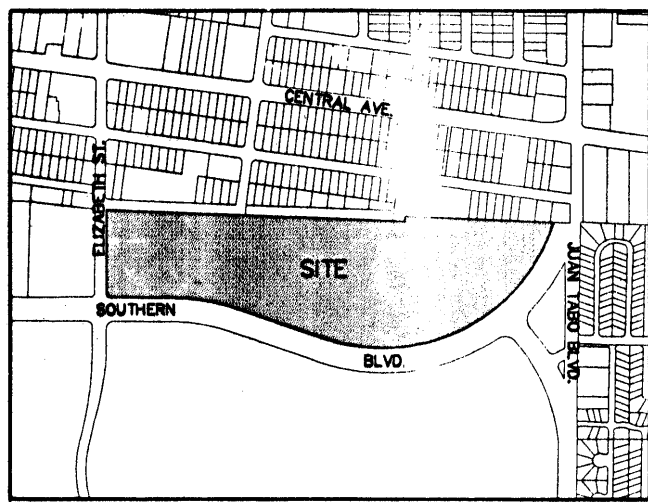




LOCATION MAP

ZONE ATLAS MAP NO. L-21  
NOT TO SCALE

ACS Aluminum Cap stamped "5-L21, 1986"  
Geographic Position (NAD 1983)  
N.M. State Plane Coordinates (Central Zone)  
X = 1,558,220.57587 Y = 1,481,283.32984  
Ground-to-Grid Factor = 0.999644584  
GCS = -00°09'28"  
NAVD88 Elevation = 5503.35

### GENERAL NOTES:

- EXISTING ZONING R-T
- GROSS ACRES AS CURRENTLY PLATTED (BULK PLAT).  
UNIT-1 12.887 ac  
UNIT-2 10.310 ac
- NET ACREAGE AFTER SUBDIVISION & ROW DEDICATION  
UNIT-1 9.361 ac  
UNIT-2 8.145 ac
- TOTAL NUMBER OF LOTS: 190 D.U.  
UNIT-1 104 LOTS  
UNIT-2 86 LOTS
- PROPOSED DENSITY:  
UNIT-1 8.07 D.U./ACRE  
UNIT-2 8.34 D.U./ACRE

- MINIMUM LOT DIMENSIONS: 100' x 35'
- ALL STREETS, WATER, SEWER AND DRAINAGE IMPROVEMENTS ARE TO BE PUBLIC, AND DEDICATED FOR MAINTENANCE TO THE CITY OF ALBUQUERQUE.
- NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO ELIZABETH STREET OR SOUTHERN BLVD.
- ALL LOTS SHOWN WITH THE P1 DESIGNATION SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA, ITEM #1.
- LOTS SETBACKS SHALL CONFORM TO R-T ZONE REGULATIONS. REQUIRED SET BACKS SHALL INCLUDE:  
FRONT YARD: 15' TYP. (20' TO GARAGE)  
SIDE YARD: 5' MIN.  
BACKYARD: 15' MIN
- STANDARD STREET WIDTHS:  
NORMAL STREET: 46' ROW, 28' F-F  
STUB STREET: 36' ROW, 25' F-F (SINGLE LOADED)

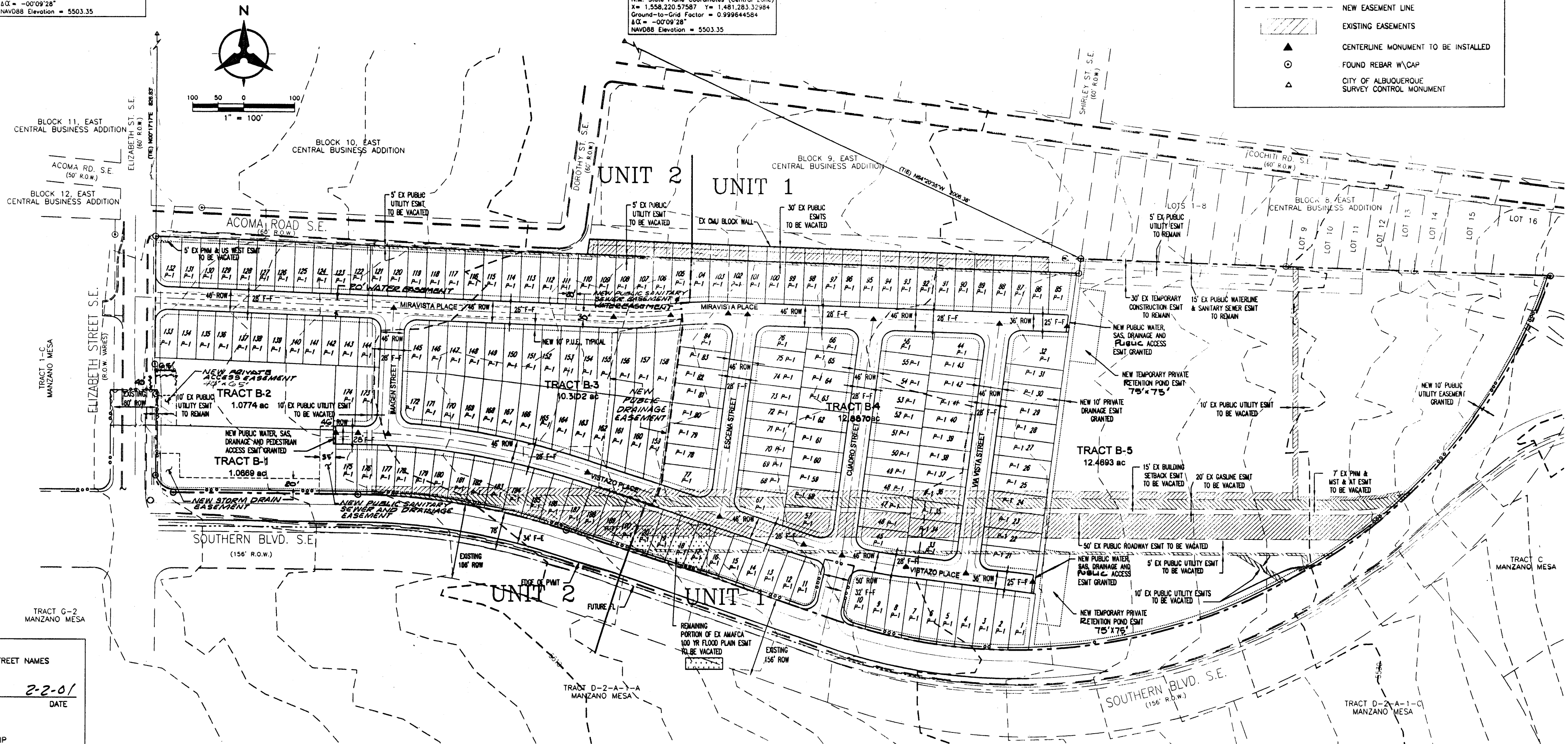
### SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (C) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (A) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

## PRELIMINARY PLAT FOR MIRAVISTA SUBDIVISION UNITS 1 & 2 ALBUQUERQUE, NEW MEXICO FEBRUARY 02, 2001 CURRENTLY TRACT B MANZANO MESA

### LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- 10' P.U.E. LINE
- EXISTING EASEMENT LINE
- NEW EASEMENT LINE
- EXISTING EASEMENTS
- CENTERLINE MONUMENT TO BE INSTALLED
- FOUND REBAR W/CAP
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT



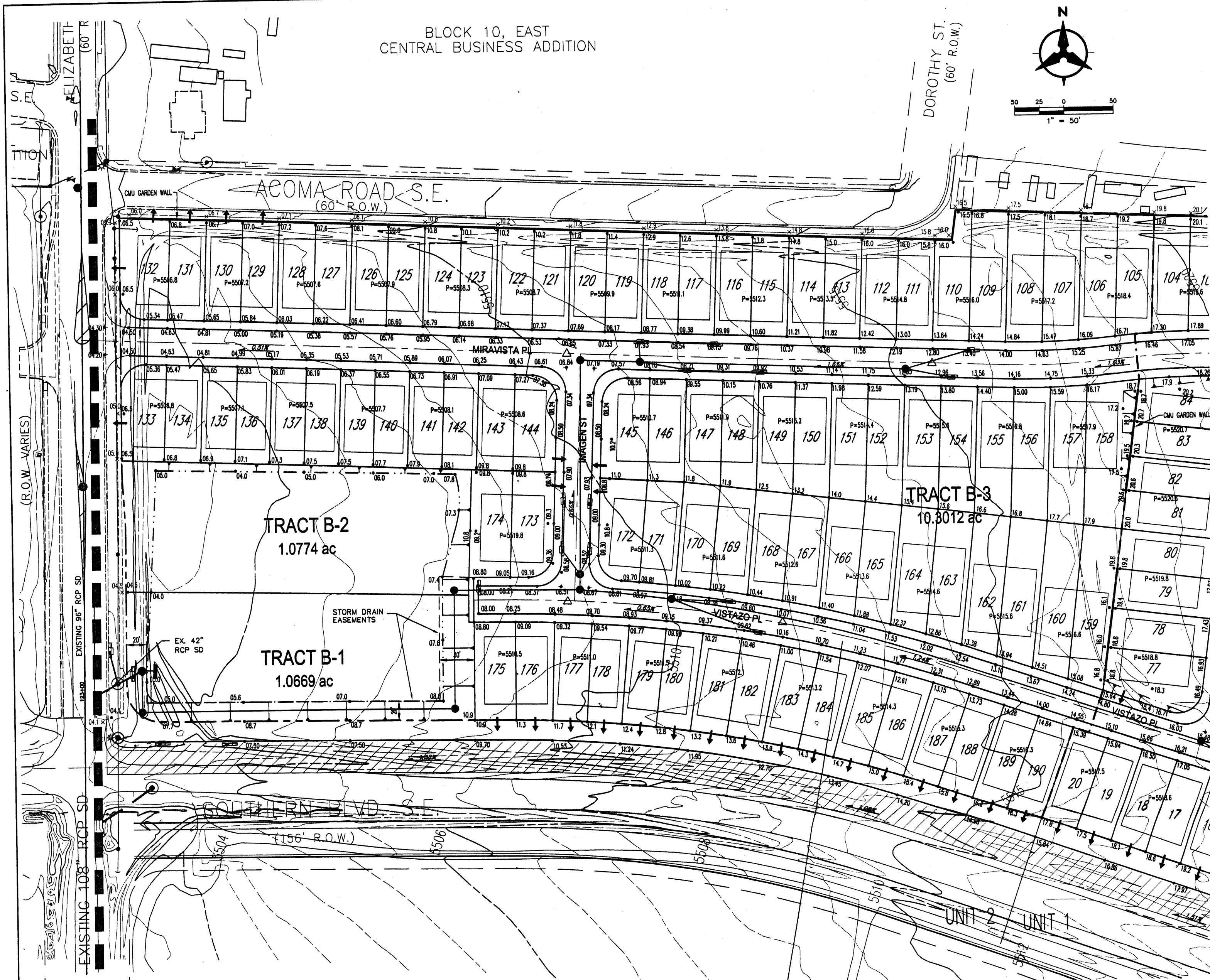
APPROVED FOR MONUMENTATION AND STREET NAMES

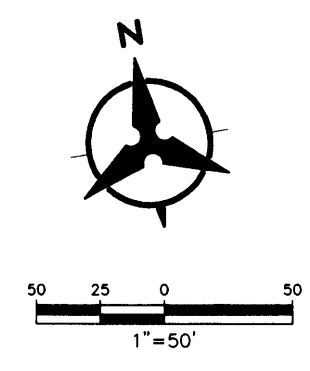
*[Signature]* 2-2-01  
CITY SURVEYOR DATE

OWNER: MANZANO MESA LTD PARTNERSHIP

*[Signature]* 2-1-01  
STAN STRICKMAN DATE  
VICE PRESIDENT, CURB INC., GENERAL PARTNER

Return to Curtis Hydrology 924-3695





| SANITARY SEWER SERVICES |                  |        |                     |
|-------------------------|------------------|--------|---------------------|
| LOT NO                  | STATION & OFFSET | LENGTH | INVO PLUG (W/SEWER) |
| 159                     | 16+19.44, CL     | 23.00' | 09.27               |
| 160                     | 15+83.16, CL     | 23.00' | 08.82               |
| 161                     | 15+46.26, CL     | 23.00' | 08.36               |
| 162                     | 15+09.26, CL     | 23.00' | 07.91               |
| 163                     | 14+70.40, CL     | 23.00' | 07.42               |
| 164                     | 14+38.68, CL     | 23.00' | 07.03               |
| 165                     | 13+97.44, CL     | 23.00' | 06.52               |
| 166                     | 13+71.49, CL     | 23.00' | 06.17               |
| 167                     | 13+27.90, CL     | 23.00' | 06.61 (1')          |
| 168                     | 12+89.22, CL     | 23.00' | 06.38 (1')          |
| 169                     | 12+52.68, CL     | 23.00' | 06.14 (1')          |
| 170                     | 12+17.71, CL     | 23.00' | 05.95 (1')          |
| 171                     | 11+81.30, CL     | 23.00' | 05.72 (1')          |
| 172                     | 11+49.69, CL     | 23.00' | 05.55 (1')          |
| 173                     | 10+52.36, CL     | 23.00' | 05.26               |
| 174                     | 10+27.36, CL     | 23.00' | 04.98               |
| 175                     | 10+30.36, CL     | 23.00' | 04.96               |
| 176                     | 10+57.34, CL     | 23.00' | 04.76               |
| 177                     | 11+11.25, CL     | 23.00' | 04.60               |
| 178                     | 11+36.25, CL     | 23.00' | 04.75               |
| 179                     | 11+74.69, CL     | 23.00' | 04.98               |
| 180                     | 12+13.14, CL     | 23.00' | 05.21               |
| 181                     | 12+49.68, CL     | 23.00' | 05.43               |
| 182                     | 12+92.21, CL     | 23.00' | 05.69               |
| 183                     | 13+32.85, CL     | 23.00' | 05.94               |
| 184                     | 13+68.49, CL     | 23.00' | 06.15               |
| 185                     | 14+17.28, CL     | 23.00' | 06.77               |
| 186                     | 14+54.76, CL     | 23.00' | 07.23               |
| 187                     | 14+95.40, CL     | 23.00' | 07.73               |
| 188                     | 15+34.26, CL     | 23.00' | 08.22               |
| 189                     | 15+71.26, CL     | 23.00' | 08.62               |
| 190                     | 16+08.26, CL     | 23.00' | 09.17               |

|     |              |        |
|-----|--------------|--------|
| 190 | 16+08.26, CL | 23.00' |
|-----|--------------|--------|

NOTE: WATER METER LOCATIONS ARE DESIGNATED  
BY STATIONING AT PROPERTY CORNERS

| SAS TANGENT TABLE |      |               |          |
|-------------------|------|---------------|----------|
| NUMBER            | SIZE | BEARING       | DISTANCE |
| T1                | 8"   | S 89°39'57" E | 23.42'   |
| T2                | 8"   | S 70°54'16" E | 122.55'  |

| SAS CURVE TABLE |          |         |           |         |
|-----------------|----------|---------|-----------|---------|
| NUMBER          | RADIUS   | TANGENT | DELTA     | LENGTH  |
| C1              | 1400.00' | 29.53'  | 2°25'01"  | 59.06'  |
| C2              | 1400.00' | 137.44' | 11°12'50" | 274.00' |
| C3              | 1400.00' | 62.72'  | 5°07'50"  | 125.36' |

