

CITY OF ALBUQUERQUE



August 10, 2009

Dennis A Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

Re: IHOP Restaurant, 10605 Central Ave NE Grading Plan
Engineer's Stamp date 8-4-09 (L21/D040)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 8-6-09, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

The build note to connect the 4 inch roof drain off the southwest corner of the building to the 24 inch storm drain was inadvertently dropped in this revision. Include this in your Certification when submitting for Certificate of Occupancy.

Albuquerque

The 4" drain through the curb will now be constructed by Work Order and therefore an SO 19 Permit is no longer required.

NM 87103

This is now the plan to certify for Certificate of Occupancy.

If you have any questions, you can contact me at 924-3695.

www.cabq.gov

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: 1140P RESTAURANT ZONE MAP/DRG. FILE # L21-6040
DRB#: 09DRB70192 EPC#: — WORK ORDER#: 773782

LEGAL DESCRIPTION: TRACT A-2 LONGFIELD ADDITION
CITY ADDRESS: 10605 CENTRAL NE

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: D. LORENZ
PHONE: 888-6088
ZIP CODE: 87110

OWNER: ESTEREA DEVELOPMENT
ADDRESS: 6691 E. CAMELBACK RD
CITY, STATE: SCOTTSDALE AZ

CONTACT: M. ROSE
PHONE: 480-945-2280
ZIP CODE: 85254

ARCHITECT: FITCH AIA
ADDRESS: 16435 N. SCOTTSDALE RD
CITY, STATE: SCOTTSDALE, AZ

CONTACT: K. SULLIVAN
PHONE: 480-998-4200
ZIP CODE: 85254

SURVEYOR: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: L. MARTINEZ
PHONE: 888-6088
ZIP CODE: 87110

CONTRACTOR: UNKN.
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

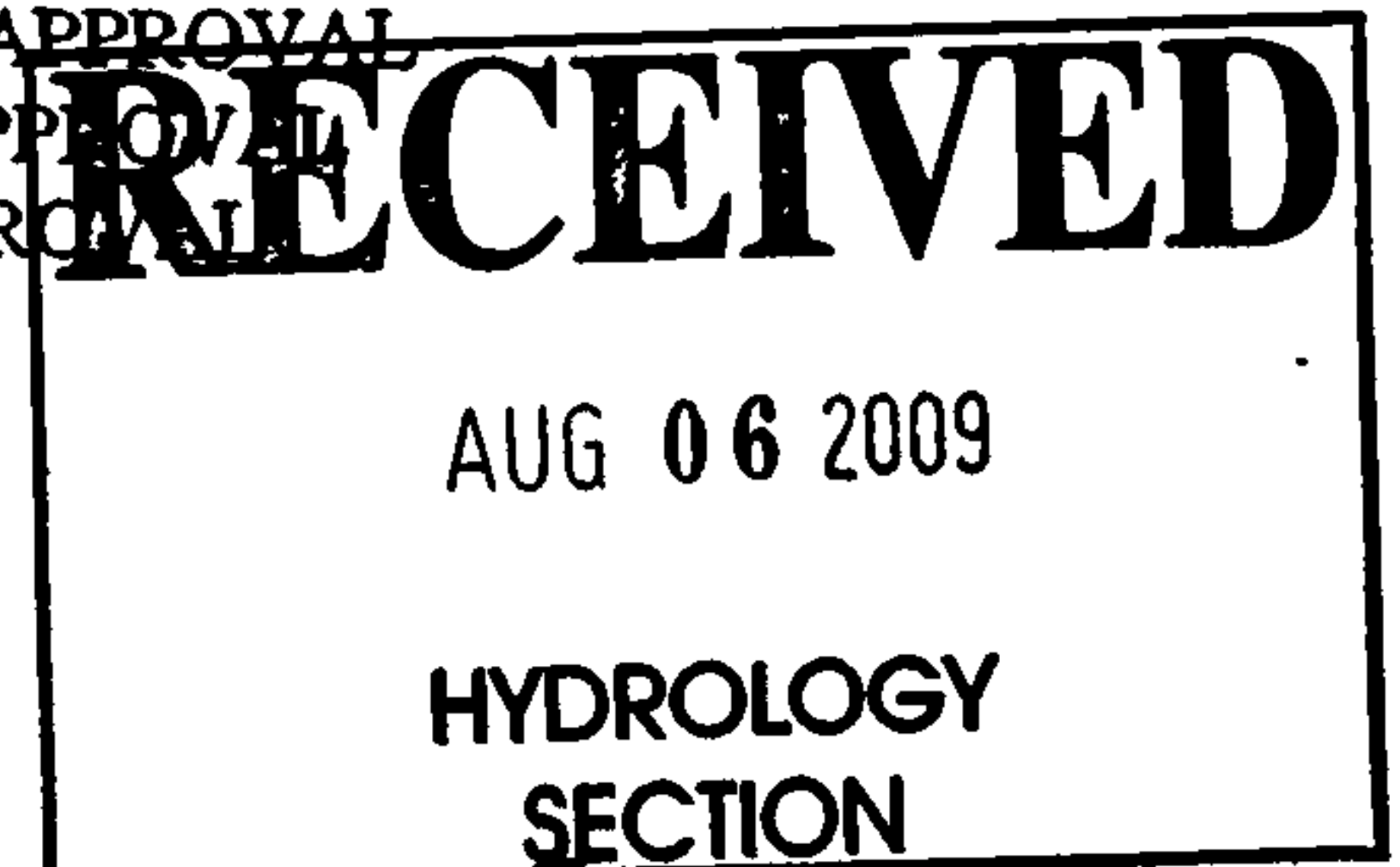
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: 8.6.09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

August 6, 2009

Curtis A. Cheme, PE
Development and Building Services
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87103

SUBJECT: IHOP RESTAURANT
10605 Central Ave NE
L-21 – D040

Dear Curtis:

Submitted herewith for approval are two (2) copies of the revised Grading and Drainage Plan for the subject project. The Plan has been revised to increase the driveway width from 30' to 36' per comments issued by Traffic. No other changes were made. Although minor by nature, this submittal is made as a courtesy to facilitate building permit approval and future CO issuance.

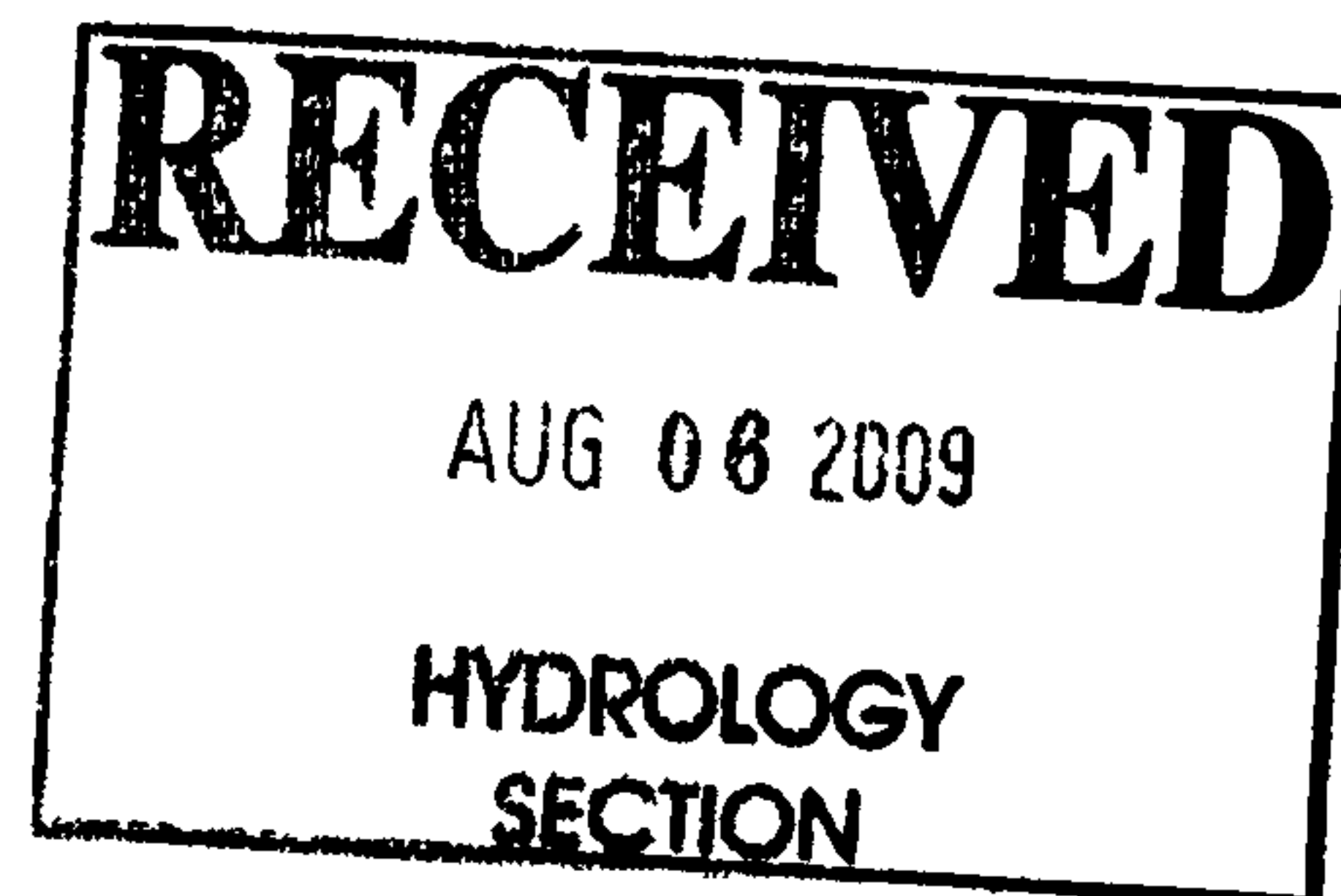
If you have any questions or concerns please call me.

