

EXECUTIVE SUMMARY

THIS PROJECT IS A NEW 11,169 SQ. FT. FIRE STATION. THE REPLACEMENT FIRE STATION, HAS 8 BUNK ROOMS, 3 APPARATUS BAYS, AND 3 OFFICER SUITES.

ALL PUBLIC VEHICLES ARE TO ENTER FROM THE WESTERN ACCESS POINT. AFD PERSONAL VEHICLES ARE TO PARK IN THEIR DESIGNATED PARKING LOTS (LOCATED DIRECTLY EAST OF THE FIRE STATION). ALL VEHICLES EXCEPT FOR FIRE TRUCKS ARE TO EXIT USING THE WESTERN SITE ACCESS POINTS. ONLY FIRE APPARATUS VEHICLES ARE TO ENTER USING THE NORTHERN DRIVEWAY ALONG LINN.

SITE DATA

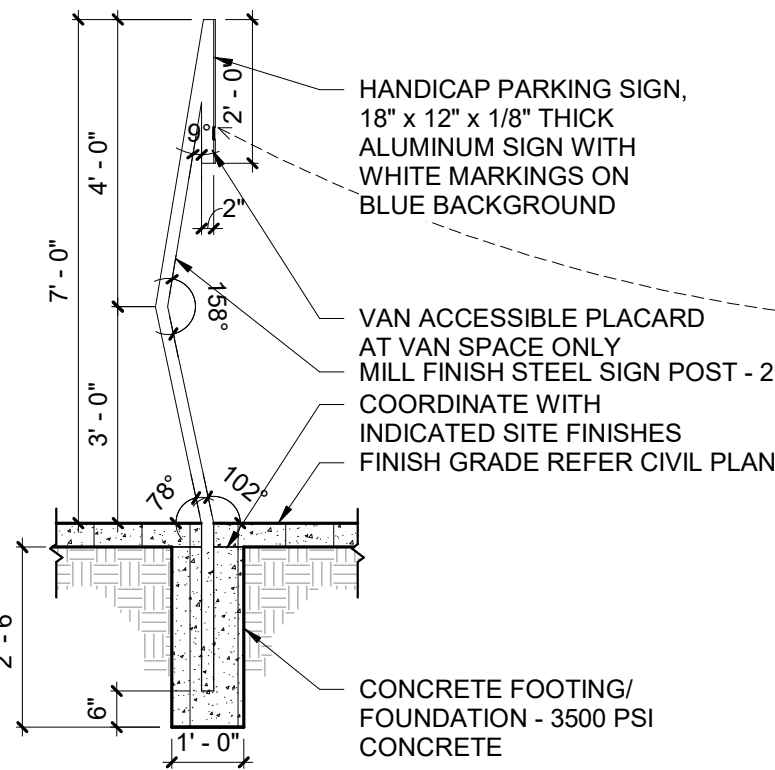
LEGAL DESCRIPTION: LOTS (1) THROUGH (10), INCLUSIVE, LOTS (27) THROUGH (34) INCLUSIVE, AND THE SOUTHERLY 50 FEET OF LOTS (35) AND (36) IN BLOCK NUMBERED (6) OF EAST CENTRAL BUSINESS ADDITION CONTAINING 3.214 ACRES (140,000 SF)

UPC: 10210564468011001

ZONE ATLAS PAGE : L-21-Z

EXISTING ZONING: MX-H
PROPOSED ZONING: NR-SU
PROPOSED LAND USE: FIRE STATION

PEDESTRIAN AND VEHICLE ACCESS: PRIMARY VEHICULAR AND PEDESTRIAN ACCESS IS FROM CENTRAL AVENUE. WITH PEDESTRIAN CONNECTIONS FROM THE SIDEWALK TO THE BUILDING. BUS ROUTES: ROUTE 66/777 ALONG CENTRAL, WITH A PEAK FREQUENCY OF 15 MINUTES