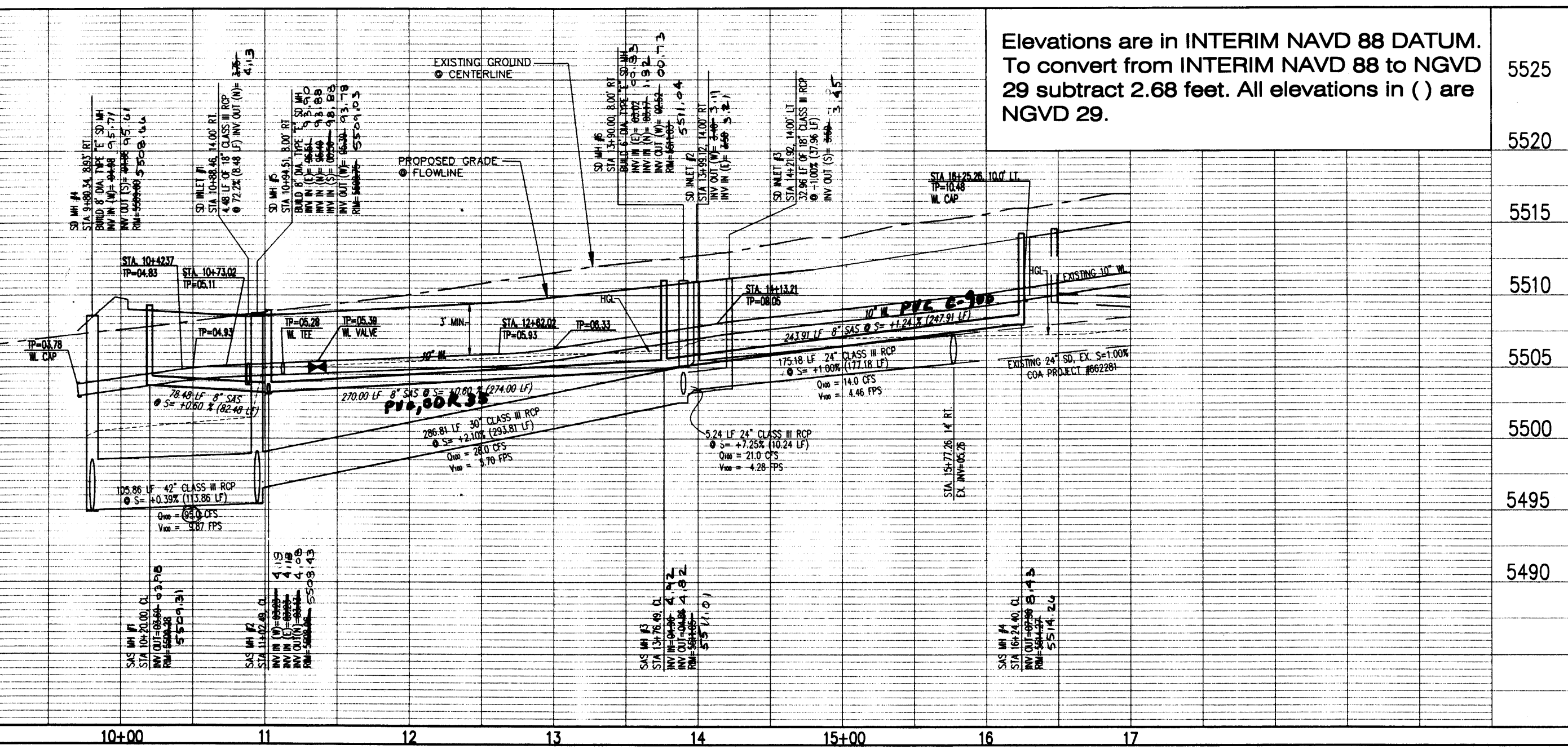
| WATERLINE TANGENT TABLE |      |               |  |          |
|-------------------------|------|---------------|--|----------|
| NUMBER                  | SIZE | BEARING       |  | DISTANCE |
| T3                      | 10"  | S 89°39'57" E |  | 73.08'   |
| T4                      | 10"  | S 70°54'16" E |  | 123.41'  |

| STORM DRAIN TANGENT TABLE |      |               |  |          |
|---------------------------|------|---------------|--|----------|
| NUMBER                    | SIZE | BEARING       |  | DISTANCE |
| T5                        | 42"  | S 89°39'57" E |  | 113.86'  |
| T6                        | 18"  | S 47°17'21" W |  | 8.48'    |
| T7                        | 24"  | N 35°53'28" W |  | 10.24'   |
| T8                        | 18"  | S 69°43'43" W |  | 37.96'   |
| T9                        | 24"  | N 70°54'16" W |  | 75.41'   |

| STORM DRAIN CURVE TABLE |          |         |           |         |
|-------------------------|----------|---------|-----------|---------|
| NUMBER                  | RADIUS   | TANGENT | DELTA     | LENGTH  |
| C6                      | 1392.00' | 146.84' | 12°05'36" | 293.81' |
| C7                      | 1387.00' | 50.91'  | 04°12'15" | 101.77' |

# VISTAZO PLACE



Elevations are in INTERIM NAVD 88 DATUM.  
To convert from INTERIM NAVD 88 to NGVD  
29 subtract 2.68 feet. All elevations in ( ) are  
NGVD 29.

- ## GENERAL NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  2. ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MAINHOLE. ALL SAS & SD SLOPES ARE CALCULATED TO TRUE PIPE DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
  3. GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
  4. CONTRACTOR IS TO INSTALL A 4" x 4" x 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
  5. CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
  6. CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
  7. CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
  8. ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
  9. MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
  10. SAS STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
  11. STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
  12. FOR STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUDED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUDED FOR DROP ACCEPTANCE OF THE CONSTRUCTION.
  13. FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWING OF STANDARD CURB TO MIDDLE OF DOWNHILL GRADE.

**LEGEND**

- ## LEGEND
- |                                                                                       |                          |
|---------------------------------------------------------------------------------------|--------------------------|
|   | DOUBLE WATER METER       |
|  | SINGLE WATER METER       |
|  | W. AIR RELEASE VALVE     |
|  | WATER LINE SHUTOFF VALVE |
|  | WATER LINE TEE           |
|  | SAS LATERAL              |
|  | SAS MANHOLE              |
|  | STORM DRAIN MANHOLE      |
|  | STORM DRAIN INLET        |
|  | PROPOSED FIRE HYDRANT    |
|  | EXISTING WATER VALVE     |
|  | PROPOSED STREET LIGHT    |

[illegible]

Robbman &amp; Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

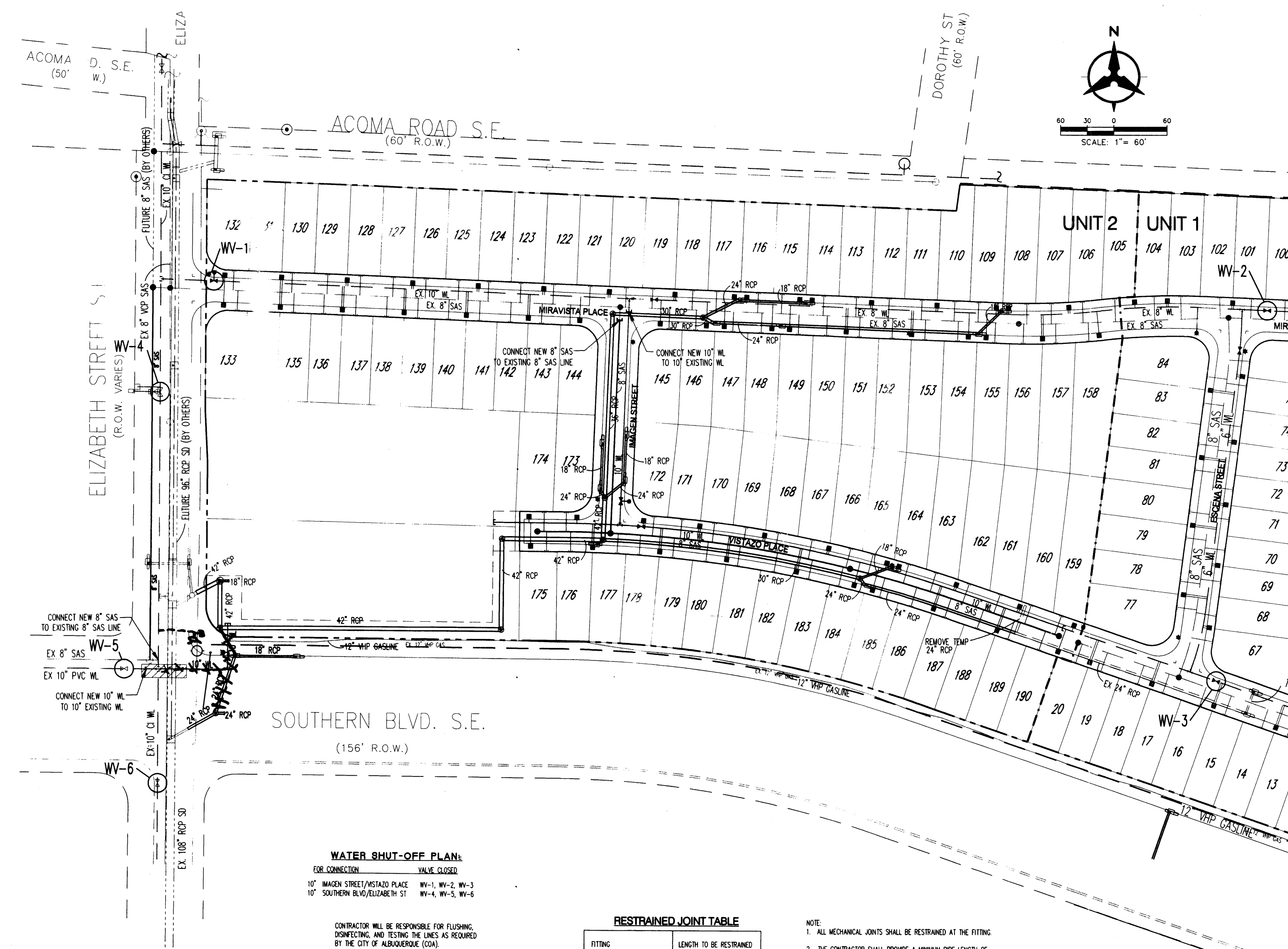
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

 **CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

**PUBLIC WORKS DEPARTMENT**  
**MIRAVISTA SUBDIVISION UNIT 2**  
**UTILITY PLAN AND PROFILE**  
**VISTAZO PLACE**

|                                                 |  |                                          |  |
|-------------------------------------------------|--|------------------------------------------|--|
| <b>VISTAZO PLACE</b><br>Design Review Committee |  | City Engineer Approval                   |  |
| APPROVED<br>[Signature]                         |  | APPROVED<br>JUN 18 1997<br>CITY ENGINEER |  |

|                  |             |              |        |       |    |    |    |
|------------------|-------------|--------------|--------|-------|----|----|----|
| City Project No. | COA #662282 | Zone Map No. | L-21-Z | Sheet | 13 | Of | 23 |
|------------------|-------------|--------------|--------|-------|----|----|----|



### GENERAL NOTES

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### LEGEND

|         |                                 |
|---------|---------------------------------|
| ---     | PROPERTY LINE                   |
| ---     | NEW EASEMENT                    |
| ---     | EXISTING SANITARY SEWER         |
| ---     | EXISTING WATER LINE             |
| ---     | EXISTING STORM DRAIN            |
| ---     | EXISTING WATER METER            |
| ---     | EXISTING CAP                    |
| ---     | EXISTING VALVE                  |
| ---     | EXISTING FIRE HYDRANT           |
| ---     | EXISTING SANITARY SEWER MANHOLE |
| ---     | EXISTING STORM DRAIN            |
| GL / GR | GARAGE LEFT/RIGHT               |
| SAS     | PROPOSED SANITARY SEWER         |
| WL      | PROPOSED WATER LINE             |
| ---     | PROPOSED VALVE                  |
| ---     | PROPOSED HYDRANT                |
| ---     | PROPOSED CAP                    |
| ---     | PROPOSED WATER METER            |
| ---     | PROPOSED SANITARY SEWER MANHOLE |
| ---     | PROPOSED STORM DRAIN            |
| ---     | PROPOSED STREET LIGHT           |
| ---     | FUTURE UNIT                     |

**Bohannon & Huston**  
Courtney One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109  
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**MIRAVISTA SUBDIVISION UNIT 2**  
**OVERALL UTILITY PLAN**

|                         |                        |             |         |
|-------------------------|------------------------|-------------|---------|
| Design Review Committee | City Engineer Approval | Mo./Day/Yr. | Mo./Yr. |
| DEC 21 2001             | JAN 18 2002            |             |         |
| DESIGN REVIEW COMMITTEE | CITY ENGINEER          |             |         |
| City Project No.        | Zone Map No.           | Sheet       | Of      |
| COA #662282             | L-21-Z                 | 11          |         |

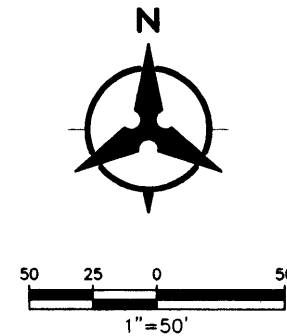
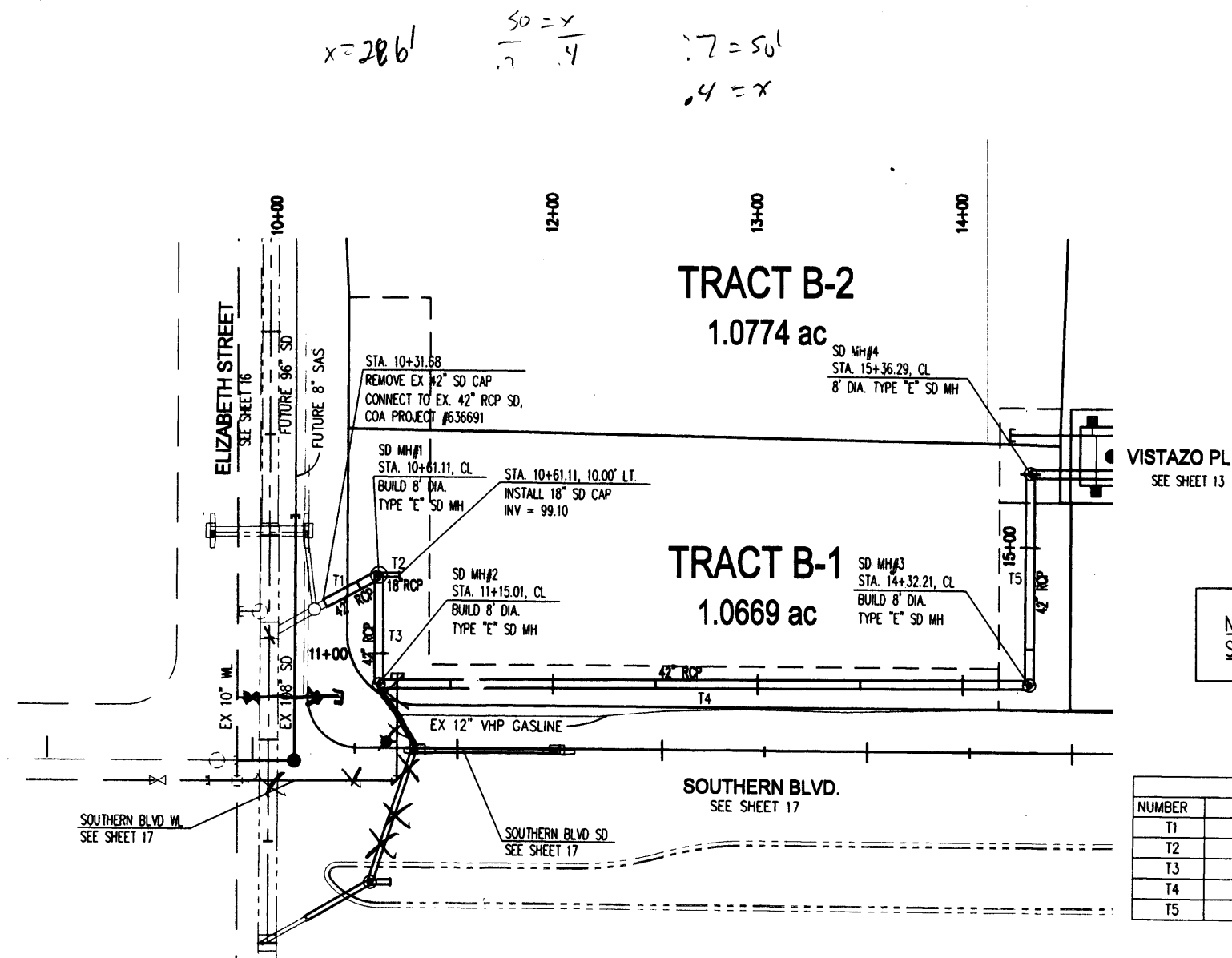
**WATER SHUT-OFF PLAN:**  
FOR CONNECTION VALVE CLOSED  
10" IMAGEN STREET/VISTAZO PLACE WV-1, WV-2, WV-3  
10" SOUTHERN BLVD/ELIZABETH ST WV-4, WV-5, WV-6

**WATER SHUT-OFF REQUIREMENTS:**  
CONTRACTOR WILL BE RESPONSIBLE FOR THE TIMING AND COORDINATION OF THE WATER SHUT-OFF REQUIREMENTS IN CONJUNCTION WITH THE COMPLETION OF CONNECTIONS. AT LEAST FIVE (5) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CITY OF ALBUQUERQUE (857-8200) TO INITIATE IMPLEMENTATION OF THIS WATER SHUT-OFF PLAN. CONTRACTOR SHALL NOT OPERATE VALVES ON THE PROJECT.