Sincerely,

BRASHER & LORENZ, INC.

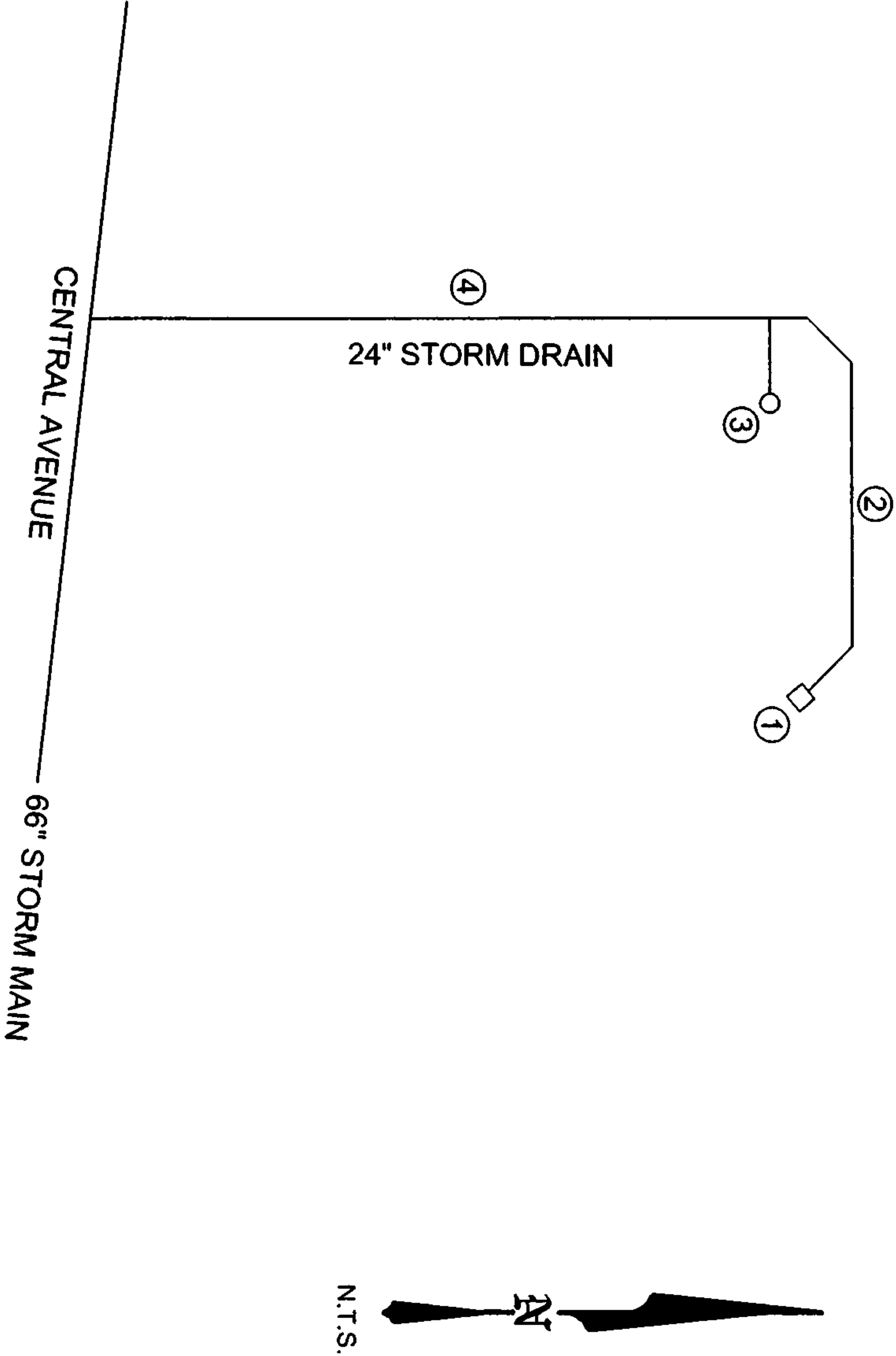
Dennis A. Lorenz, PE
Principal

/dl/09527
encl



CENTRAL AVENUE IHOP
STORM DRAINS

ANALYSIS POINT	Q-INLET (CFS)	Q-PIPE (CFS)	PIPE SLOPE (%)	PIPE DIAMETER (INCHES)
1	19.72			
2		19.72	0.76	24
3	6.36			
4		26.08	1.52	24



CENTRAL AVENUE IHOP

STORM DRAINS

CALCULATIONS

INLETS BY ORIFICE EQUATION: $Q = CA(2GH)^{1/2}$

① SINGLE "D" INLET:

Q = 19.72 CFS

A = GRATE OPEN AREA = 4.31 SQF

C = 0.6

SOLVING FOR H REQUIRED ABOVE THE INLET GIVES 0.9 FEET -- OK BY DESIGN.

③ NEENAH "BEEHIVE" INLET:

Q = 6.36 CFS

A = GRATE OPEN AREA = 2.00 SQF

C = 0.6

SOLVING FOR H REQUIRED ABOVE THE INLET GIVES 0.45 FEET -- OK BY DESIGN.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: 140P Restaurant ZONE MAP/DRG. FILE # L21-D040
DRB#: 09DRB70192 EPC#: — WORK ORDER#: 773782

LEGAL DESCRIPTION: Tract A-2 Longfield Addition
CITY ADDRESS: 10605 Central NE

ENGINEERING FIRM: Brasher + Lorenz CONTACT: D. Lorenz
ADDRESS: 2201 San Pedro NE PHONE: 888-6088
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

OWNER: Esterra Development CONTACT: M. Rose
ADDRESS: 6691 E. Camelback RD PHONE: 480-945-2280
CITY, STATE: Scottsdale, AZ ZIP CODE: 85254

ARCHITECT: Fitch AIA CONTACT: K. Sullivan
ADDRESS: 16435 N. Scottsdale Rd PHONE: 480-998-4200
CITY, STATE: Scottsdale, AZ ZIP CODE: 85254

SURVEYOR: Brasher + Lorenz CONTACT: L. Martinez
ADDRESS: 2201 San Pedro NE PHONE: 888-6088
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Sunshine Construction Inc CONTACT: Joe Santangelo
ADDRESS: 257 Juan Tabo NE PHONE: 823-0855
CITY, STATE: Albuquerque, NM ZIP CODE: 87123

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

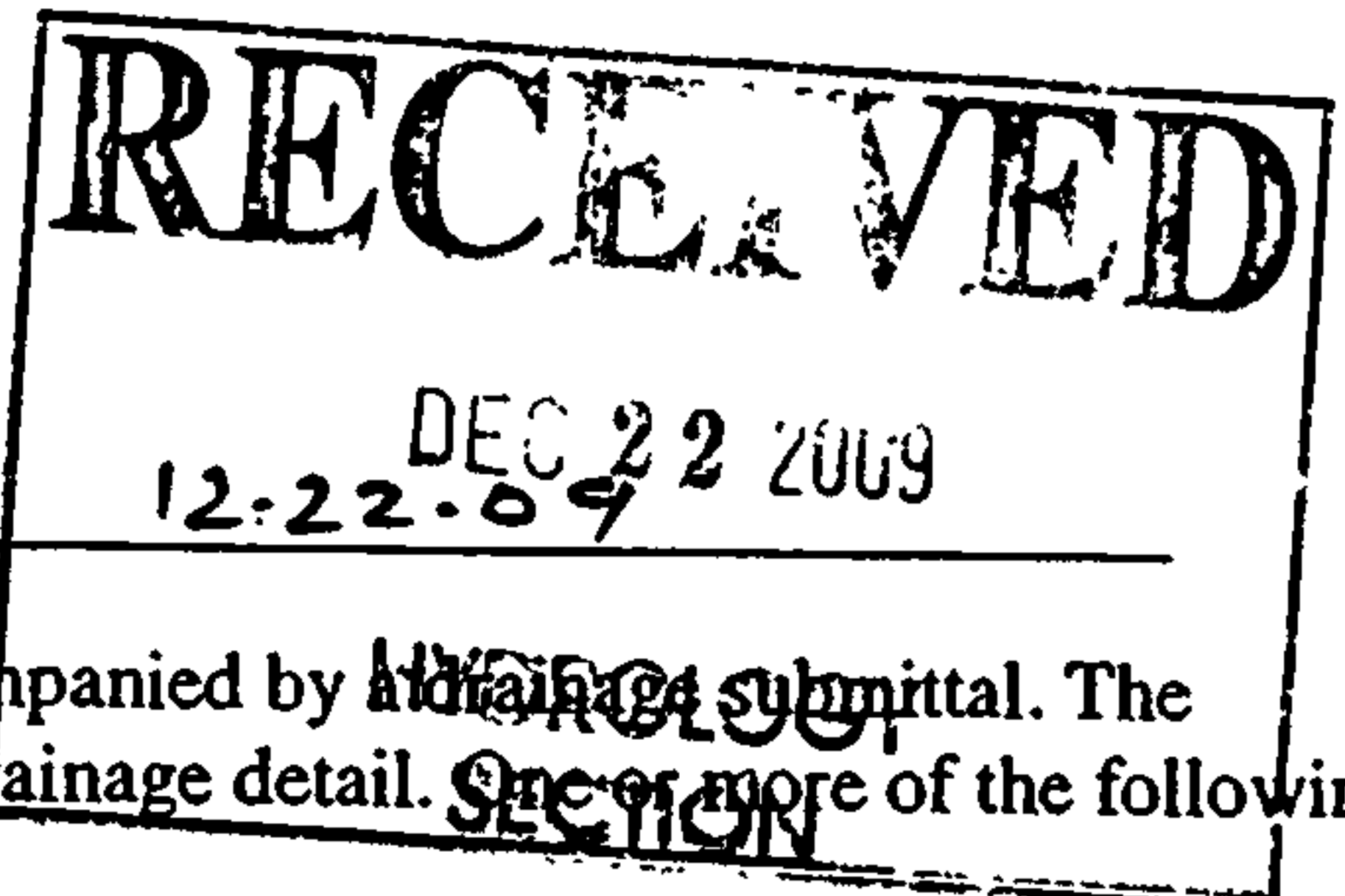
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: ERIN CHAVEZ DATE: 12-22-09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