A2 HANDICAP PARKING SIGN

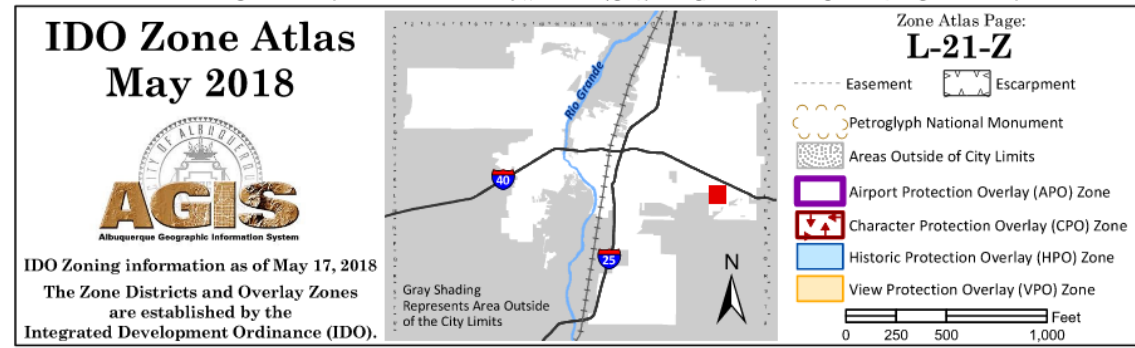
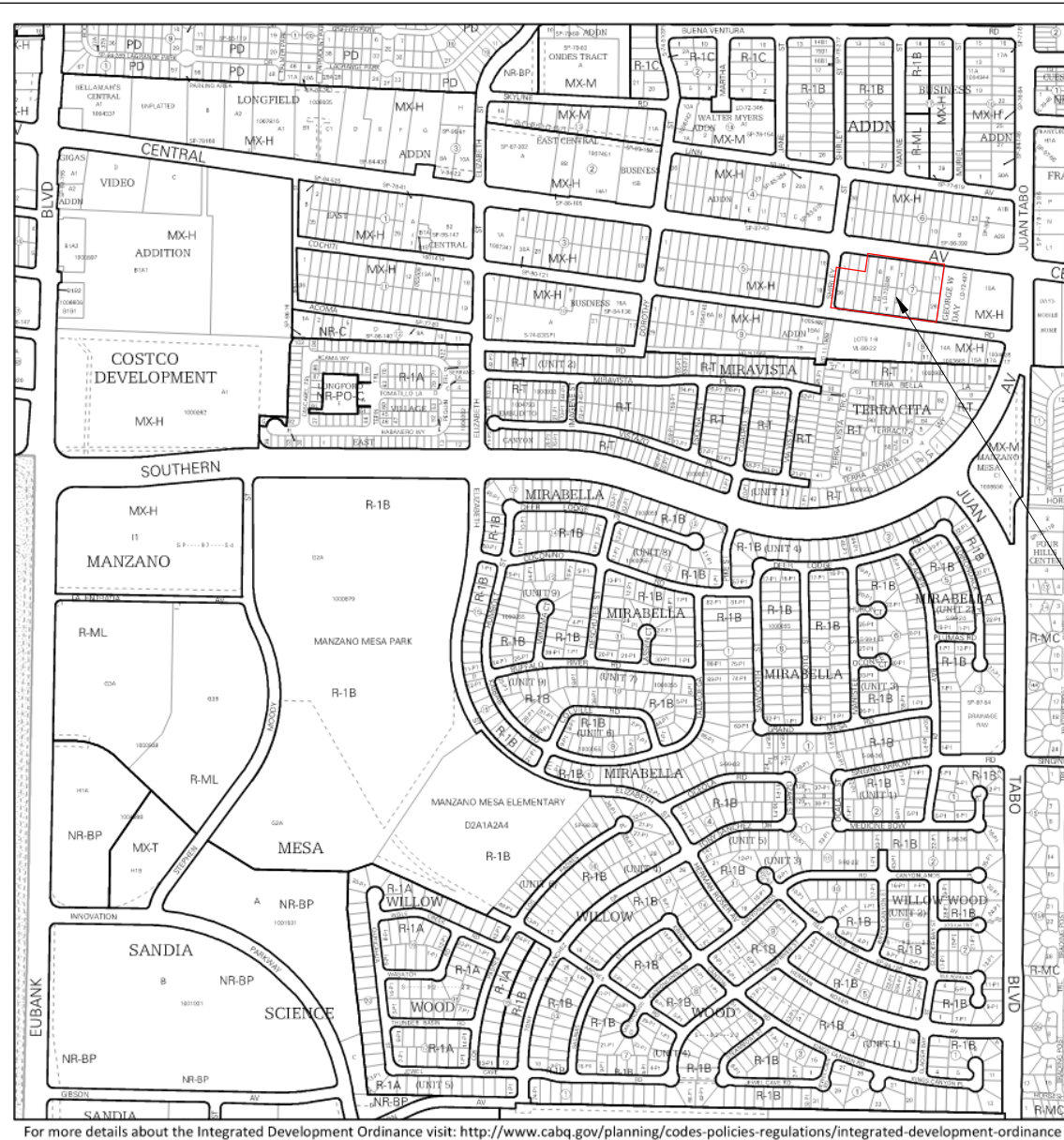
Scale: 3/8" = 1'-0"