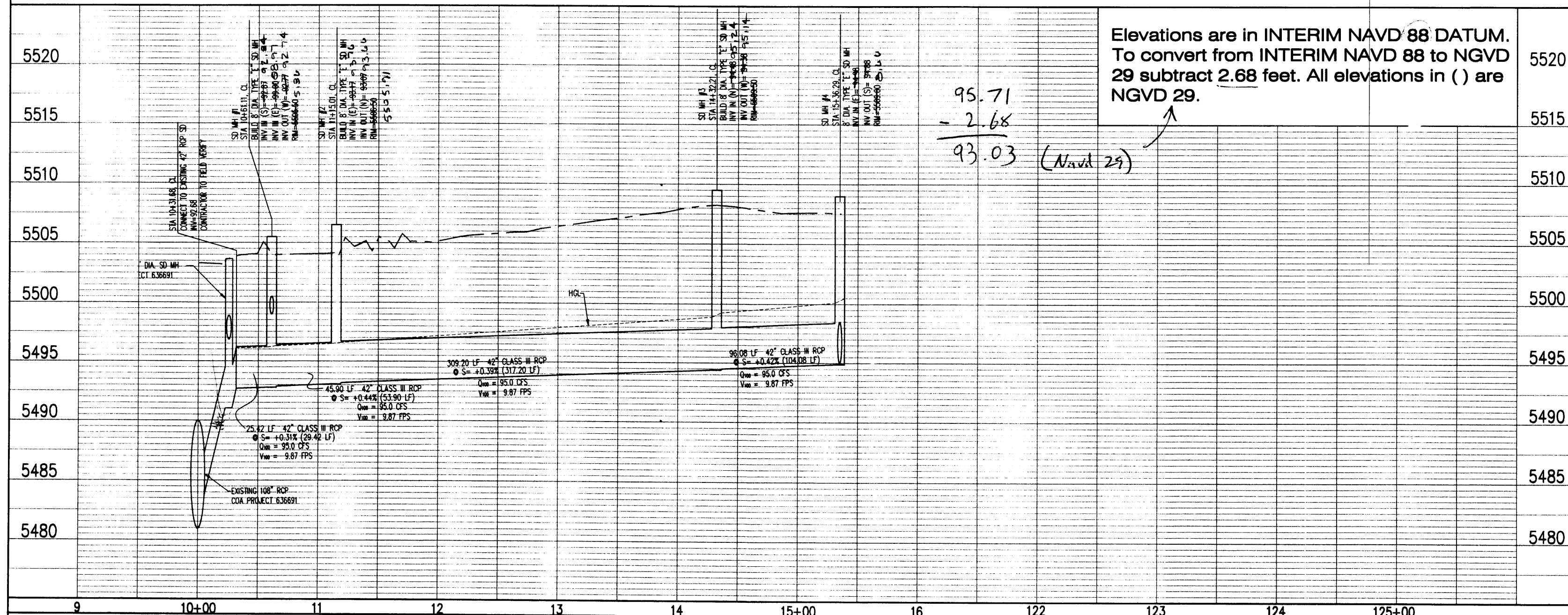
| FITTING                  | LENGTH TO BE RESTRAINED |      |       |
|--------------------------|-------------------------|------|-------|
|                          | (6")                    | (8") | (10") |
| 90° BEND                 | 20'                     | ---  | 32'   |
| VALVE/DEAD END           | 55'                     | ---  | 88'   |
| 10"x10"x10" TEE (BRANCH) | ---                     | ---  | 61'   |
| 10"x10"x6" TEE           | 1'                      | ---  | 10'   |

- NOTE:
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS, UNLESS SPECIFIED DIFFERENTLY IN THE PLANS. ALL PIPE JOINTS WITHIN 20 LF OF A MJ SHALL BE RESTRAINED AT THE CONTRACTORS EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ABOVE.
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.

**MATERIALS:**  
SAS LINE: SDR-35 PVC  
WATER LINE: C900-PVC



## OFFSITE STORM DRAIN



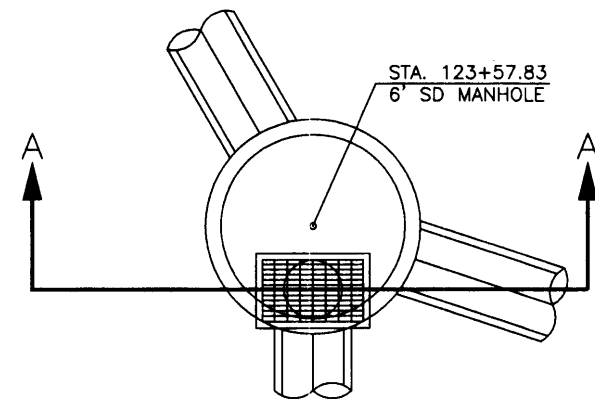
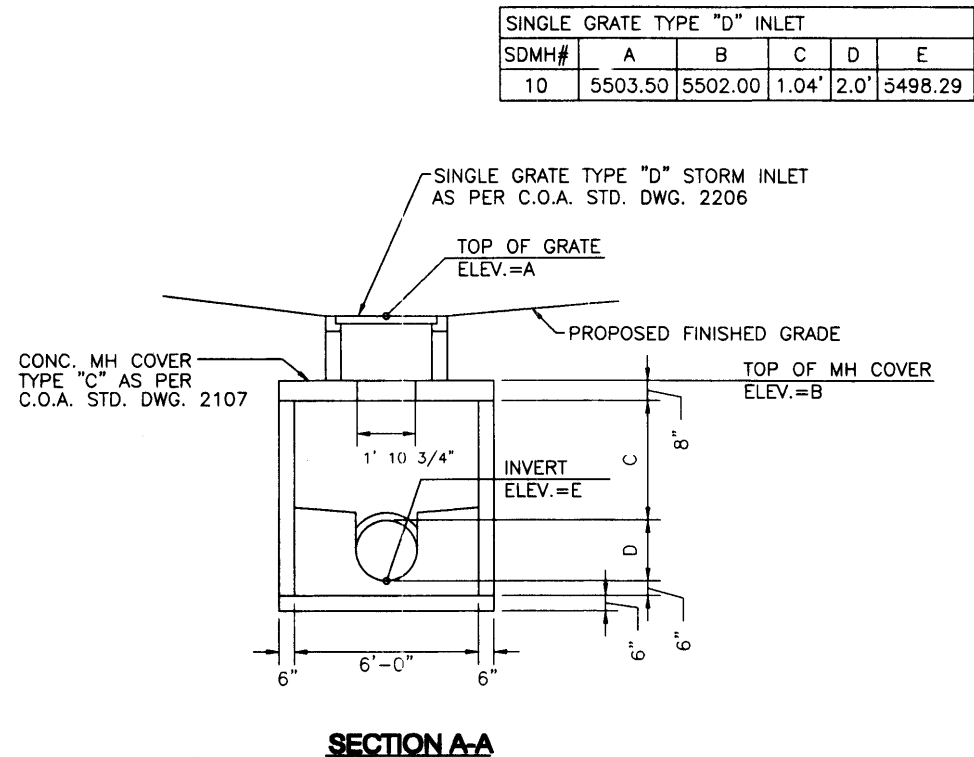
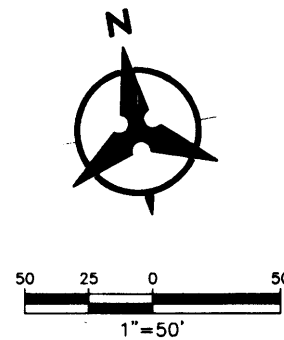
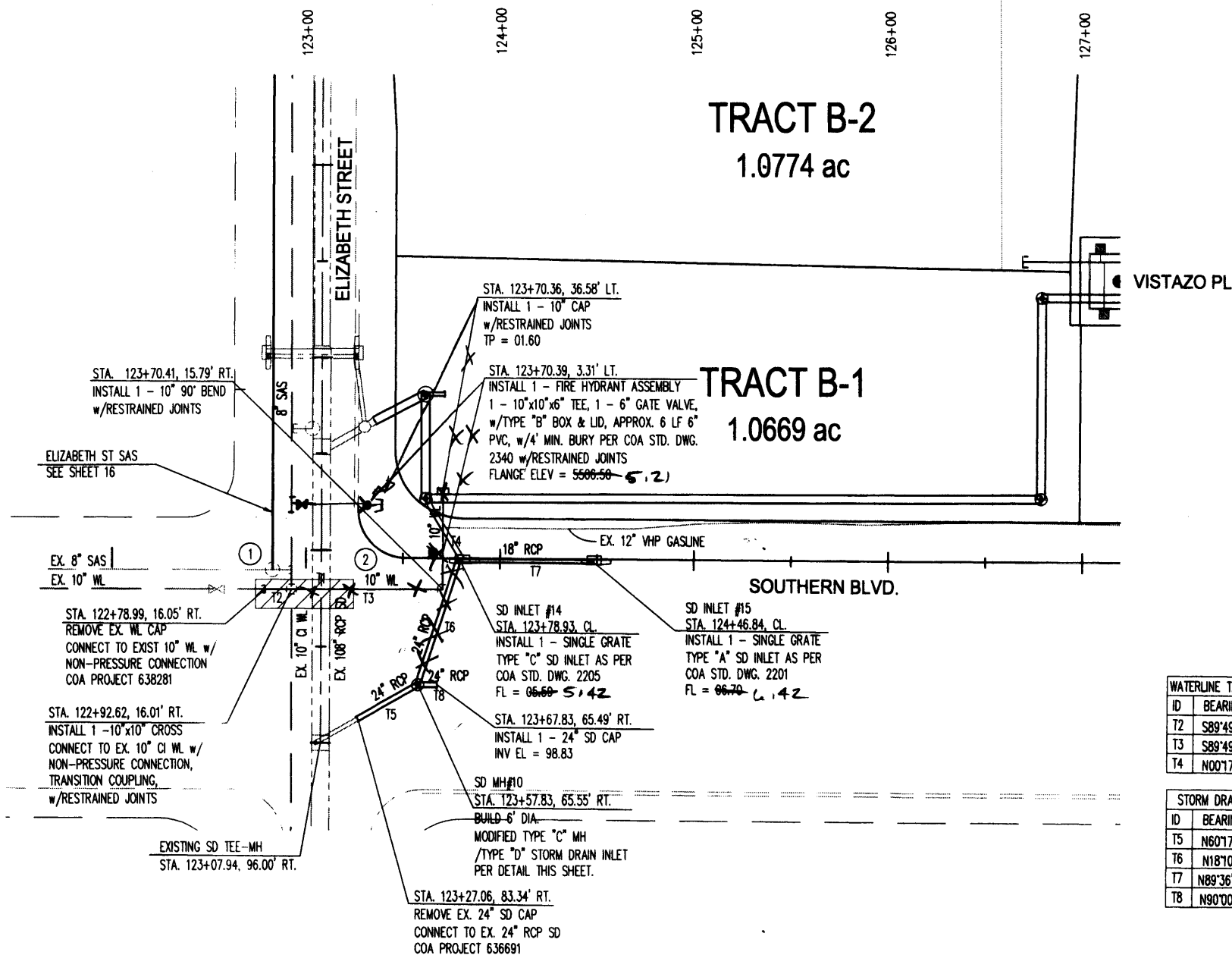
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- STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
- FOR STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWING OF STANDARD CURB TO MIDDLE OF DOWNHILL GRADE.