December 23, 2009

Steven K. Marrow, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

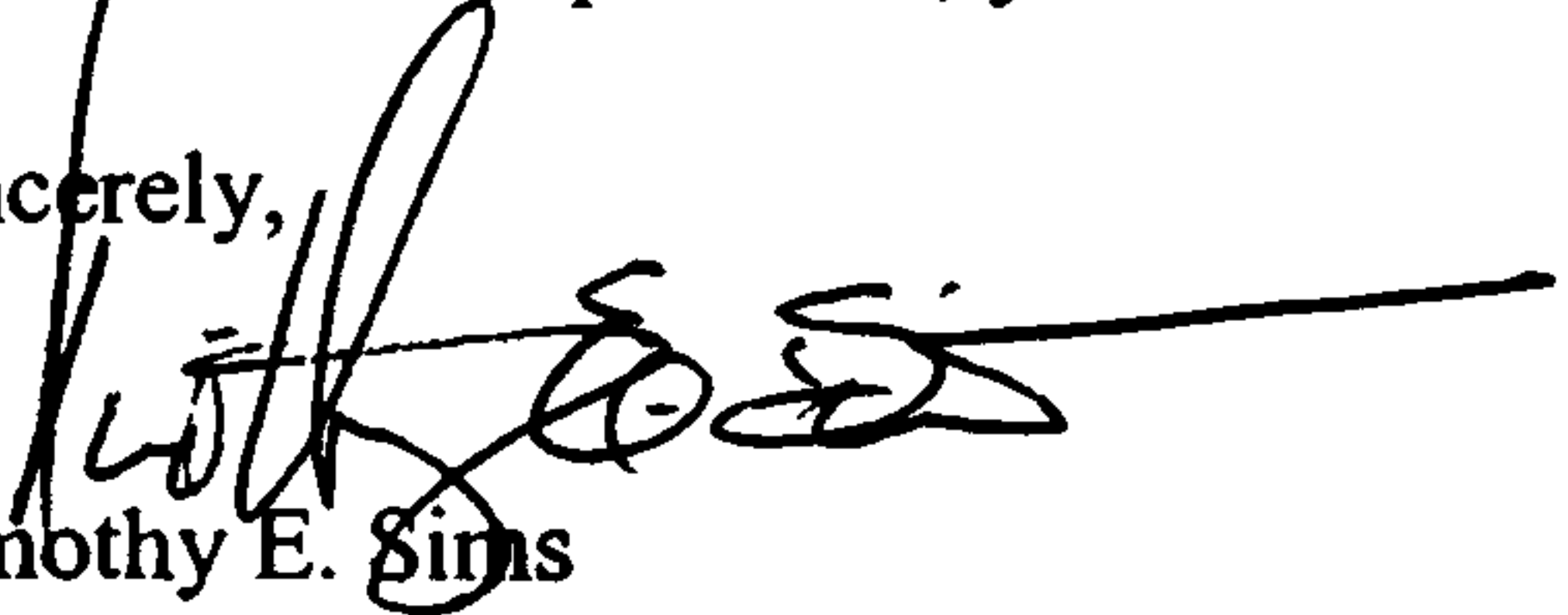
Re: IHOP Restaurant, 10605 Central Ave. NE,
Request for Permanent C.O.—Approved, (L-21/D040)
Engineer's Stamp Dated: 08-04-09,
Certification Date: 12-22-09

Dear Mr. Morrow,

Based upon the information provided in your submittal, dated 12/22/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,


Timothy E. Sims
Plan Checker-Hydrology, Planning Dept
Development and Building Services

C: CO Clerk—Katrina Sigala
file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



July 6, 2009

Dennis A Lorenz, P.E.
Brasher & Lorenz
2201 San Pedro NE
Albuquerque, NM 87110

Re: IHOP Restaurant, 10605 Central Ave NE Grading Plan
Engineer's Stamp date 6-16-09 (L21/D040)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 6-19-09, the above referenced plan is approved for Building Permit and SO-19 Permit for the 4" pipe drain through the curb if not done by Work Order. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz (SO-19 Permit), 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

CITY OF ALBUQUERQUE



August 18, 2009

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: IHOP Restaurant, 10605 Central Ave NE, Traffic Circulation Layout
Architect's Stamp dated 08-18-09 (L21-D040)

Dear Mr. Lorenz,

The TCL submittal received 08-18-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Please note, that while canopies may project into the right of way per the Great Streets Facility Plan, a revocable permit is still required (contact Jane Rael, 924-3992). A copy of the revocable permit must be provided to us prior to any Certificate of Occupancy approval.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C. File

CITY OF ALBUQUERQUE



December 23, 2009

Steven K. Morrow, P.E.
Brasher & Lorenz
2201 San Pedro NE Bldg 1, Ste. 1300
Albuquerque, NM 87110

Re: IHOP Resturant
10605 Central NE
Permanent Certificate of Occupancy – Transportation Development
Engineer's Stamp dated 12-22-09 (L-21/D040)

Dear Mr. Morrow,

PO Box 1293

Based upon the information provided in your submittal received 12-22-09, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy (C.O.).

Albuquerque

This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

NM 87103

If you have any questions, you can contact me at 924-3630.

www.cabq.gov

Sincerely,

Milo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: 140P Restaurant ZONE MAP/DRG. FILE # L21-D040
DRB#: 09DRB70192 EPC#: — WORK ORDER#: 773782

LEGAL DESCRIPTION: Tract A-2 Longfield Addition
CITY ADDRESS: 10605 Central NE

ENGINEERING FIRM: Brasher + Lorenz CONTACT: D. Lorenz
ADDRESS: 2201 San Pedro NE PHONE: 888-6088
CITY, STATE: Albq, NM ZIP CODE: 87110

OWNER: Esterra Development CONTACT: M. Rose
ADDRESS: 6691 E. Camelback RD PHONE: 480-945-2280
CITY, STATE: Scottsdale, AZ ZIP CODE: 85254

ARCHITECT: Fitch AIA CONTACT: K. Sullivan
ADDRESS: 16435 N. Scottsdale Rd PHONE: 480-998-4200
CITY, STATE: Scottsdale, AZ ZIP CODE: 85254

SURVEYOR: Brasher + Lorenz CONTACT: L. Martinez
ADDRESS: 2201 San Pedro NE PHONE: 888-6088
CITY, STATE: Albq, NM ZIP CODE: 87110

CONTRACTOR: Sunshine Construction Inc CONTACT: Joe Santangelo
ADDRESS: 257 Juan Tabo NE PHONE: 823-0855
CITY, STATE: Albq, NM ZIP CODE: 87123

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ CONCEPTUAL G & D PLAN
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- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER

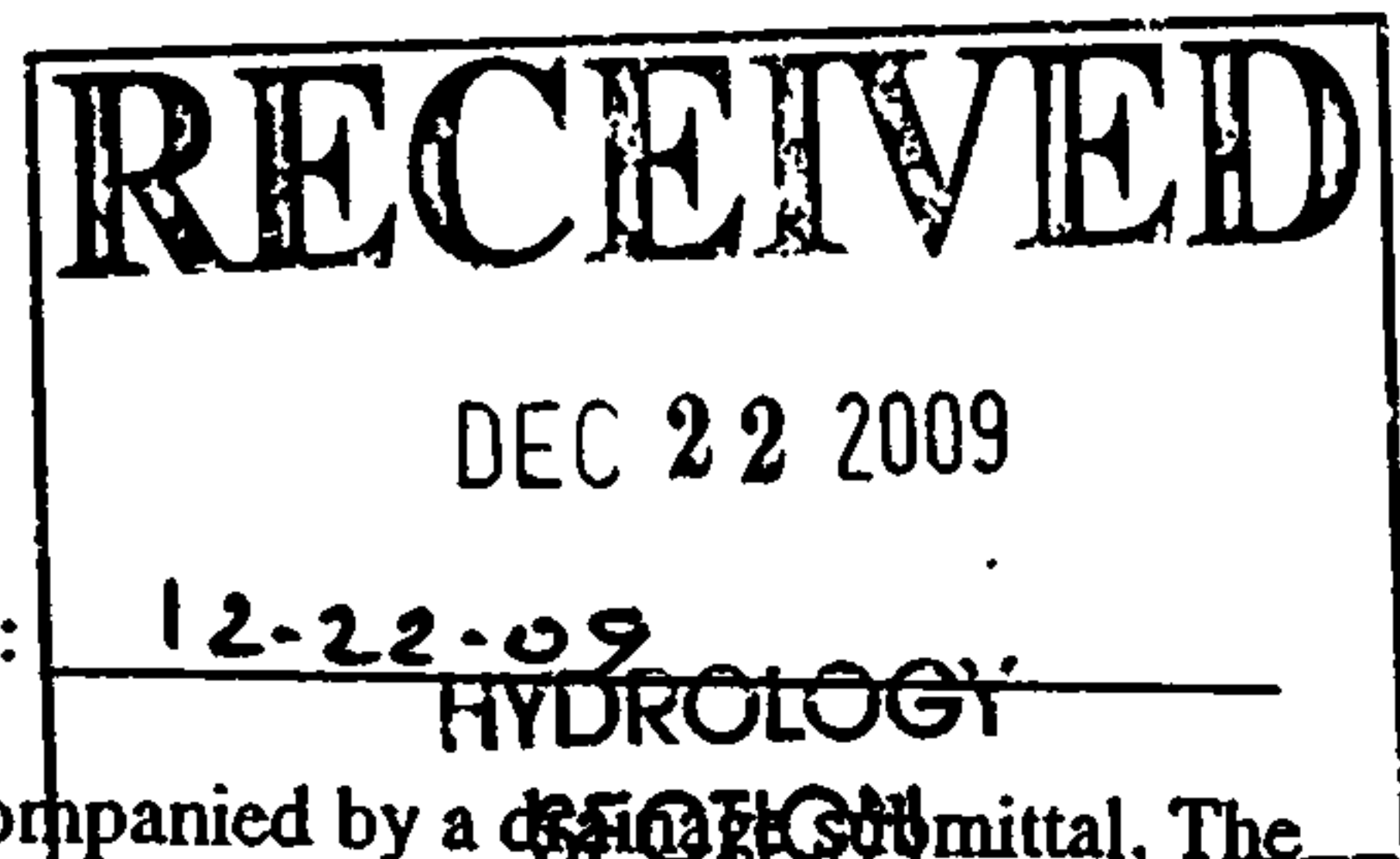
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