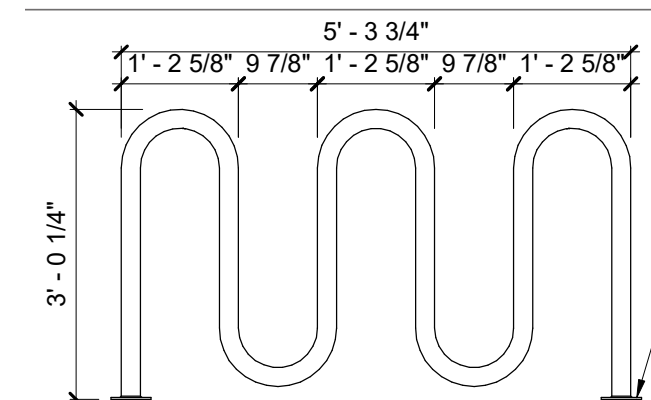
VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING

VAN ACCESSIBLE

Parking Signage



HC RAMP



BIKE RACK DETAIL



PARKING REQUIREMENTS

PARKING CALCULATIONS:
PER IDO TABLE 5-5-1 MINIMUM OFF STREET PARKING REQUIREMENTS:
• FIRE STATION OR POLICE STATION: 2 SPACES/ 1,000 SQ. FT. GFA

TOTAL REQUIRED:
FIRE STATION #12- 11,169 SF (11,169/1000)*2 = 23 SPACES

TOTAL PROVIDED:
40 SPACES TOTAL ON SITE, OF WHICH 2 ARE HC ACCESSIBLE

PER 5-5(D)(1):
REQUIRED/ PROVIDED: 1/4

PER TABLE 5-5-5 MINIMUM BICYCLE PARKING REQUIREMENTS:
3 SPACES OR 10% OF REQUIRED OFF STREET PARKING SPACES WHICHEVER IS GREATER IS REQUIRED.