### LEGEND

- DOUBLE WATER METER
- SINGLE WATER METER
- W. AIR RELEASE VALVE
- WATER LINE SHUTOFF VALVE
- WATER LINE TEE
- SAS LATERAL
- SAS MANHOLE
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED STREET LIGHT

| AS-BUILT INFORMATION |         | BENCH MARKS |         | SURVEY INFORMATION |         | ENGINEER'S SEAL |        |
|----------------------|---------|-------------|---------|--------------------|---------|-----------------|--------|
| CONTRACTOR           | DATE    | NO.         | DATE    | NO.                | DATE    | REMARKS         | DESIGN |
| ALCS                 | 10/1/01 | 1           | 10/1/01 | 1                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 2           | 10/1/01 | 2                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 3           | 10/1/01 | 3                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 4           | 10/1/01 | 4                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 5           | 10/1/01 | 5                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 6           | 10/1/01 | 6                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 7           | 10/1/01 | 7                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 8           | 10/1/01 | 8                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 9           | 10/1/01 | 9                  | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 10          | 10/1/01 | 10                 | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 11          | 10/1/01 | 11                 | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 12          | 10/1/01 | 12                 | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 13          | 10/1/01 | 13                 | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 14          | 10/1/01 | 14                 | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 15          | 10/1/01 | 15                 | 10/1/01 | REVISIONS       | DESIGN |
| ALCS                 | 10/1/01 | 16          | 10/1/01 | 16                 | 10/1/01 | REVISIONS       | DESIGN |
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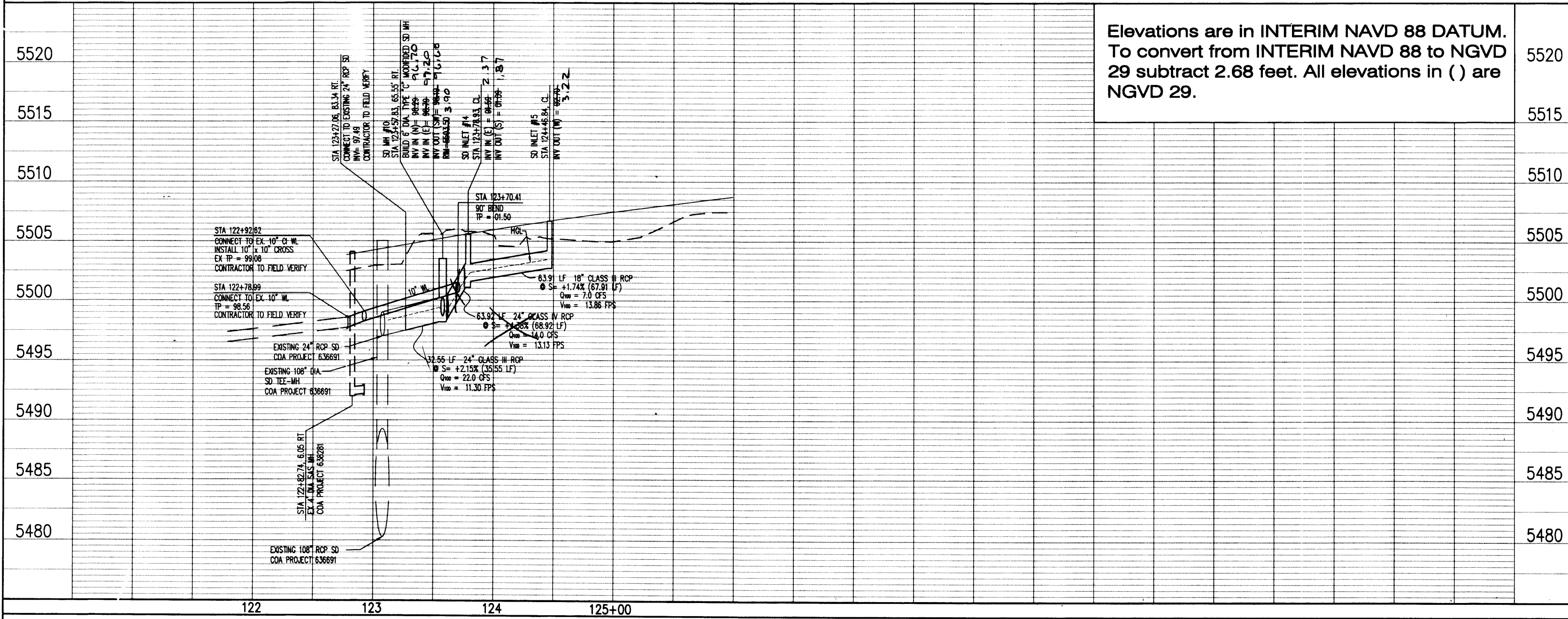


| ID | BEARING     | LENGTH |
|----|-------------|--------|
| 12 | S89°49'50"E | 13.63' |
| 13 | S89°49'50"E | 77.78' |
| 14 | N00°17'05"E | 52.37' |

| ID | BEARING     | LENGTH |
|----|-------------|--------|
| 15 | N60°17'52"E | 35.55' |
| 16 | N18°10'02"E | 68.92' |
| 17 | N89°36'53"W | 67.91' |
| 18 | N90°00'00"E | 10.00' |

# SOUTHERN BLVD. UTILITIES

Elevations are in INTERIM NAVD 88 DATUM. To convert from INTERIM NAVD 88 to NGVD 29 subtract 2.68 feet. All elevations in ( ) are NGVD 29.



### GENERAL NOTES

- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL CURVE DATA AND DIMENSIONS ARE CALCULATED FROM CENTERLINE OF PIPE OR MANHOLE. ALL S&S & SD SLOPES ARE CALCULATED FROM DIMENSIONS FROM INVERT TO INVERT. (PAY ITEMS ARE SHOWN IN PARENTHESES)
- GRADE ELEVATIONS, WHERE NOTED, ARE FOR FLOWLINE OF CURB UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR IS TO INSTALL A 4" X 4" X 5' POST AND END AT THE END OF EACH SANITARY SEWER SERVICE.
- CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ALL UTILITY CONDUITS AND EXISTING LINES.
- CONTRACTOR SHALL PROVIDE THE INSPECTORS WITH THE PROPOSED TESTING PLAN. THE PLAN MUST BE APPROVED BEFORE TESTING OPERATIONS BEGIN.
- CONTRACTOR SHALL PARK EQUIPMENT AND VEHICLES AS NOT TO INTERFERE WITH NORMAL ACTIVITIES OF RESIDENTS OR OTHER CONTRACTORS ON SITE.
- ANY DAMAGE TO THE EXISTING FACILITIES (CURB & GUTTER, PAVEMENT, CONDUITS, LANDSCAPING, UTILITY LINES, ETC.) DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTORS' EXPENSE.
- MH RIMS & CATCH BASIN INLET ELEVATIONS, VALVE BOXES, ARV, FIRE HYDRANT & FLANGE ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY AND ADJUST TO FINAL PAVEMENT GRADES.
- S&S STATIONING FOLLOWS CL OF ROAD UNLESS OTHERWISE NOTED.
- STATIONING OF DROP INLET IS TO MIDDLE OF DOWN HILL GRATE AT FACE OF CURB.
- FOR STORM DRAIN CONSTRUCTION: ALL RCP JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION SHALL DETERMINE WHICH JOINTS ARE TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
- FLOWLINE ELEVATIONS FOR DROP INLETS ARE PROJECTED FROM FLOWING OF STANDARD CURB TO MIDDLE OF DOWNHILL GRADE.

- CONTRACTOR SHALL FIELD VERIFY EXISTING UTILITIES, SEE GENERAL NOTE 1.
- SAWCUT, REMOVE & DISPOSE OF EX. PVMT TO INSTALL WL. REPLACE W/NEW PVMT. MATCH NEW PVMT TO EX PVMT.

### LEGEND

- DOUBLE WATER METER
- SINGLE WATER METER
- WL AIR RELEASE VALVE
- WATER LINE SHUTOFF VALVE
- WATER LINE TEE
- S&S LATERAL
- S&S MANHOLE
- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED STREET LIGHT

### AS-BUILT INFORMATION

| CONTRACTOR      | DATE     |
|-----------------|----------|
| BOHANNAN HUSTON | 02/01/01 |
| DESIGNED BY     | DATE     |
| SJS             | 11/01    |
| CHECKED BY      | DATE     |
| LSM             | 11/01    |

### ENGINEER'S SEAL

BOHANNAN HUSTON  
COURTYARD ONE 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109  
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

### CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

MIRAVISTA SUBDIVISION UNIT 2  
UTILITY PLAN AND PROFILE  
SOUTHERN BLVD. UTILITIES

### APPROVALS

| DESIGN REVIEW COMMITTEE | ENGINEER    | DATE |
|-------------------------|-------------|------|
| DEC 21 2001             | JAN 18 2002 |      |

### COA #662282

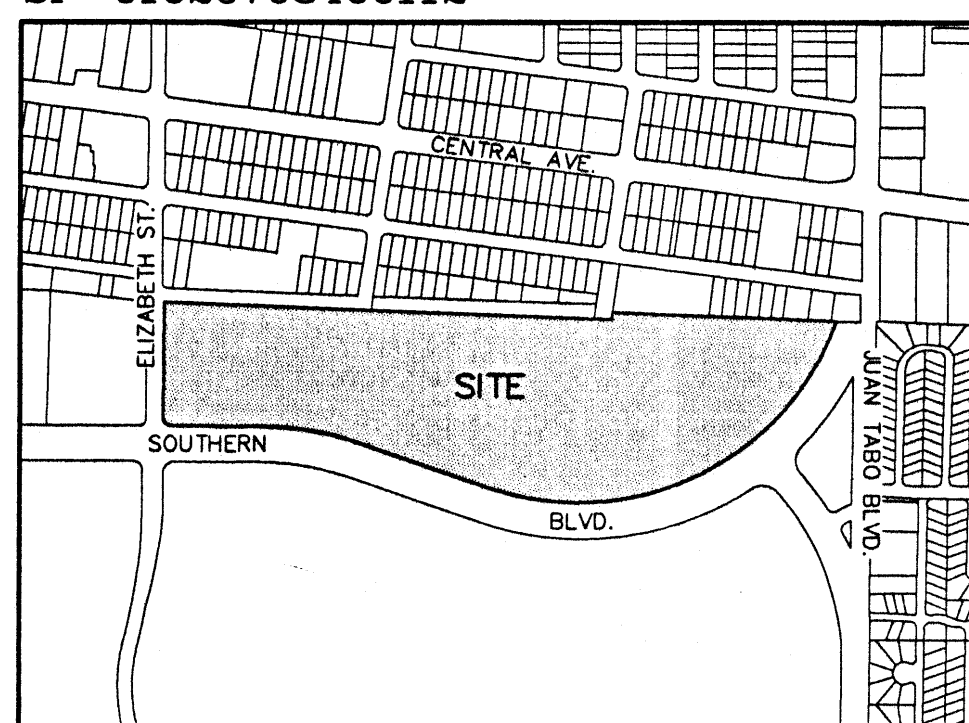
SCALE: 1" = 50' (HORIZ.)  
1" = 5' (VERT.)

### DRB# 1000933

NOVEMBER 2001

MIRAVISTA FILE

SP-01020708400112



## LOCATION MAP

ZONE ATLAS MAP NO. L-21  
NOT TO SCALE

## SUBDIVISION DATA

1. DRB No. \_\_\_\_\_
2. Gross subdivision acreage: 37.1897 acres
3. Total number of tracts created: five tracts.
4. No public street mileage created with this tract.
5. Date of survey: January 2001

## NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone, NAD 1927).
2. Distances are ground distances.
3. All easements of record are shown.

## DISCLOSURE STATEMENT

The purpose of this Replat is to subdivide Tract B into five tracts, grant easements, and vacate easements.

## PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are ten (10) feet wide and are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

## DESCRIPTION

A certain tract of land situate within Section 28, Township 10 North, Range 4 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract B of the REPLAT FOR TRACTS A THROUGH J, MANZANO MESA, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 5, 1991 in Volume 91C, Folio 112 as Document No. 91044235 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927 Datum) and ground distances as follows:

BEGINNING at the northwest corner of said Tract B, a point of intersection of the easterly right-of-way line of Elizabeth Street S.E. and the southerly right-of-way line of Acoma Road S.E., whence the Albuquerque City Survey (ACS) monument "6-L21, 1986" a 3-1/4 inch aluminum cap set in top of a curb (having New Mexico State Plane Coordinates Central Zone NAD 1927 of X=417,975.01 and Y=1,481,220.09 bears N00°17'17"E, a distance of 826.83 and from said point of beginning running thence along the northerly boundary line of said Tract B and also along said southerly right-of-way line, S87°43'40"E, a distance of 1809.94 feet to a point of intersection of the southerly right-of-way line of Acoma Road S.E. and the easterly right-of-way line of Shirley Street S.E., thence running along the northerly boundary line of said Tract B and also along said easterly right-of-way line, N08°04'23"E, a distance of 30.05 feet to a point, thence leaving said easterly right-of-way line and running thence along the northerly boundary line of said Tract B, S87°43'55"E, a distance of 920.10 feet to the northeast corner of said Tract B, a point of curvature (non-tangent) on the northwesterly right-of-way line of Southern Boulevard S.E., thence running along the southeasterly and southerly boundary line of said Tract B and also along said right-of-way line, 1744.67 feet along the arc of a curve to the right having a radius of 1100.00 feet and a chord which bears S63°39'29"W, a distance of 1567.47 feet to a point of tangency; thence, N70°54'16"W, a distance of 552.65 feet to a point of curvature (non-tangent); thence, 415.82 feet along the arc of a curve to the left having a radius of 1270.15 feet and a chord which bears N80°16'42"W, a distance of 413.97 feet to a point of non-tangency; thence, N89°39'57"W, a distance of 361.97 feet to a point of curvature (non-tangent); thence, 55.03 feet along the arc of a curve to the right having a radius of 35.00 feet and a chord which bears N44°43'30"W, a distance of 49.53 feet to a point of non-tangency on the westerly boundary line of said Tract B and also being a point on the easterly right-of-way line of Elizabeth Street S.E., thence running along the westerly boundary line of said Tract B and also along said right-of-way line, N00°20'35"E, a distance of 165.05 feet to a point, thence, N02°37'18"W, a distance of 60.03 feet to a point; thence, N00°18'58"E, a distance of 260.92 feet to the point and place of beginning.

Tract B contains 37.1897 acres, more or less.

## FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within Section 28, Township 10 North, Range 4 East, New Mexico Principal Meridian, within the City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract B of the Replat for TRACTS A THROUGH J, MANZANO MESA, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 5, 1991 in Volume 91C, Folio 112 as Document No. 91044235, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

## ALBUQUERQUE PUBLIC SCHOOLS

MICHAEL J. VIGIL  
Chief Financial Officer, Albuquerque Public Schools

State of New Mexico )  
County of Bernalillo )

This instrument was acknowledged before me on 21st day of February, 2001, by Michael J. Vigil, Chief Financial Officer of the Albuquerque Public Schools.

My Commission Expires: July 30, 2003  
Notary Public

## NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

WATER AND SANITARY SEWER AVAILABILITY,  
FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS,  
PARK AND OPEN SPACE REQUIREMENTS,  
DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS,  
EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

# BULK LAND PLAT OF TRACTS B-1, B-2, B-3, B-4 AND B-5 MANZANO MESA

ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001

## APPROVALS

PLAT NUMBER \_\_\_\_\_

|                       |         |
|-----------------------|---------|
| PLANNING DIRECTOR     | DATE    |
| <i>Robert J. Main</i> | 4/28/01 |
| CITY ENGINEER         | DATE    |
| <i>Robert J. Main</i> | 4/28/01 |
| A. M. A. F. C. A.     | DATE    |

|                            |         |
|----------------------------|---------|
| TRANSPORTATION DEVELOPMENT | DATE    |
| <i>Robert J. Main</i>      | 2-27-01 |
| CITY SURVEYOR              | DATE    |
| N/A                        |         |

|                                |         |
|--------------------------------|---------|
| PROPERTY MANAGEMENT            | DATE    |
| <i>Robert J. Main</i>          | 2/28/01 |
| UTILITY DEVELOPMENT DEPARTMENT | DATE    |
| <i>Adrienne E. Candiano</i>    | 2/28/01 |

|                        |        |
|------------------------|--------|
| PARK & RECREATION      | DATE   |
| <i>David R. Mulvey</i> | 3-6-01 |
| QWEST COMMUNICATIONS   | DATE   |
| <i>Robert J. Main</i>  | 3/6/01 |

|                       |         |
|-----------------------|---------|
| COMCAST CABLE         | DATE    |
| <i>Robert J. Main</i> | 3-21-01 |
| PNM ELECTRIC SERVICES | DATE    |
| <i>Robert J. Main</i> | 3-21-01 |

|                       |         |
|-----------------------|---------|
| PNM GAS SERVICES      | DATE    |
| <i>Robert J. Main</i> | 3-21-01 |

## TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

BERNALILLO COUNTY TREASURER'S OFFICE DATE \_\_\_\_\_

## SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October 1, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon Huston, Inc.  
Court yard I  
7500 Jefferson Street, N.E.  
Albuquerque, New Mexico 87109