SUBMITTED BY: ERIN CHAVEZ DATE: 12-22-09



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CITY OF ALBUQUERQUE



August 11, 2009

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

**Re: IHOP Restaurant, 10605 Central Ave NE, Traffic Circulation Layout
Architect's Stamp dated 08-04-09 (L-21/D040)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 08-06-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

1. For passenger vehicles, the minimum end island radius is 15 feet.
2. Please note, that while canopies may project into the right of way per the Great Streets Facility Plan, a revocable permit is still required (contact Jane Rael, 924-3992). A copy of the revocable permit must be provided to us prior to any Certificate of Occupancy approval.
3. Clearly indicate the ADA accessible pathway from the handicapped parking spaces to the building. If the sidewalk is to be flush with the pavement in this area, it must be clearly noted on the plan.

If you have any questions, you can contact me at 924-3991.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

1007815
PROJECT TITLE: 1140P RESTAURANT ZONE MAP/DRG. FILE # L21-6040
DRB#: 09DRB70192 EPC#: — WORK ORDER#: 773782

LEGAL DESCRIPTION: TRACT A-2 LONGFIELD ADDITION
CITY ADDRESS: 10605 CENTRAL NE

ENGINEERING FIRM: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: D. LORENZ
PHONE: 888 6088
ZIP CODE: 87110

OWNER: ESTERPA DEVELOPMENT
ADDRESS: 6691 E. CAMELBACK RD
CITY, STATE: SCOTTSDALE AZ

CONTACT: M. ROSE
PHONE: 480-945-2280
ZIP CODE: 85254

ARCHITECT: FITCH AIA
ADDRESS: 16435 N. SCOTTSDALE RD
CITY, STATE: SCOTTSDALE, AZ

CONTACT: K. SULLIVAN
PHONE: 480-998-4200
ZIP CODE: 85254

SURVEYOR: BRASHER + LORENZ
ADDRESS: 2201 SAN PEDRO NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: L. MARTINEZ
PHONE: 888-6088
ZIP CODE: 87110

CONTRACTOR: UNKN.
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
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- ☐ OTHER

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- ☐ SIA/FINANCIAL GUARANTEE RELEASE
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY _____)

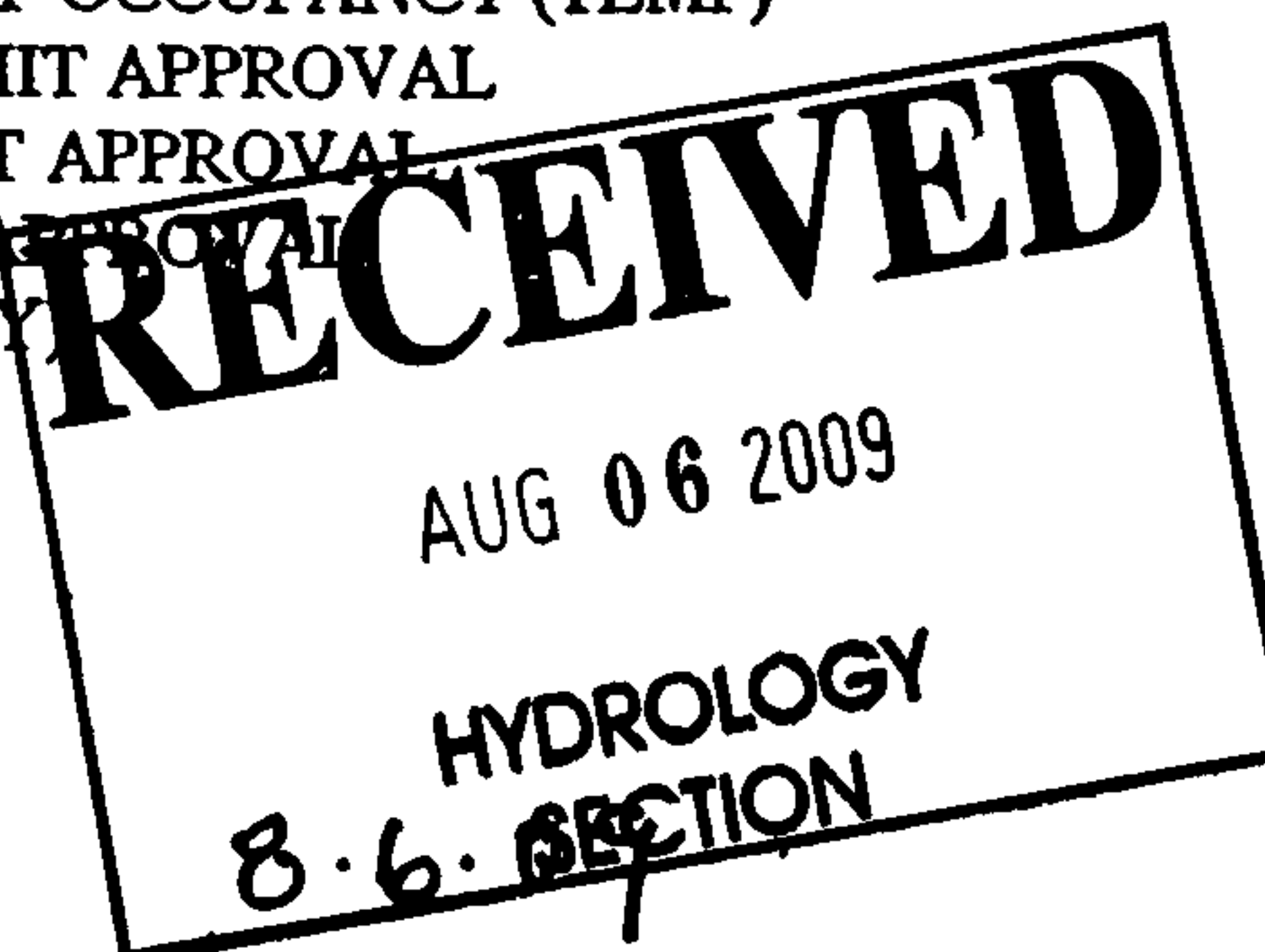
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: DENNIS LORENZ DATE: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



$R_{min} = 15'$

Please note, that while canopies
may project into the ROW per
the Great Streets Facility
Plan, ~~as~~ a Revocable Permit is
required.

CHAPTER V: STANDARDS AND GUIDELINES

8. Projections into Right-of-Way (formerly F.8. Chapter IV)

Building façade elements such as awnings, marquees, balconies, and arcades may project into the Frontage-Zone and the public right-of-way. Any building facade elements projecting into the public right-of-way require a Revocable Permit or an Air Rights agreement with the City. Utility company coordination is required to avoid conflicts with overhead utilities. All projections should meet or exceed requirements of the National Electric Safety Code. (See Coordination with Utilities)

The guidelines for all projections are as follows.

Awnings/Canopies

- Use awnings, canopies and arcades to provide shade and protection from rain and other inclement weather.
- Use awnings, canopies and arcades where Pedestrian Realm trees are not feasible in a mixed-use or commercially zoned area.
- Facade projections may protrude into the Frontage Zone and right-of-way. They may extend a maximum of 6 feet from the building facade, but must be a minimum of 8 feet above ground level.

Balconies

Balconies may protrude into the Frontage Zone and right-of-way. They may extend a maximum of 6 feet from the building façade, but must be a minimum of 10 feet above ground level.