BICYCLE SPACES
REQUIRED/ PROVIDED: 3/6

SHEET KEYNOTES

- 1 NEW CABQ STANDARD "DO NOT ENTER" SIGN
- 2 NEW STANDARD "OFFICIAL VEHICLES ONLY BEYOND THIS POINT" SIGN
- 3 NEW BICYCLE RACK SEE B3/AS-501
- 4 ACCESSIBLE SIDEWALK RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DTL 2443 SEE A1/AS-503
- 5 EXISTING SITE FENCE TO REMAIN
- 6 PROPOSED 8' HIGH DECORATIVE SITE FENCE - SEE A2/AS-501
- 7 PROPOSED ENTRY DOOR
- 8 6" CURB AND GUTTER PER CABQ STD DETAIL TYP. SEE CIVIL
- 9 CROSSWALK STRIPES- INTEGRALLY COLORED CONCRETE- CAST FLUSH W/ ADJACENT-COLOR TO BE GOLD/YELLOW INTEGRAL CONCRETE- 2'X6' STRIPES EA. AT 2' APART TO EXTENTS SHOWN
- 10 EXISTING BUILDING TO REMAIN- NO WORK THIS AREA
- 11 WORK EXTENTS LINE
- 12 EXISTING FIRE HYDRANT TO REMAIN
- 13 EXISTING STREET LIGHT TO REMAIN
- 14 EXISTING POWER POLE TO REMAIN
- 15 EXISTING CELL TOWER TO REMAIN- NO WORK THIS AREA
- 16 EXISTING SIDEWALK TO REMAIN
- 17 PROPOSED REFUSE VEHICLE TURNAROUND
- 18 COVERED PATIO WITH LOOSE FURNITURE, 597 SF
- 19 HANDICAP PARKING PER CABQ STANDARD
- 20 REFUSE ENCLOSURE COMPLIANT WITH CABQ STANDARDS SEE DETAIL B5/AS-501 + C3/AS-501
- 21 ADA ACCESS PATH (240 FT TOTAL PATH LENGTH FROM ROW)
- 22 ACCESSIBLE DRIVEWAY RAMP WITH ADA TRUNCATED DOME MAT PER CABQ STD DETAIL 2443 DETAIL C
- 23 EXISTING MEDIAN TO REMAIN- NO WORK THIS PERMIT
- 24 PROPOSED EXIT DOOR LOCATION
- 25 ADA ACCESS PATH (100 FT PATH FROM ADA PARKING)
- 26 ADA HANDICAP PARKING WITH CABQ STD LANGUAGE SIGN SEE A2/AS-502
- 27 CLEAR SIGHT TRIANGLE PER CABQ DPM 7.4.94
- 28 SITE PROPERTY BOUNDARY LINE
- 29 EXISTING STOP SIGN TO REMAIN
- 30 NEW 30' FLAGPOLE TYP. OF 3 SEE C3/AS-502
- 31 PAVEMENT DIRECTION MARKERS SEE A4/AS-503
- 32 RAISED PLANTER SEE D1/AS-501
- 33 EXTENTS OF EXISTING DRIVEWAY FRONTING SITE (NOT IN SCOPE)
- 34 NEW LIGHT 16' POLE (NIGHT SKY COMPLIANT) SEE B2/AS-501
- 35 NEW CURB AND SIDEWALK INFILL TO MATCH EXISTING
- 36 STEEL GATE
- 37 INSTALL TRUNCATED MATS AT THIS LOCATION AS SHOWN; HOLD SIDEWALK FLUSH W/ ADJACENT VALLEY GUTTERS
- 38 NEW 6' WIDE SIDEWALK FOR CONTINUOUS ACCESSIBLE PATH
- 39 PROPOSED 8' HIGH CMU SITE FENCE SEE C4/AS-503
- 40 NEW GATE INSTALLATION - CONTRACTOR TO PROVIDE ELECTRIC OPERATOR WITH MAGNETIC INDUCTION LOOP IN PAVEMENT ON SECURE SIDE AND A PEDESTAL KEYPAD ON UNSECURED SIDE COORDINATE POWER CONDUITS AND ANY COMMUNICATION REQUIREMENTS FULLY WITH OPERATOR UNIT MFR. - SEE AS-504
- 41 EXISTING SIGN TO REMAIN AND TO BE RE-USED
- 42 PROPOSED 6' HIGH RIBBED SITE FENCE - SEE A1/AS-501