Thomas G. Klingenhagen  
N.M.P.S. 5978

Date: 2-14-01



SHEET 1 OF 3

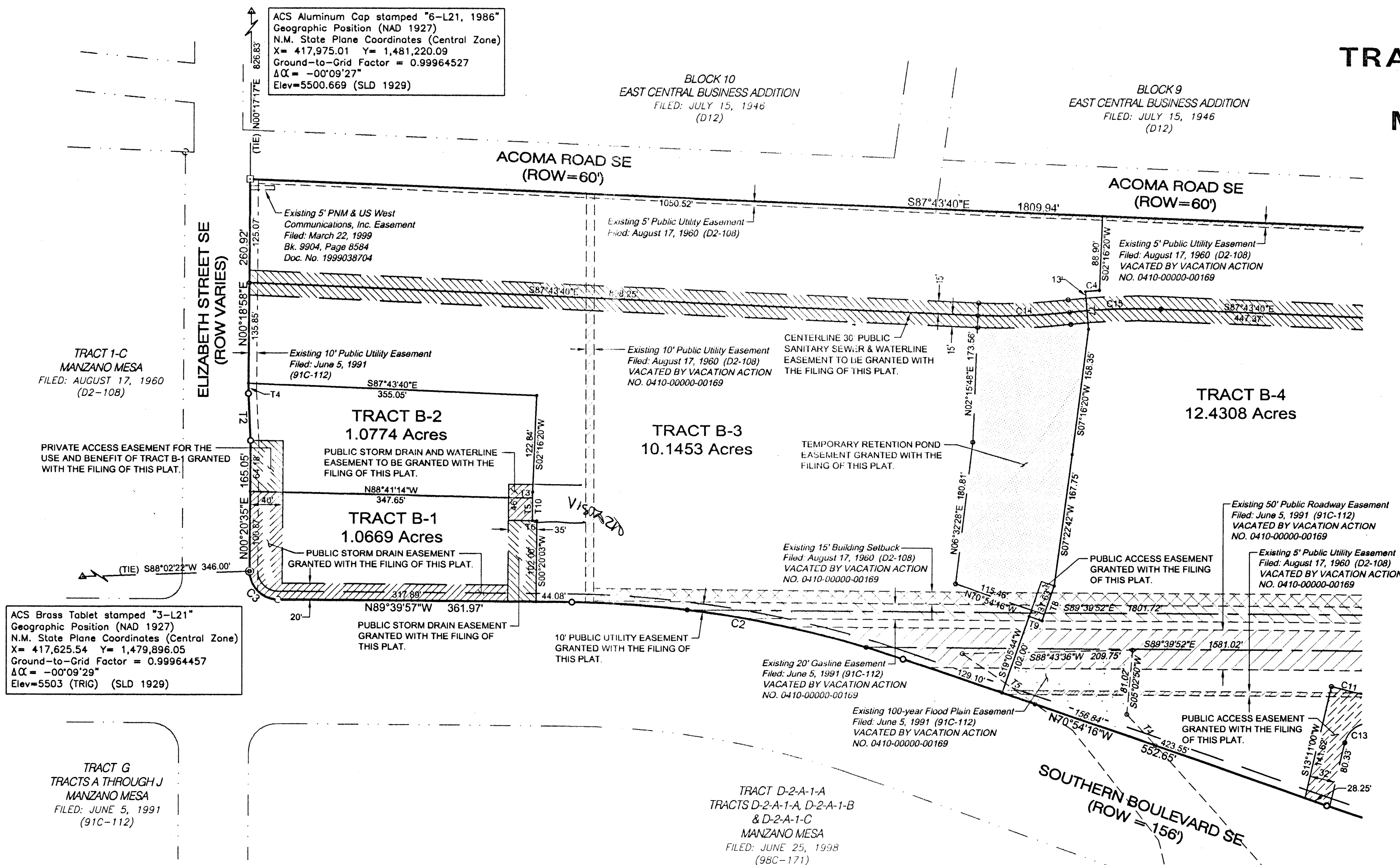
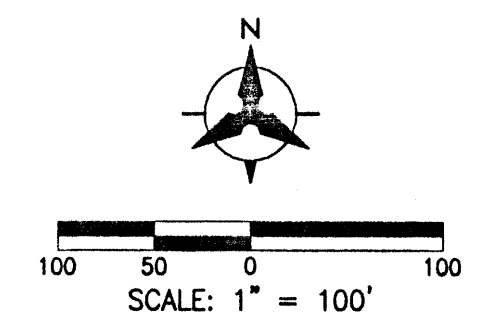
**Bohannon Huston**

Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

# BULK LAND PLAT OF TRACTS B-1, B-2, B-3, B-4 AND B-5 MANZANO MESA

ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001



| LEGEND |                                                                   |
|--------|-------------------------------------------------------------------|
|        | SUBDIVISION BOUNDARY LINE                                         |
|        | NEW LOT LINE                                                      |
|        | ADJOINING PROPERTY LINE                                           |
|        | MONUMENT TIE LINE                                                 |
|        | EXISTING EASEMENT LINE                                            |
|        | NEW EASEMENT LINE                                                 |
|        | CENTERLINE MONUMENT TO BE INSTALLED                               |
|        | CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT                       |
|        | SET 5/8" REBAR W/ 1-1/4" RED PLASTIC SURVEY CAP STAMPED "LS 5978" |
|        | FOUND 5/8" REBAR W/ TAGS STAMPED "LS 11184" & "LS 11599"          |
|        | FOUND REBAR W/ SURVEY CAP STAMPED "LS 11184"                      |
|        | FOUND PUNCH MARK IN CONCRETE                                      |
|        | FOUND REBAR W/ SURVEY CAP STAMPED "LS 8478"                       |

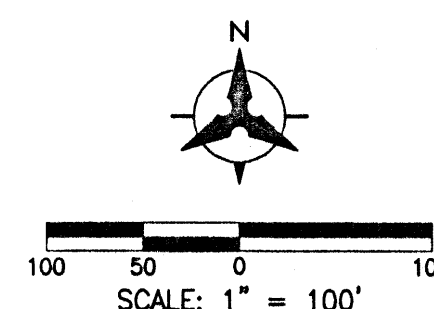
| CURVE DATA |             |         |         |         |         |                 |
|------------|-------------|---------|---------|---------|---------|-----------------|
| No.        | DELTA       | TANGENT | ARC     | RADIUS  | CHORD   | CHORD BRG       |
| C1         | 90° 52' 30" | 1116.93 | 1744.67 | 1100.00 | 1567.47 | S 53° 39' 29" W |
| C2         | 18° 45' 27" | 209.79  | 415.82  | 1270.15 | 413.97  | N 50° 16' 42" W |
| C3         | 90° 04' 58" | 35.05   | 55.03   | 35.00   | 49.53   | N 44° 43' 30" W |
| C4         | 1° 15' 55"  | 8.54    | 17.07   | 773.00  | 17.07   | N 85° 57' 32" E |
| C5         | 20° 20' 35" | 197.36  | 390.56  | 1100.00 | 388.51  | N 81° 04' 34" W |
| C6         | 70° 31' 54" | 777.86  | 1354.11 | 1100.00 | 1270.22 | S 53° 29' 11" W |
| C7         | 13° 18' 55" | 53.11   | 105.74  | 455.00  | 105.50  | N 83° 40' 40" E |
| C8         | 4° 54' 26"  | 21.42   | 42.82   | 500.00  | 42.81   | N 87° 52' 55" E |
| C9         | 8° 36' 28"  | 56.44   | 112.68  | 750.00  | 112.57  | N 87° 58' 06" E |
| C10        | 8° 36' 29"  | 56.44   | 112.68  | 750.00  | 112.57  | N 87° 58' 03" E |
| C11        | 8° 17' 36"  | 71.49   | 142.72  | 986.00  | 142.60  | S 73° 34' 52" E |
| C12        | 4° 39' 18"  | 41.38   | 82.71   | 1018.00 | 82.69   | N 80° 24' 01" W |
| C13        | 88° 44' 38" | 31.31   | 49.56   | 32.00   | 44.76   | S 57° 33' 19" W |
| C14        | 9° 44' 42"  | 25.57   | 51.02   | 300.00  | 50.96   | S 82° 51' 19" E |

| TANGENT DATA |                 |          |
|--------------|-----------------|----------|
| No.          | BEARING         | DISTANCE |
| T1           | N 8° 04' 23" E  | 30.05    |
| T2           | N 2° 37' 18" W  | 60.03    |
| T3           | S 0° 20' 03" W  | 8.08     |
| T4           | N 0° 18' 58" E  | 12.77    |
| T5           | S 0° 20' 03" W  | 27.92    |
| T6           | S 89° 39' 57" E | 5.34     |
| T7           | N 4° 40' 26" W  | 46.00    |
| T8           | N 19° 05' 44" E | 46.00    |
| T9           | S 70° 54' 16" E | 16.63    |
| T10          | N 0° 20' 03" E  | 36.00    |
| T11          | S 82° 43' 40" E | 4.00     |
| T12          | S 87° 43' 40" E | 4.02     |

**Bohannon & Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

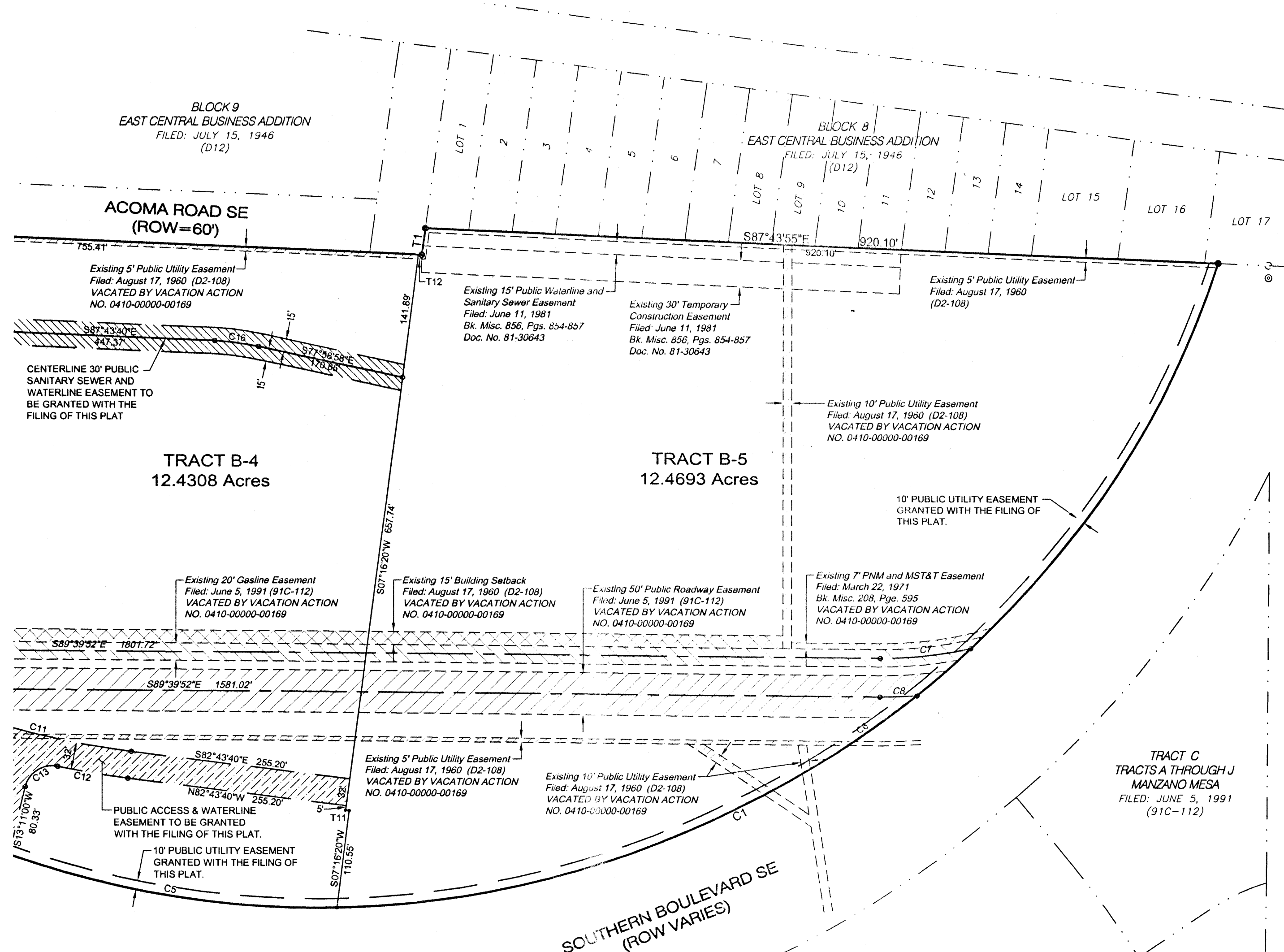
# BULK LAND PLAT OF TRACTS B-1, B-2, B-3, B-4 AND B-5 MANZANO MESA

ALBUQUERQUE, NEW MEXICO  
JANUARY, 2001

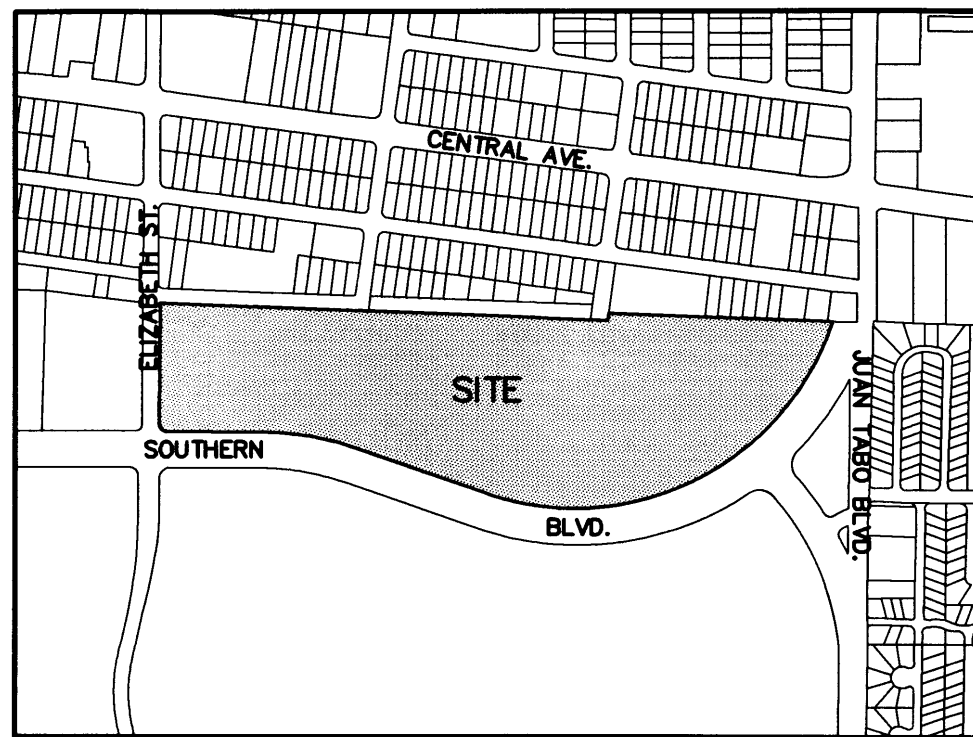


| TANGENT DATA |                 |          |
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| T12          | S 87° 43' 40" E | 4.02     |