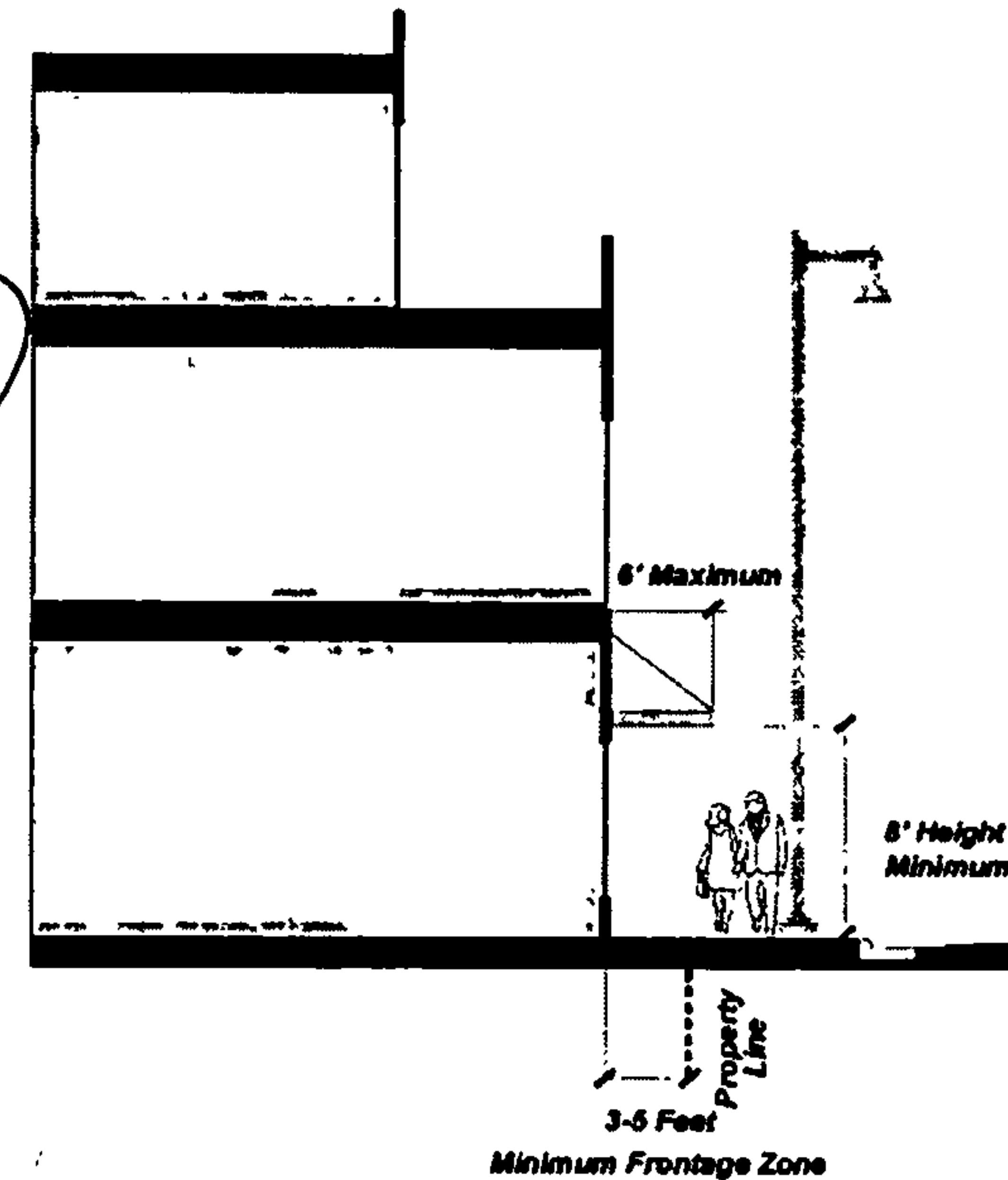


Figure 42. Awnings, and canopies

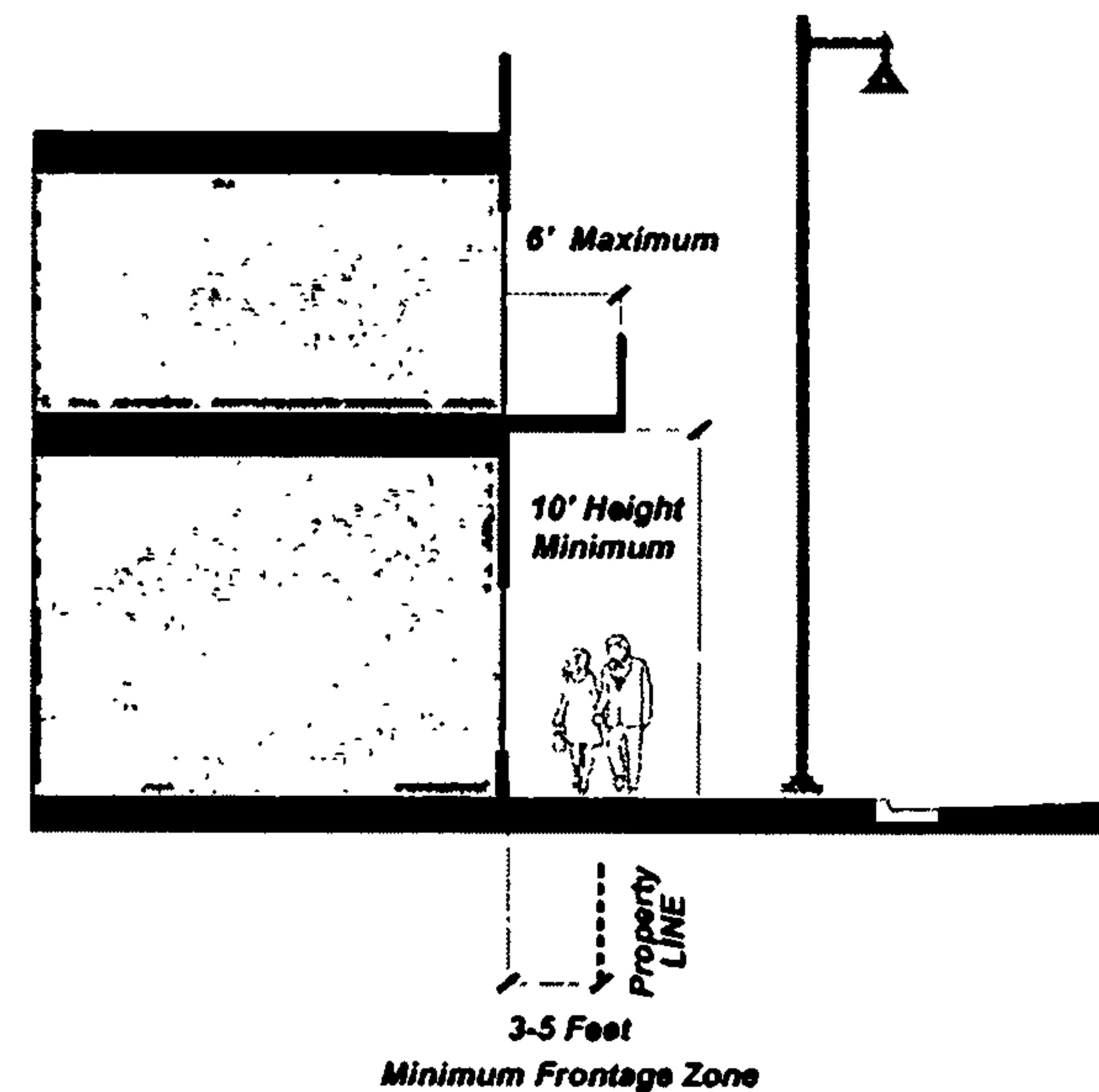


Figure 43. Balconies



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1300 • Albuquerque, NM 87110 • Phone (505) 888-6088 • Fax (505) 888-6188 • www.brasherlorenz.com

August 6, 2009

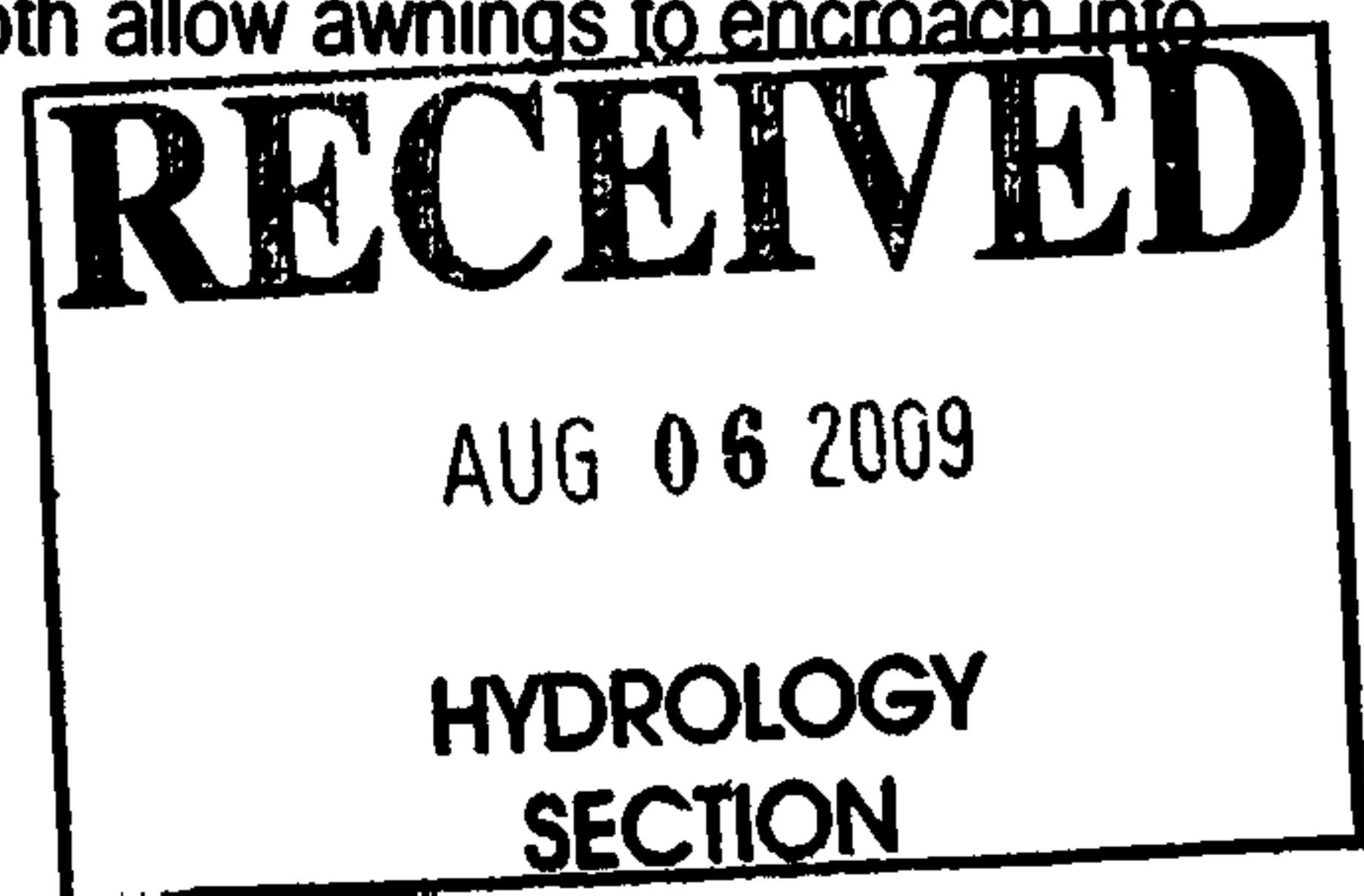
Nilo Salgado-Fernandez, PE
Senior Engineer, Planning Department
Development and Building Services
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87103

