO STANDARD "DO NOT ENTER" SIGN
- NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
- NEW BICYCLE RACK SEE B3/AS-501
- ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
- EXISTING SITE FENCE TO REMAIN
- PROPOSED 6' HIGH DECORATIVE SITE FENCE - SEE A2/AS-501
- PROPOSED ENTRY DOOR
- 6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
- CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT-COLOR TO BE GOLD YELLOW INTEGRAL CONCRETE- 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
- EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
- WORK EXTENTS LINE
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING STREET LIGHT TO REMAIN
- EXISTING POWER POLE TO REMAIN
- EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
- EXISTING SIDEWALK TO REMAIN
- PROPOSED REFUSE VEHICLE TURNAROUND
- COVERED PATIO WITH LOOSE FURNITURE, 597 SF
- HANDICAP PARKING PER CABQ STANDARD
- REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
- ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
- ACCESSIBLE DRIVEPAD RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DETAIL 2443 DETAIL C
- EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
- PROPOSED EXIT DOOR LOCATION
- ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
- ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
- CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
- SITE PROPERTY BOUNDARY LINE
- EXISTING STOP SIGN TO REMAIN
- NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
- PAVEMENT DIRECTION MARKERS SEE A4/AS-503
- RAISED PLANTER SEE D1/AS-501
- EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
- NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
- NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
- STEEL GATE
- INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
- NEW 6' WIDE SIDEWALK FOR CONTINUOUS ACCESSIBLE PATH
- PROPOSED 8' HIGH CMU SITE FENCE SEE C4/AS-503
- NEW GATE INSTALLATION - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR. - SEE AS-504
- EXISTING SIGN TO REMAIN AND TO BE RE-USED
- PROPOSED 6' HIGH RIBBED SITE FENCE - SEE A1/AS-501

LEGEND

| | |
|--|----------------------|
| | PROPOSED BUILDING |
| | EXISTING BUILDING |
| | PAVED ASPHALT |
| | PAVED CONCRETE |
| | LANDSCAPE AREA |
| | WEATHERED STEEL GATE |



A1 SITE PLAN

Scale: 1" = 30'-0"



CITY OF ALBUQUERQUE CAPITAL IMPLEMENTATION PROGRAM FIRE STATION 12 11701 Central Ave NE Albuquerque, NM 87123

Drawing Title

SITE PLAN -SOLID WASTE

Design Review Committee

City Engineer Approval

Issue Date:

JULY 2024

City Project No.

636793

Sheet

AS-100S