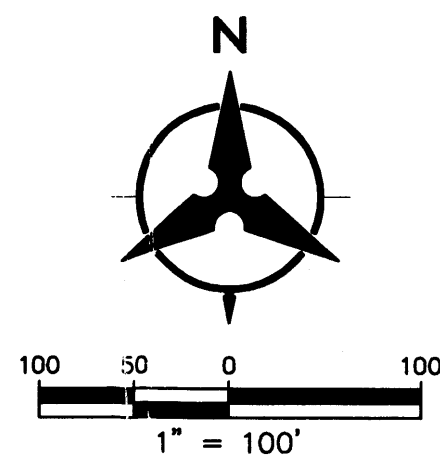
| LEGEND |                                                                   |
|--------|-------------------------------------------------------------------|
|        | SUBDIVISION BOUNDARY LINE                                         |
|        | NEW LOT LINE                                                      |
|        | ADJOINING PROPERTY LINE                                           |
|        | MONUMENT TIE LINE                                                 |
|        | EXISTING EASEMENT LINE                                            |
|        | NEW EASEMENT LINE                                                 |
|        | CENTERLINE MONUMENT TO BE INSTALLED                               |
|        | CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT                       |
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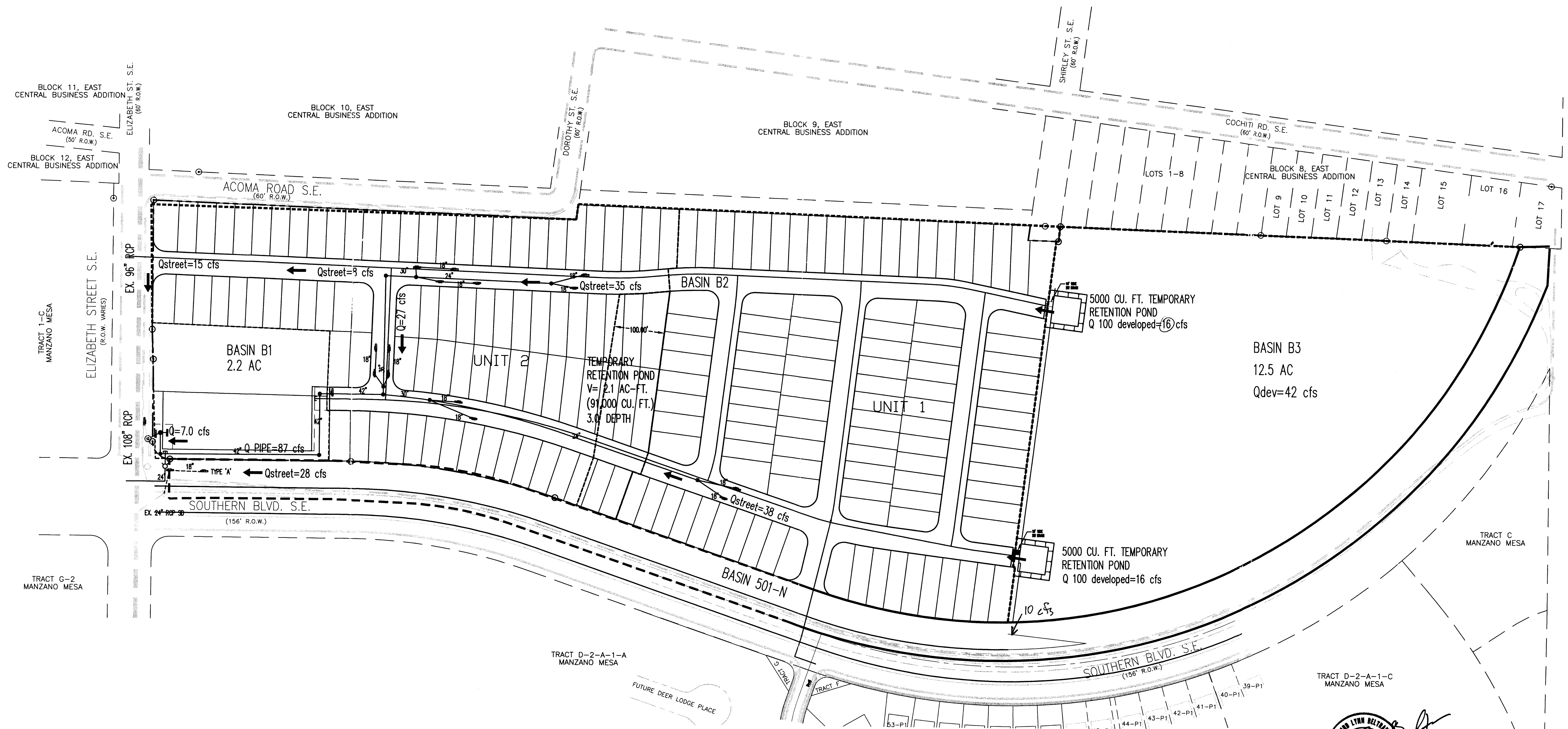
| CURVE DATA |             |         |         |         |         |                 |
|------------|-------------|---------|---------|---------|---------|-----------------|
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| C7         | 13° 18' 55" | 53.11   | 105.74  | 455.00  | 105.50  | N 83° 40' 40" E |
| C8         | 4° 54' 26"  | 21.42   | 42.82   | 500.00  | 42.81   | N 87° 52' 55" E |
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| C11        | 8° 17' 36"  | 71.49   | 142.72  | 986.00  | 142.60  | S 78° 34' 52" E |
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| C14        | 9° 44' 42"  | 25.57   | 51.02   | 300.00  | 50.96   | S 82° 51' 19" E |

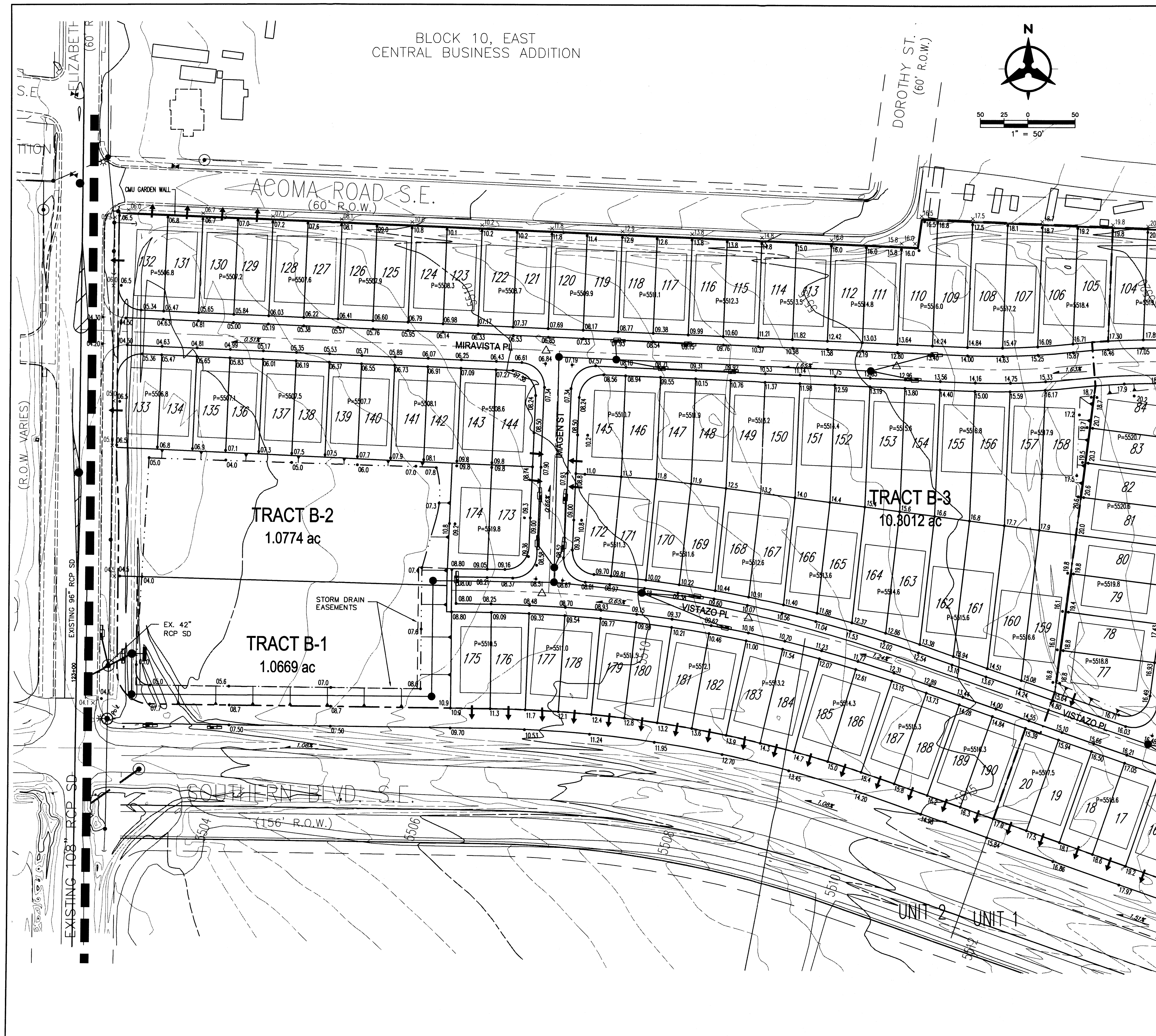


LOCATION MAP  
ZONE ATLAS MAP NO. L-21  
NOT TO SCALE

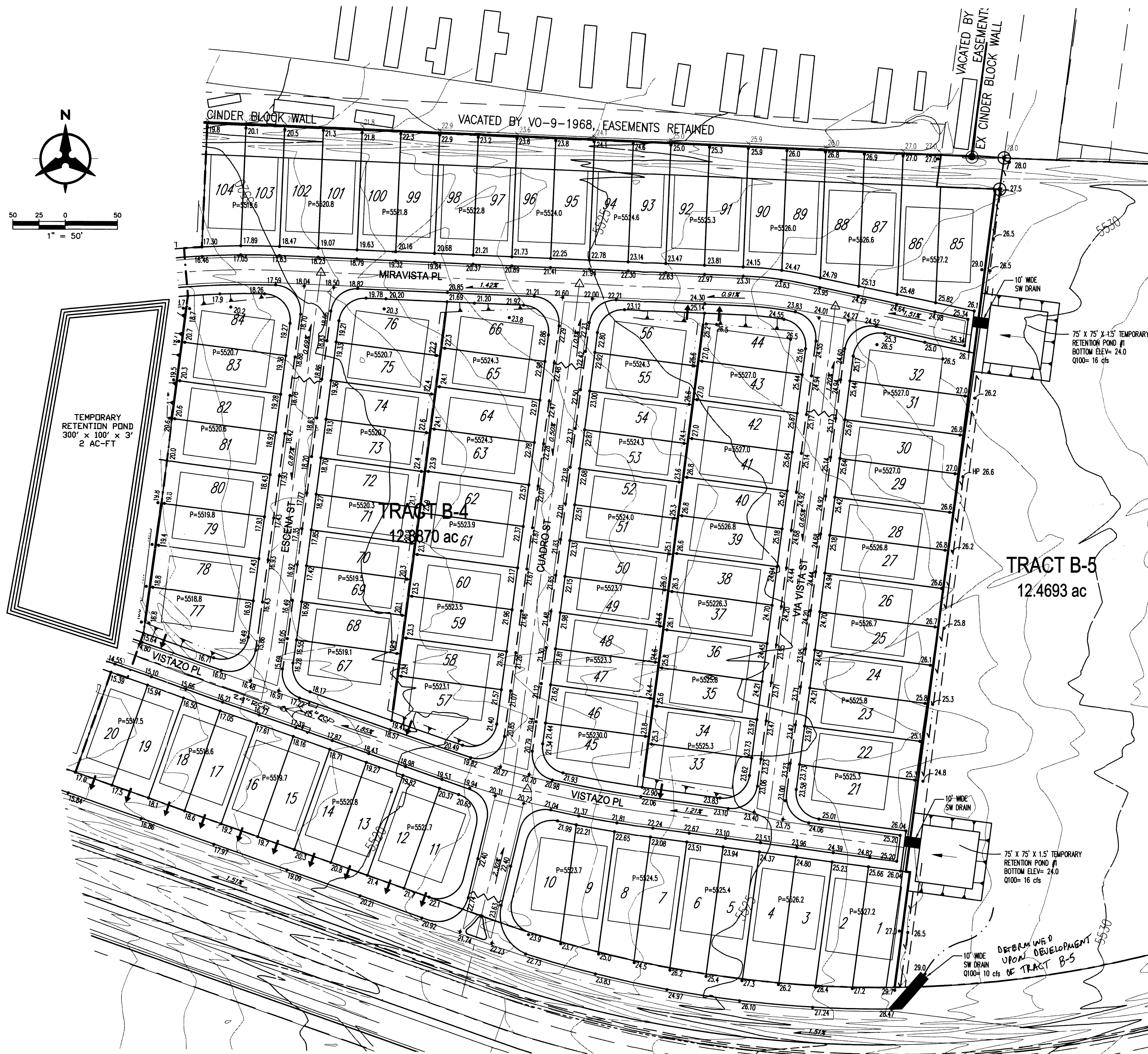
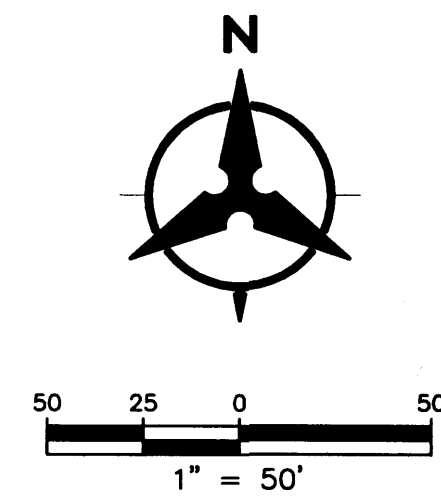


BASIN MAP FOR  
MIRAVISTA SUBDIVISION UNITS 1 & 2  
ALBUQUERQUE, NEW MEXICO  
FEBRUARY 02, 2001  
CURRENTLY TRACT B  
MANZANO MESA





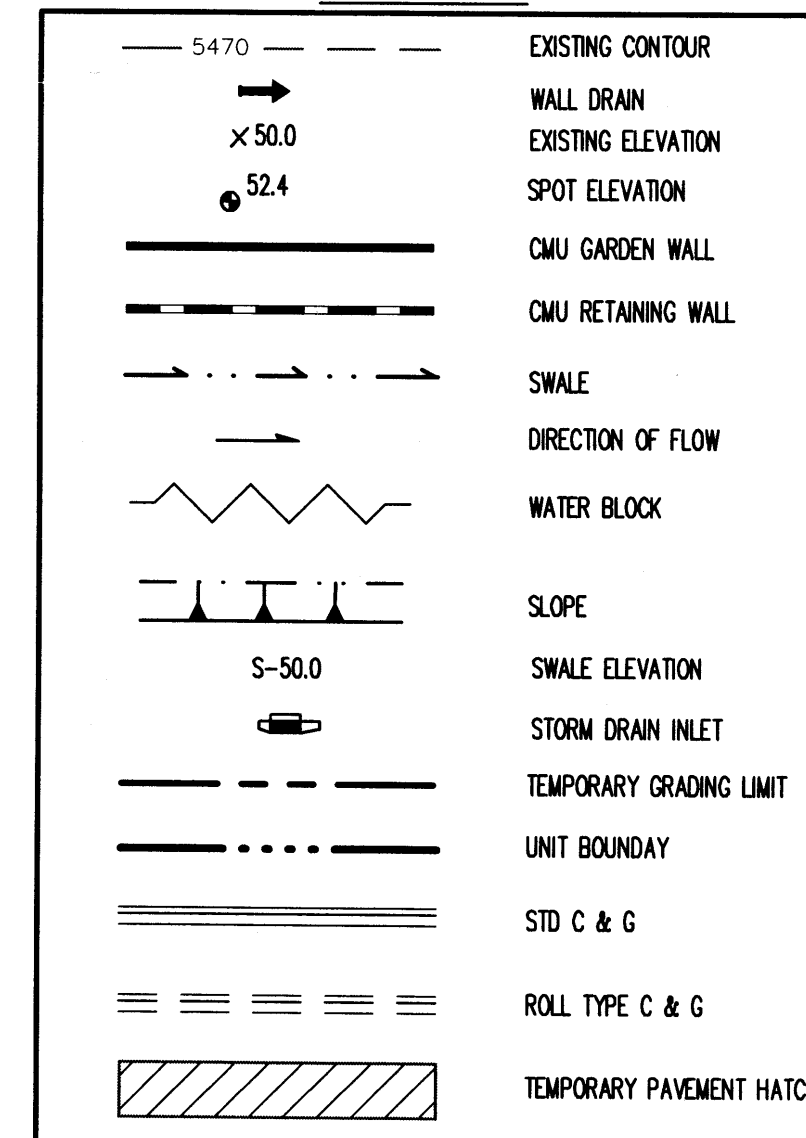
MATCH LINE SEE SHEET 2 FOR CONTINUATION



### GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DOT CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL, SHEET 3, AND METTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