SUBJECT: IHOP RESTAURANT
10605 Central Ave NE
Map Zone L-21

Dear Nilo:

Submitted herewith for approval are two (2) copies of the TCL, which is now included in the Building Permit Planset submitted to Code Administration. The comments listed in your letter dated July 28, 2009 are addressed as follows:

1. A Site Plan – TCL is provided for your review and is included in the Building Permit Planset.
2. The Plan is fully dimensioned including curb radii.
3. Although the end islands are narrow, the minimum 15' turning radii are provided as shown on the Plan.
4. All parking spaces are dimensioned.
5. The nearest existing driveway is shown on the Plan.
6. A vicinity map is provided on the Plan.
7. The required and provided parking space totals are given on the Plan.
8. All handicap spaces comply with the code.
9. All handicap accessible isles comply with the code.
10. Handicap ramps are not to be provided. Gentle site grades allow the asphalt to slope up the match top of sidewalk, thus eliminating the need for ramps. Concrete tire stops will be provided at the parking spaces.
11. Two (2) copies of the TCL are provided for your review.
12. All sidewalks are dimensioned.
13. City standard drawings are referenced where necessary.
14. The project entry has been widened to 36' FF.
15. The curb and gutter, valley gutter and handicap ramps within City ROW are to be constructed by COA Project No. 773787.
16. The heavy vehicle path is identified on the Plan.
17. The East Central Sector Plan and Great Streets Facility Plan both allow awnings to encroach into public ROW (see attached).



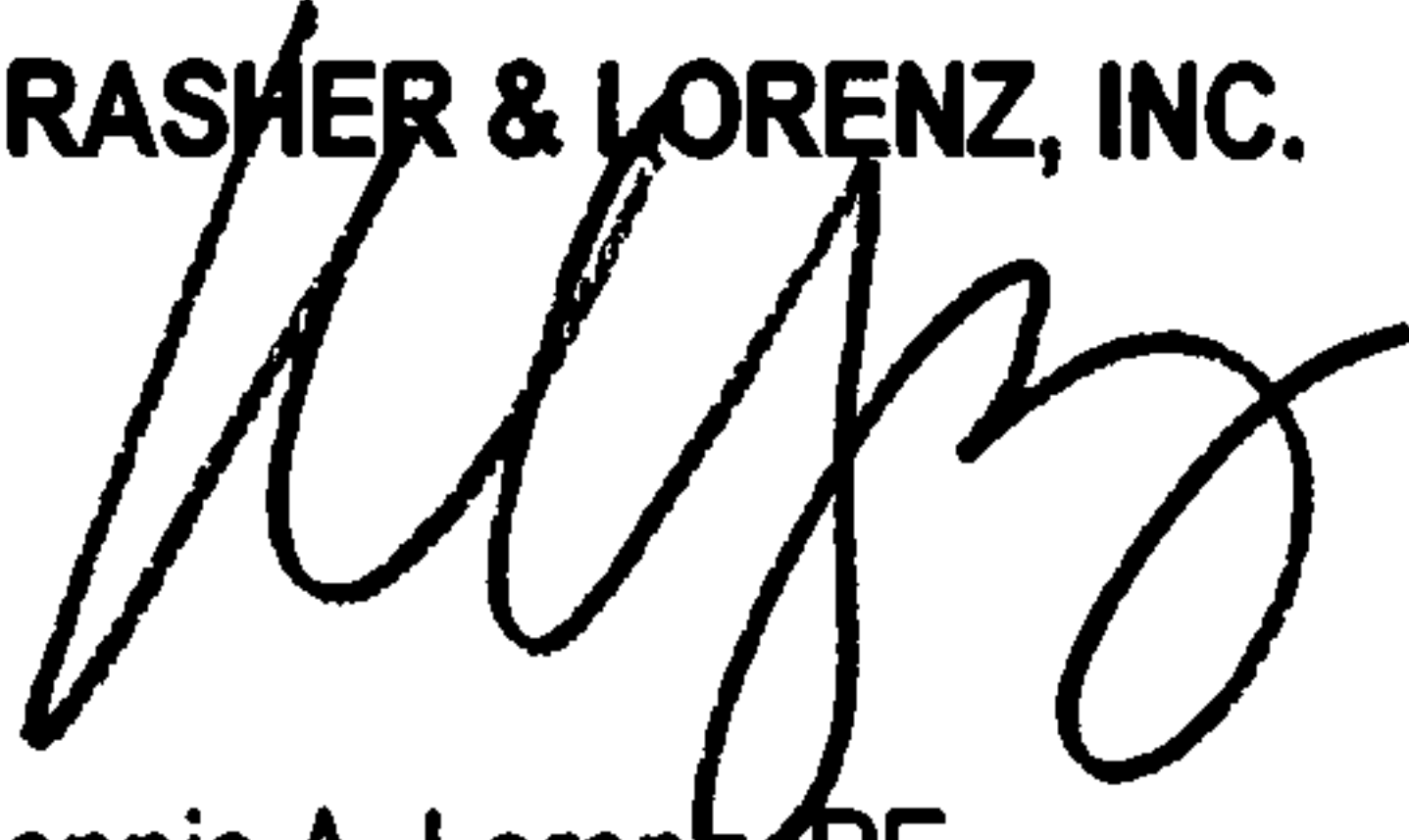
Nilo Salgado-Fernandez
IHOP TCL
8/6/2009

18. The Legend has been updated to reflect Plan elements.
19. The throat depth is dimensioned (55').
20. The area on the east side of the building is motorcycle parking. Signage is to be provided.

If you have any questions or concerns please call me.

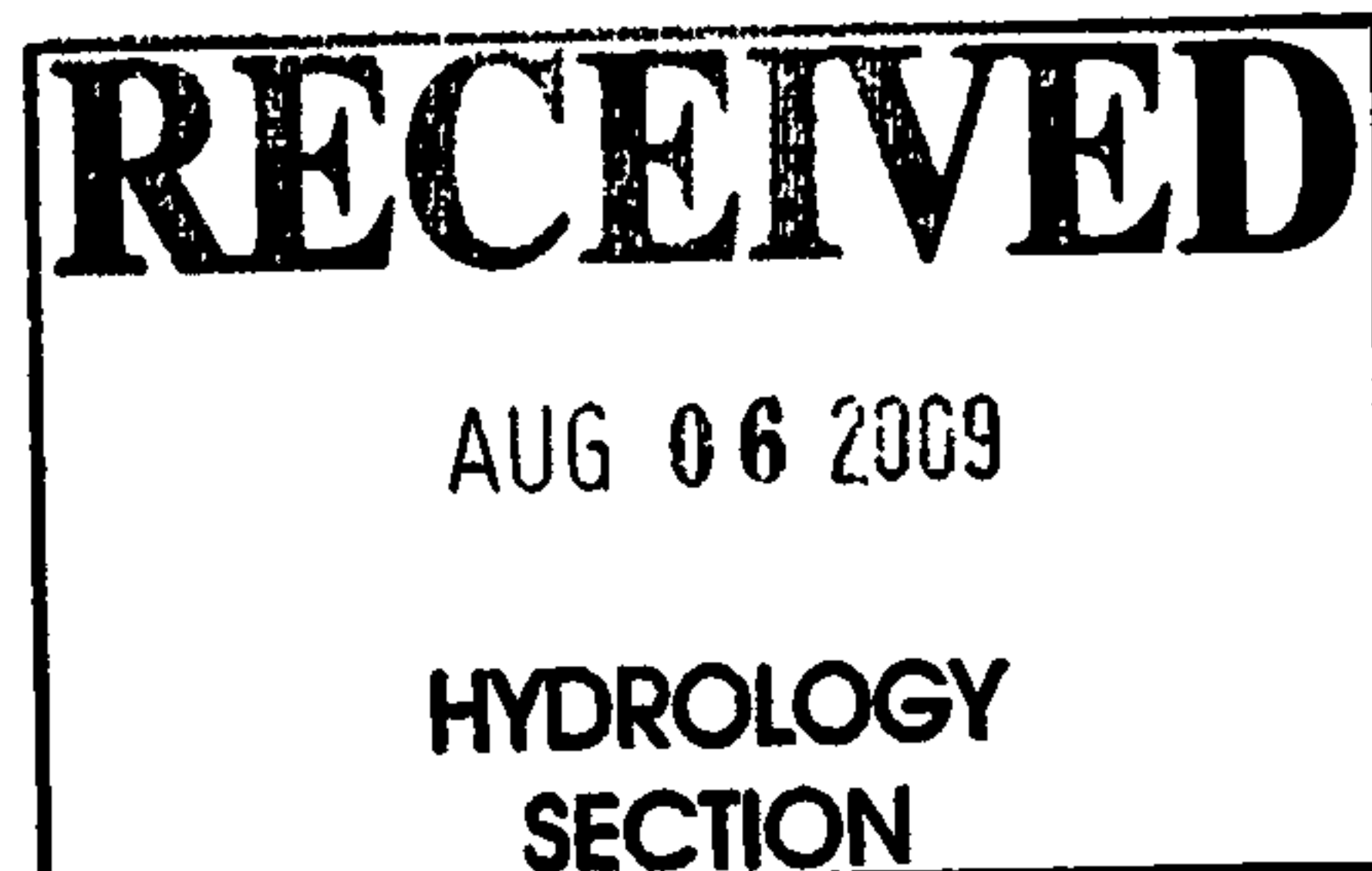
Sincerely,

BRASHER & LORENZ, INC.