LEGEND

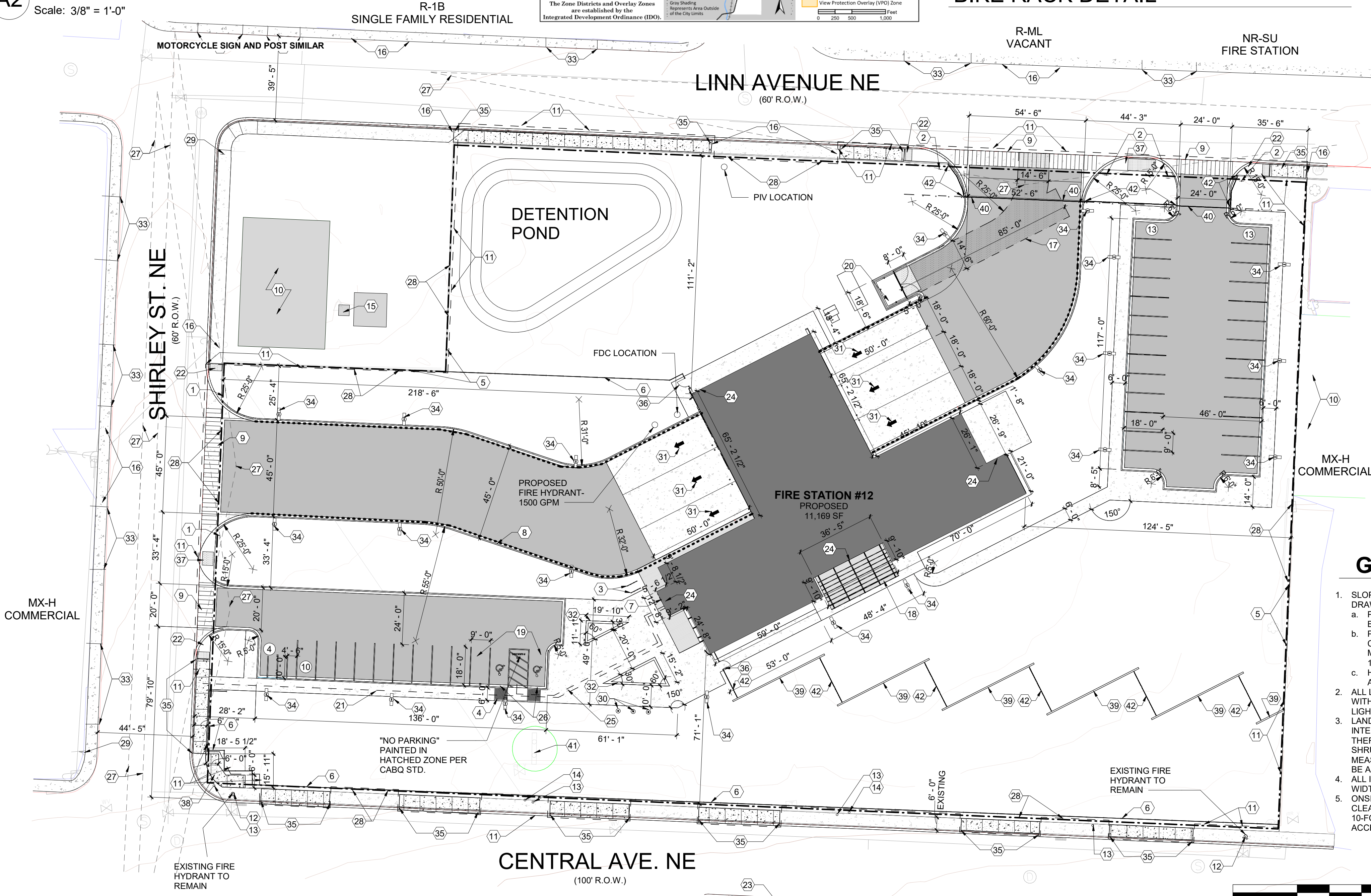
	PROPOSED BUILDING
	EXISTING BUILDING
	PAVED ASPHALT
	PAVED CONCRETE
	LANDSCAPE AREA
	WEATHERED STEEL GATE

GENERAL NOTES

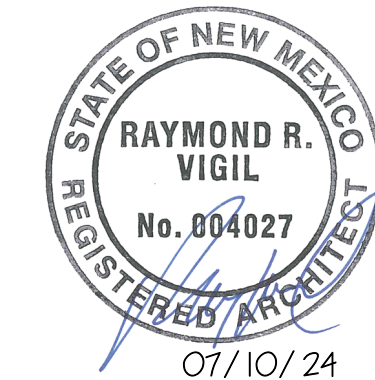
1. SLOPES ARE TO BE SPECIFIED REFER TO CIVIL DRAWINGS.
 - a. PARKING LOTS ARE TO HAVE A SLOPE BETWEEN 1% AND 8%
 - b. PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES ARE TO BE BETWEEN 1% AND 6%
 - c. HANDICAP PARKING IS TO BE BETWEEN 1% AND 2%
2. ALL LIGHT FIXTURES SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE AREA.
4. ALL INTERNAL SIDEWALKS SHALL BE 5 FEET IN WIDTH.
5. ONSITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.

A1 SITE PLAN

Scale: 1" = 30'-0"



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	WORK	DATE	NO.	BY	DATE	DATE
STAKED BY	DATE	FIELD	DATE				
ACCEPTANCE BY	DATE	VERIFICATION BY	DATE				
		CORRECTED BY	DATE				
MICRO-FILM INFORMATION		RECORDED BY		NO.		DATE	



SEAL		BY		DATE	
		DATE	REMARKS	DATE	CONSTRUCTION DOCUMENTS
		Drawn By:		DATE	
		Checked By:		DATE	



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
FIRE STATION 12
11701 Central Ave NE Albuquerque, NM 87123

Drawing Title	TCL
Design Review Committee	City Engineer Approval
Issue Date:	City Project No.
JULY 2024	636793
Sheet	TCL