### LEGEND



Boh m n Hu ton

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

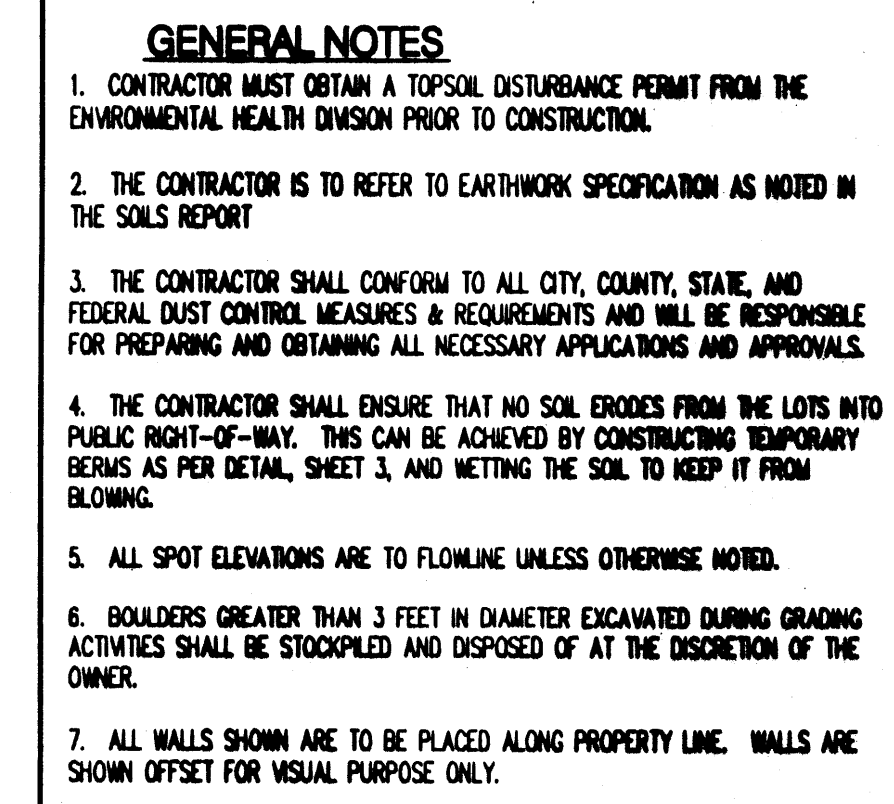
 **CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

**MIRAVISTA SUBDIVISION UNIT 1  
GRADING PLAN**

|                         |                        |                        |             |             |
|-------------------------|------------------------|------------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update     | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                        |             |             |
|                         |                        |                        |             |             |
|                         |                        |                        |             |             |
|                         |                        |                        |             |             |
|                         |                        |                        |             |             |
| City Project No.        |                        | Zone Map No.<br>L-21-Z | Sheet       | Of          |

BHI JOB NO. 01273

March, 2001



I, RICHARD L. BELTRAMO, OF BOWMAN  
HUSTON, N.M.P.E. # 10596 HEREBY CERTIFY THAT THE  
AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN  
SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND  
DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE  
ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND  
THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE  
VERIFIED BY ALDRICH LAND SURVEYING L.S.#  
. THIS STATEMENT DOES NOT REPRESENT  
CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

NAME Frank B. Burt  
DATE 2/19/02



|                                                                                       |                        |
|---------------------------------------------------------------------------------------|------------------------|
| — 5470 — — — — —                                                                      | EXISTING CONTOUR       |
| →                                                                                     | WALL DRAIN             |
| × 50.0                                                                                | EXISTING ELEVATION     |
| ● 52.4                                                                                | SPOT ELEVATION         |
| —————                                                                                 | CMU GARDEN WALL        |
| —————                                                                                 | CMU RETAINING WALL     |
| → . . → . . →                                                                         | SWALE                  |
| →                                                                                     | DIRECTION OF FLOW      |
| ~~~~~                                                                                 | WATER BLOCK            |
| —▲—▲—▲—                                                                               | SLOPE                  |
| S=50.0                                                                                | SWALE ELEVATION        |
| —( )—                                                                                 | STORM DRAIN INLET      |
| —————                                                                                 | TEMPORARY GRADING LINE |
| —————                                                                                 | UNIT BOUNDARY          |
| =====                                                                                 | STD C & G              |
| == == == ==                                                                           | ROLL TYPE C & G        |
|  | TEMPORARY PAVEMENT MAT |

**Bohannan & Hutton**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DEVELOPMENT GROUP**

**MIRAVISTA SUBDIVISION UNIT 1**  
**GRADING PLAN**

|                         |                        |                                                                                       |             |             |
|-------------------------|------------------------|---------------------------------------------------------------------------------------|-------------|-------------|
| Design Review Committee | City Engineer Approval | Last Design Update                                                                    | Mo./Day/Yr. | Mo./Day/Yr. |
|                         |                        |                                                                                       |             |             |
|                         |                        |                                                                                       |             |             |
|                         |                        |                                                                                       |             |             |
|                         |                        |                                                                                       |             |             |
|                         |                        |                                                                                       |             |             |
| City Project No.        | Zone Map No.           | Sheet Of                                                                              |             |             |
|                         | L-21-Z                 |  |             |             |

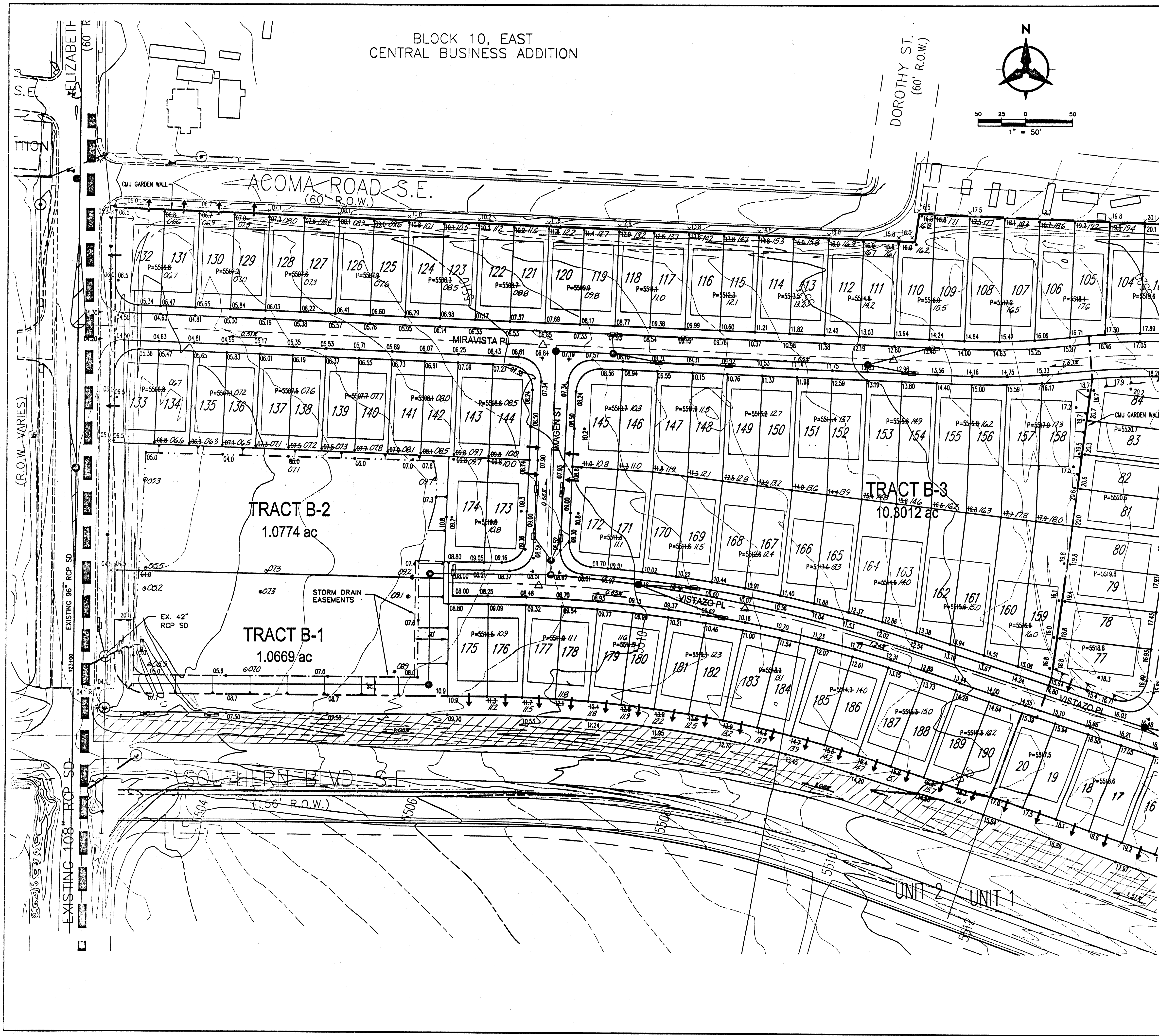
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BHI JOB NO. 01273

March, 2001

FEB 19 2002

HYDROLOGY SECTION



MATCH LINE SEE SHEET 1 FOR CONTINUATION

### GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL, SHEET 3, AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

### DRAINAGE CERTIFICATION

I, RICK BELTRAMO, NMPE #10596, OF THE FIRM BOHANNAN HUSTON, INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03/07/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TIM ALDRICH, NMES #7719, OF THE FIRM ALDRICH LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/26/03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RICK BELTRAMO  
NMPE #10596  
01/28/03  
DATE



### LEGEND

|           |                          |
|-----------|--------------------------|
| — 5470 —  | EXISTING CONTOUR         |
| → 50.0    | WALL DRAIN               |
| • 50.0    | EXISTING ELEVATION       |
| — — — — — | SPOT ELEVATION           |
| — — — — — | CHU GARDEN WALL          |
| — — — — — | CHU RETAINING WALL       |
| — — — — — | SWALE                    |
| — — — — — | DIRECTION OF FLOW        |
| — — — — — | WATER BLOCK              |
| — — — — — | SLOPE                    |
| — — — — — | STORM DRAIN INLET        |
| — — — — — | TEMPORARY GRADING LIMIT  |
| — — — — — | UNIT BOUNDARY            |
| — — — — — | STD C & G                |
| — — — — — | ROLL TYPE C & G          |
| — — — — — | TEMPORARY PAVEMENT HATCH |

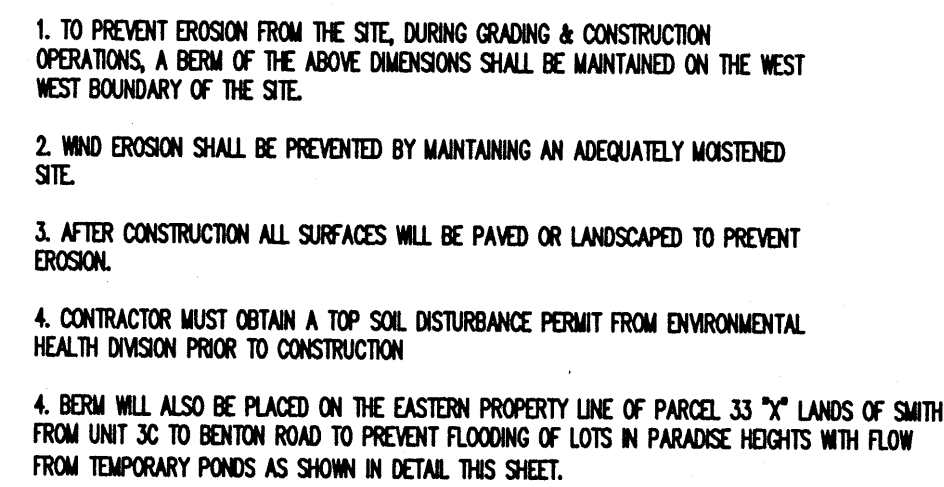
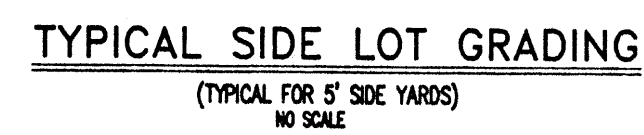
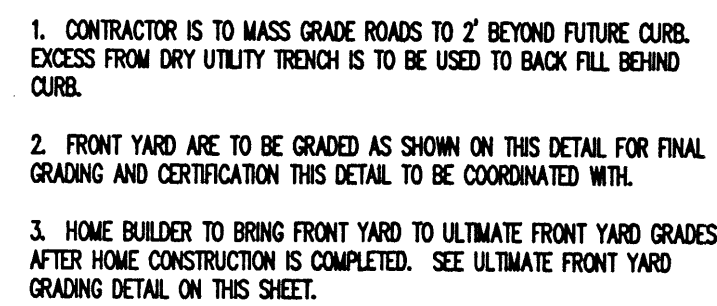
**Bohannan Huston**  
Courtyard One 7500 JEFFERSON NE ALBUQUERQUE NEW MEXICO 87109  
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DEVELOPMENT GROUP**  
**MIRAVISTA SUBDIVISION UNIT 2**  
**GRADING PLAN**

|                          |                        |             |             |
|--------------------------|------------------------|-------------|-------------|
| Design Review Committee  | City Engineer Approval | Mo./Day/Yr. | Mo./Day/Yr. |
| City Project No., 062282 | Zone Map No., L-21-Z   | Sheet       | Of          |