Dennis A. Lorenz, PE
Principal

/dl/09527
encl



TRANSMISSION VERIFICATION REPORT

TIME : 07/28/2009 14:55
NAME :
FA# : 9243864
TEL : 5059243979
SER.# : BR0L6J570919

DATE, TIME
FAX NO./NAME
DURATION
PAGE(S)
RESULT
MODE

07/28 14:54
98886188
00:00:21
02
OK
STANDARD
ECM

CITY OF ALBUQUERQUE



July 28, 2009

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

Re: IHOP Restaurant, 10605 Central Ave NE, Traffic Circulation Layout
Architect's Stamp dated 6-17-09 (L-21/D040)

Dear Mr. Lorenz,

Based upon the information provided in your submittal received 7-27-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

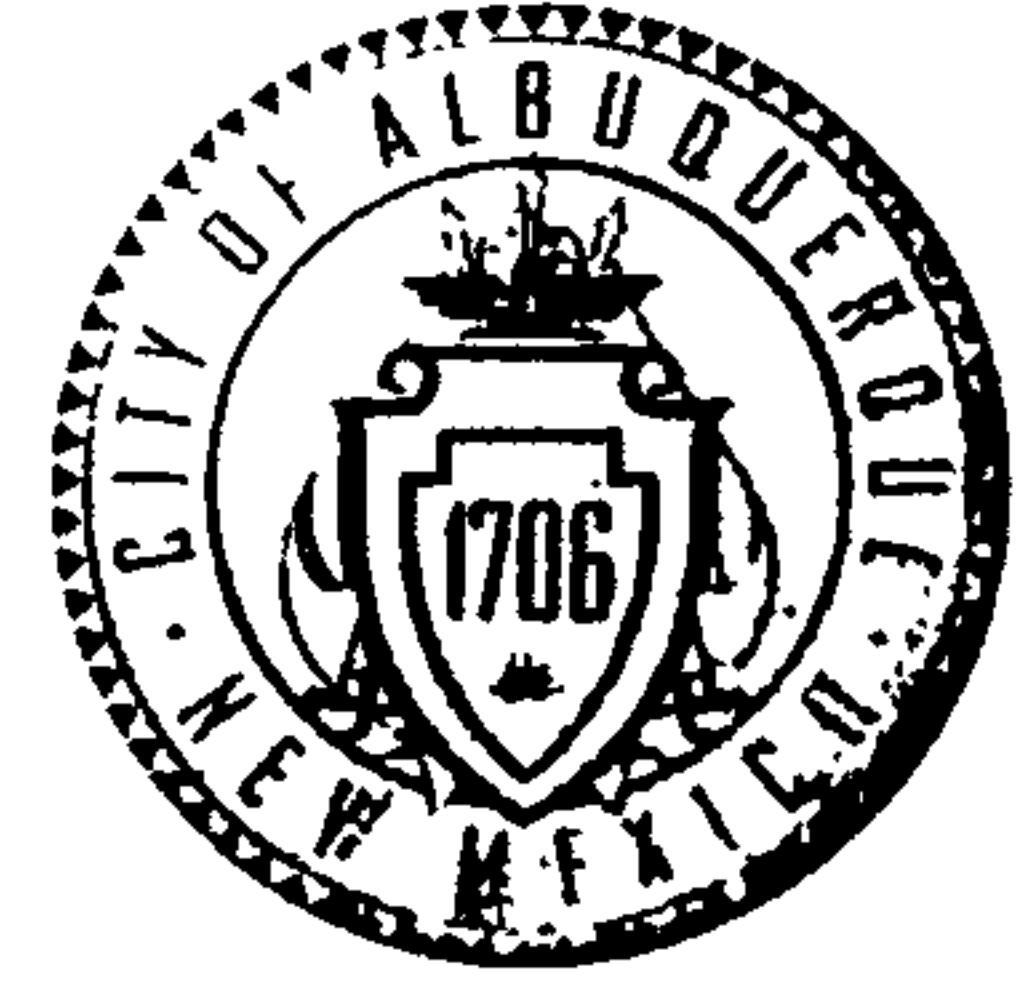
PO Box 1293

Albuquerque

NM 87103

1. All Traffic Circulation Layout information will need to be on one sheet labeled Site Plan "TCL."
2. List radii for all curves shown.
3. For passenger vehicles, the minimum end island radius is 15 feet.
4. Please list the width and length for all parking spaces.
5. Please show the location of the nearest driveway on the adjacent lot.
6. Please show a vicinity map.
7. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
8. The handicapped spaces must be a minimum of 8.5 feet in width.

CITY OF ALBUQUERQUE



July 28, 2009

Dennis A. Lorenz, P.E.
Brasher & Lorenz Consulting Engineers
2201 San Pedro NE Bldg 1 Ste. 1300
Albuquerque, NM 87110

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Architect's Stamp dated 6-17-09 (L-21/D040)

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PO Box 1293

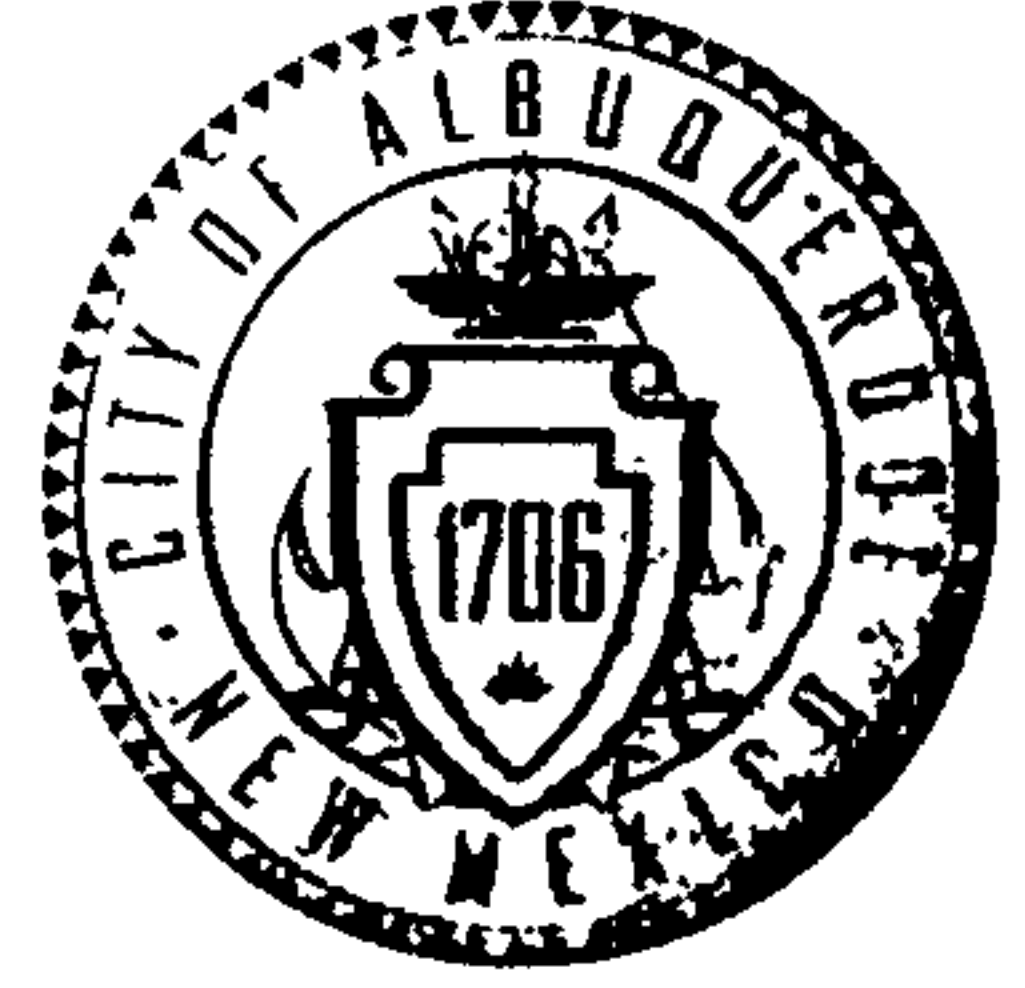
Albuquerque

NM 87103

www.cabq.gov

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2. List radii for all curves shown.
3. For passenger vehicles, the minimum end island radius is 15 feet.
4. Please list the width and length for all parking spaces.
5. Please show the location of the nearest driveway on the adjacent lot.
6. Please show a vicinity map.
7. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
8. The handicapped spaces must be a minimum of 8.5 feet in width.
9. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
10. Include a detail for the wheelchair ramps at the ADA parking. Ensure three feet is allotted at the top of the ramp.
11. Please include two copies of the traffic circulation layout at the next submittal.
12. Define the width of all sidewalks. Also, show the sidewalk transitions to the existing sidewalks.
13. Please refer to all applicable city standards.
14. If the site has left turn access, the drivepad has a 36-foot minimum width. Since Central Avenue is an arterial roadway, drives with left-turn access requires a minimum 36' feet in width(see the *Development Process Manual*, Chapter 23, Section 6, Part A.1).