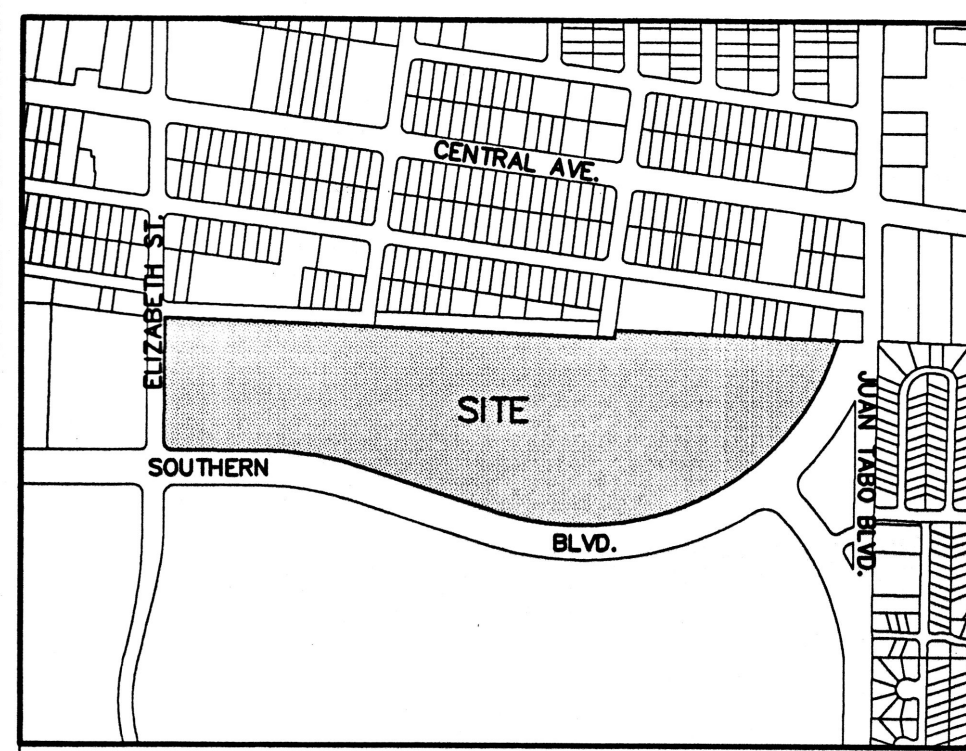
| AS-BUILT INFORMATION                        |      | BENCH MARKS                                 |      | SURVEY INFORMATION |    | FIELD NOTES |    | ENGINEER'S SEAL |             | REMARKS   |        |
|---------------------------------------------|------|---------------------------------------------|------|--------------------|----|-------------|----|-----------------|-------------|-----------|--------|
| CONTRACTOR                                  | DATE | CONTRACTOR                                  | DATE | NO.                | BY | NO.         | BY | RECEIVED        | DATE        | REVISIONS | DESIGN |
| ACS Aluminum Cap stamped "S-121, 1986"      | DATE | ACS Aluminum Cap stamped "S-121, 1986"      | DATE |                    |    |             |    | JAN 29 2003     | DATE: 03/07 |           |        |
| Geographic Position (NAD 1983)              | DATE | Geographic Position (NAD 1983)              | DATE |                    |    |             |    |                 | DATE: 03/07 |           |        |
| N.M. State Plane Coordinates (Central Zone) | DATE | N.M. State Plane Coordinates (Central Zone) | DATE |                    |    |             |    |                 | DATE: 03/07 |           |        |
| X = 158,220.57587 Y = 1,481,263.2984        | DATE | X = 158,220.57587 Y = 1,481,263.2984        | DATE |                    |    |             |    |                 | DATE: 03/07 |           |        |
| Ground-to-Grid Factor = 0.999944584         | DATE | Ground-to-Grid Factor = 0.999944584         | DATE |                    |    |             |    |                 | DATE: 03/07 |           |        |
| WAD 88 Elevation = 5503.35'                 | DATE | WAD 88 Elevation = 5503.35'                 | DATE |                    |    |             |    |                 | DATE: 03/07 |           |        |



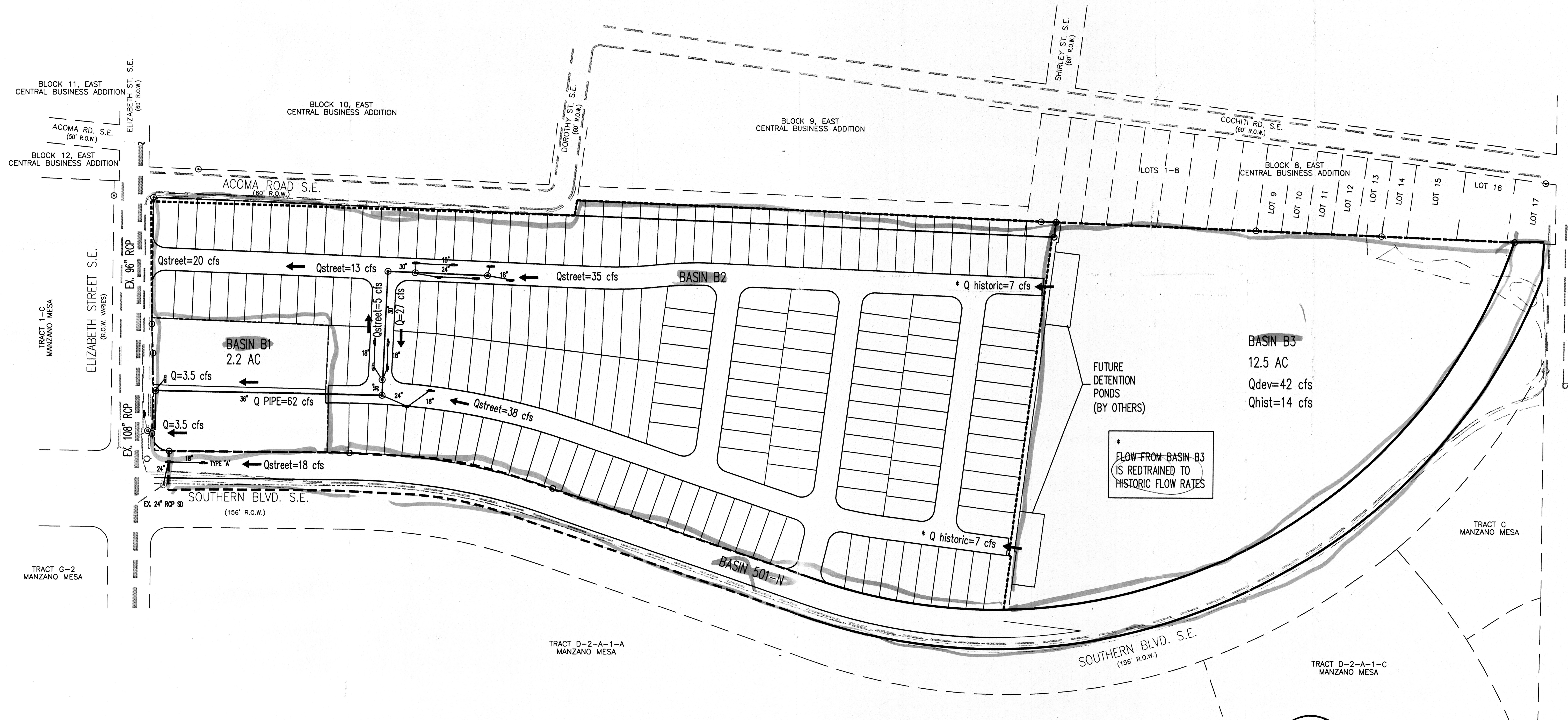
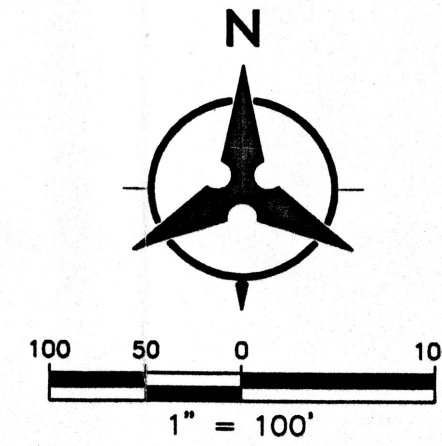
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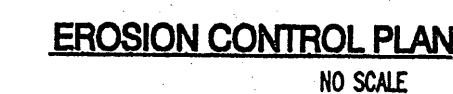
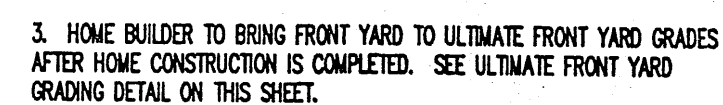
|                                                                                       |  |                                                                                                                                                                                   |  |
|---------------------------------------------------------------------------------------|--|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
|  |  | <b>Bohannon &amp; Huettner</b><br>Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109                                                                                    |  |
| ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS                    |  |  <b>CITY OF ALBUQUERQUE</b><br><b>PUBLIC WORKS DEPARTMENT</b><br><b>ENGINEERING DIVISION</b> |  |
| <b>MIRAVISTA SUBDIVISION</b><br><b>GRADING DETAILS</b>                                |  |                                                                                                                                                                                   |  |
| Design Review Committee                                                               |  | City Engineer Approval                                                                                                                                                            |  |
| City Project No.                                                                      |  | Zone Map No.                                                                                                                                                                      |  |
|                                                                                       |  | L-21-Z                                                                                                                                                                            |  |

BASIN MAP FOR  
MIRAVISTA SUBDIVISION UNITS 1 & 2  
ALBUQUERQUE, NEW MEXICO  
FEBRUARY 02, 2001  
CURRENTLY TRACT B  
MANZANO MESA



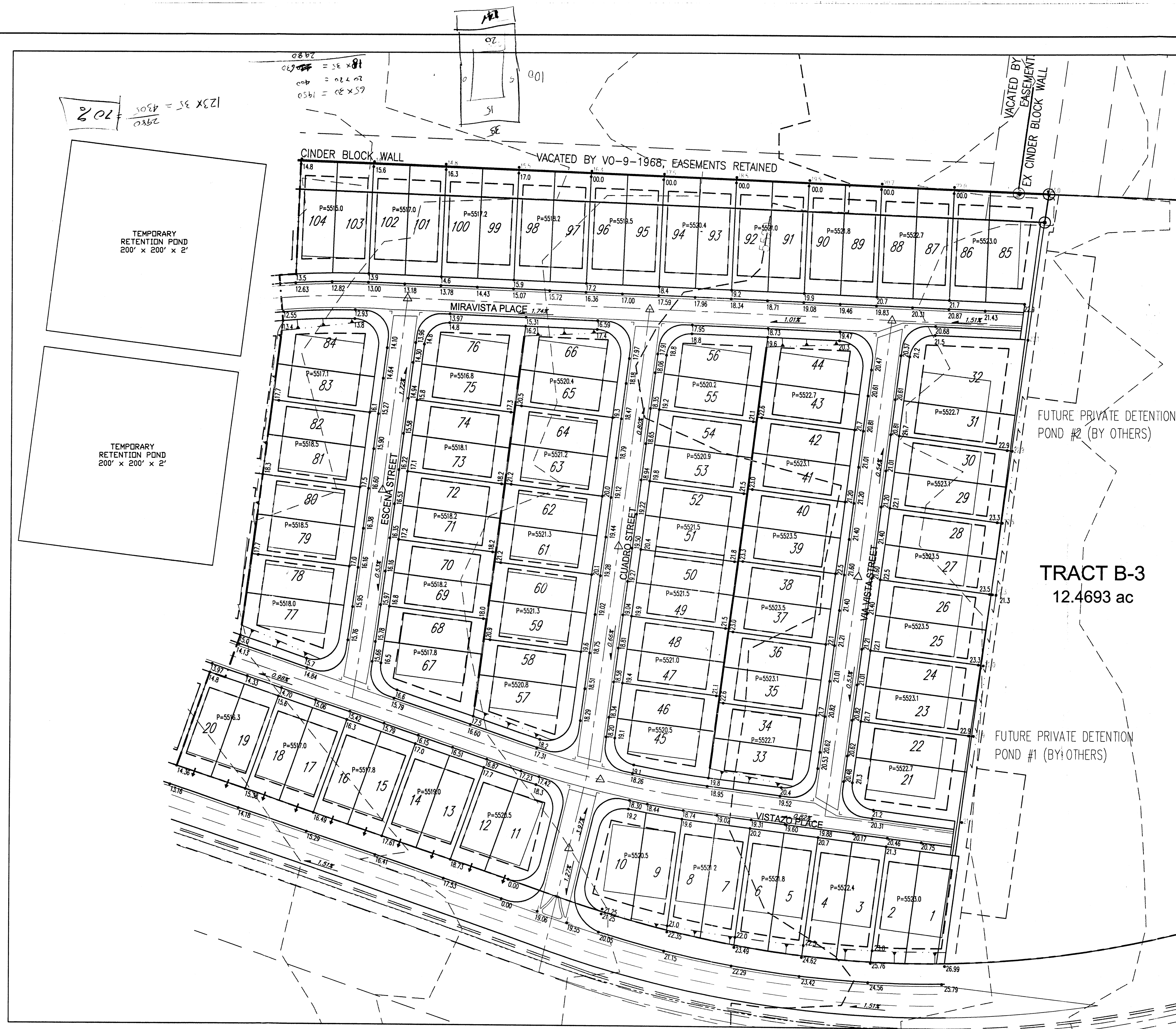
LOCATION MAP  
ZONE ATLAS MAP NO. L-21  
NOT TO SCALE





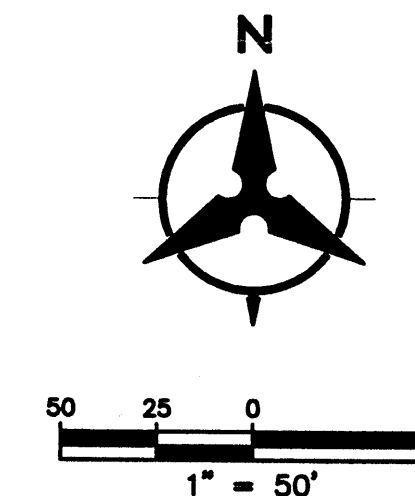
|                                                                                                                                                                                    |                        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------|
|  <b>Bohannon &amp; Hutton</b><br>Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109 |                        |
| ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS                                                                                                                 |                        |
|  <b>CITY OF ALBUQUERQUE</b><br><b>PUBLIC WORKS DEPARTMENT</b><br><b>ENGINEERING DIVISION</b>  |                        |
| <b>MIRAVISTA SUBDIVISION</b><br><b>GRADING DETAILS</b>                                                                                                                             |                        |
| Design Review Committee                                                                                                                                                            | City Engineer Approval |
| City Project No.                                                                                                                                                                   | Zone Map No.           |
| L-21                                                                                                                                                                               |                        |

MATCH LINE SEE SHEET 2 FOR CONTINUATION



### GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3, AND WEETING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.



TRACT B-3  
12.4693 ac

FUTURE PRIVATE DETENTION  
POND #1 (BY OTHERS)

| AS-BUILT INFORMATION   |      |
|------------------------|------|
| CONTRACTOR             | DATE |
| DESIGNED BY            | DATE |
| INSPECTOR'S            | DATE |
| ACCEPTANCE BY          | DATE |
| PREPARATION BY         | DATE |
| DRAWINGS               | DATE |
| CORRECTED BY           | DATE |
| MICRO-FILM INFORMATION |      |
| RECORDED BY            | DATE |
| NO.                    |      |

| BENCH MARKS             |
|-------------------------|
| Completed "6-121, 1986" |
| D 1983)                 |
| Notes (Central Zone)    |
| = 1,481,283.32984       |
| 0.939644584             |
| 3.35'                   |

[illegible][illegible]

**Bolton Hu-ton**

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

**ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS**



**CITY OF ALBUQUERQUE**

**PUBLIC WORKS DEPARTMENT**

**ENGINEERING DEVELOPMENT GROUP**

**MIRAVISTA SUBDIVISION UNIT 1**

**GRADING PLAN**

|                         |                        |                        |               |             |
|-------------------------|------------------------|------------------------|---------------|-------------|
| Design Review Committee | City Engineer Approval | Fast Design Update     | Mo./Day/Yr.   | Mo./Day/Yr. |
|                         |                        |                        |               |             |
|                         |                        |                        |               |             |
|                         |                        |                        |               |             |
|                         |                        |                        |               |             |
| City Project No.        |                        | Zone Map No.<br>L-21-Z | Sheet      Of |             |