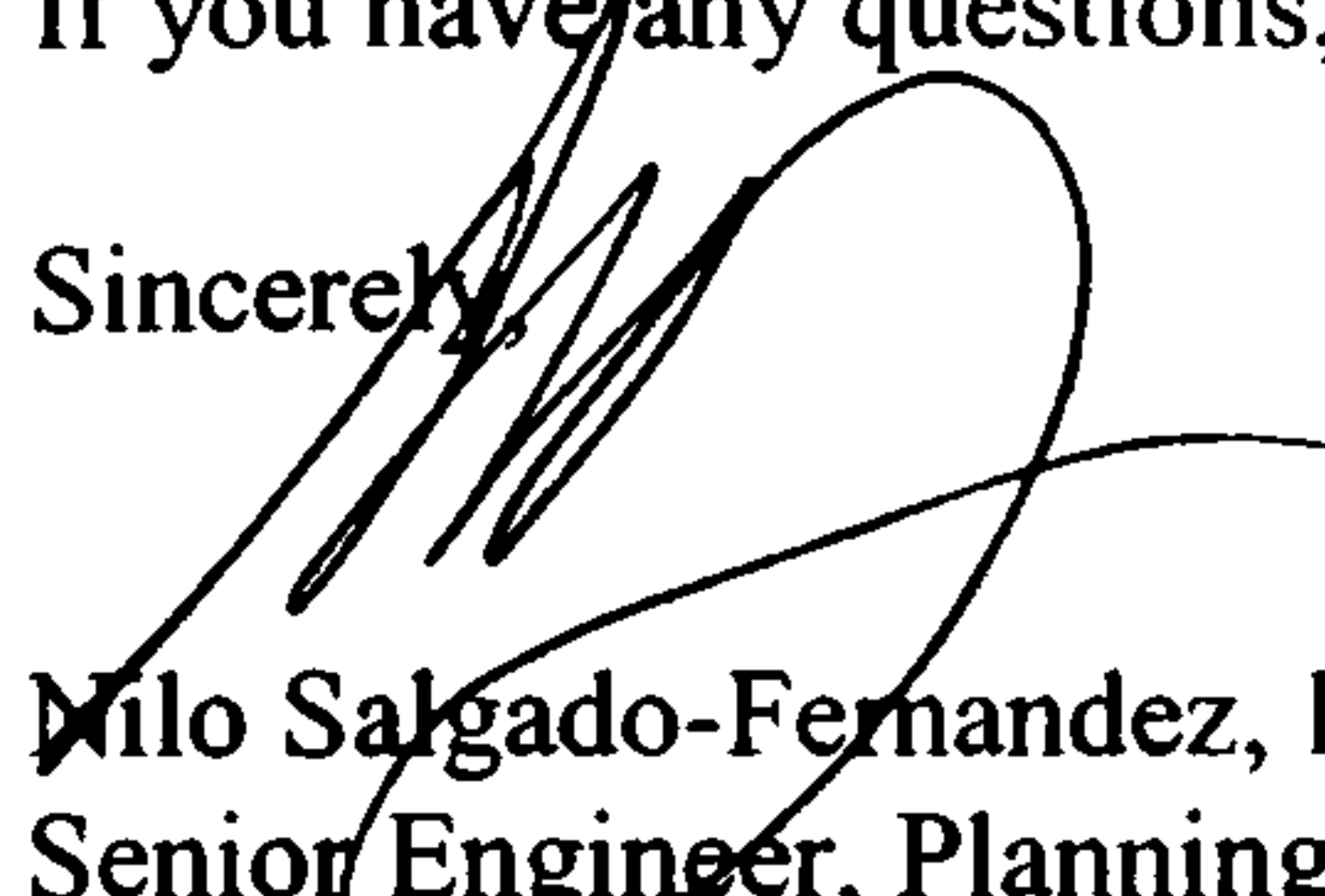
CITY OF ALBUQUERQUE



15. Work within the public right of way requires a work order with DRC approved plans. Please indicate what portions of this site will be constructed under work order. Also, include the work order number.
16. Indicate the heavy vehicle pathway.
17. Is keyed Note 17 allowed to encroach into the sidewalk easement?
18. Provide a legend of all hatching.
19. Call out the throat depth for the entryway. This should be a minimum of 50 feet.
20. Please clarify what is on the eastside of the building. Is this area for compact or motorcycle parking?

If you have any questions, you can contact me at 924-3630.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

PO Box 1293

Albuquerque

C: File

NM 87103

www.cabq.gov



2129 OSUNA ROAD NE, SUITE 200
ALBUQUERQUE, NEW MEXICO 87113
(505) 345-3115
FAX (505) 345-4132

Bernie J. Montoya, CE
Engineer Associate
City of Albuquerque - Hydrology Section
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: RTI File No: 93-230

Dear Mr. Montoya:

This letter is in response to your comments dated August 11, 1993 (L21-D40) for 10605 Central Ave. Comments two, three, four, six, seven, and eight have been addressed on the revised grading and drainage plan. As requested, we are providing additional information for the remaining comments and they are as follows:

Comment 1. The proposed pond has been designed with an overflow weir section located on the west property line. Two(2)-1/2 hp submersible pumps will pump water from the pond to an existing drop inlet on Central Ave. The overflow weir section is at elevation 5472.5. The pond will retain a volume equivalent to the future condition 100-Year 24-Hour rainfall volume and discharge it to the Central Ave. Storm Drain with a maximum water surface elevation of 5472.5 (See Attached AHYMO Summary). The remaining off-site water will then be discharged as sheet flow over the overflow weir section and onto the adjacent lot at a flow rate slightly less than the existing condition flow rate.

Comment 2. See grading and drainage plan

Comment 3. See grading and drainage plan

Comment 4. See grading and drainage plan

Comment 5. Enclosed with this letter is the rating curve for the riser that will be utilized in our design.

Comment 6. See grading and drainage plan

Comment 7. See grading and drainage plan

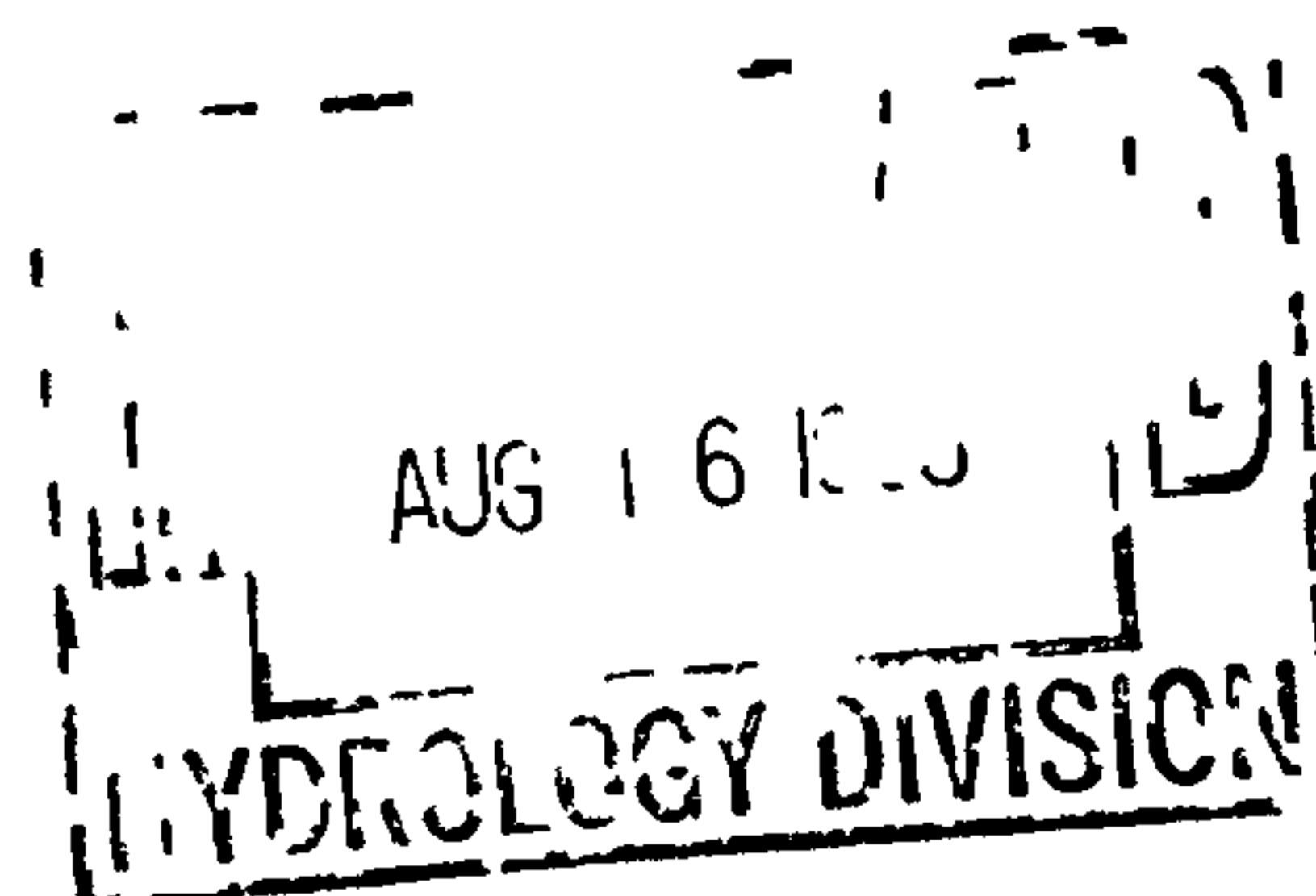
Comment 8. See grading and drainage plan

Comment 9. The proposed pumps will drain the pond in 15.50 hours.

If you have any questions, please feel free to call me at 345-3115.

RESOURCE TECHNOLOGY, INC.


Don Dixon, P.E.



DRAINAGE INFORMATION SHEET

PROJECT TITLE: 10605 CENTRAL AVE. N.E.
GRADING & DRAINAGE ZONE ATLAS/DRAINAGE FILE # L-21/040

LEGAL DESCRIPTION: TRAIL 4, WHITING BRO

CITY ADDRESS: 10605 CENTRAL AVE. N.E.

ENGINEERING FIRM: RESOURCE TECHNOLOGY, INC. CONTACT: GREG CLARKE

ADDRESS: 2129 OSUNA RD. SUITE 200 PHONE: 345-3115

OWNER: GREG CARABASIL - AFFORDABLE HOMES CONTACT: GREG CARABASIL

ADDRESS: 11412 CENTRAL S.E. PHONE: 294-7795

ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: RESOURCE TECHNOLOGY, INC. CONTACT: S.A.A.

ADDRESS: S.A.A. PHONE: S.A.A.

CONTRACTOR: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☒ YES ORB. NO. _____

☐ NO EPC NO. _____

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SECTOR PLAN APPROVAL

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

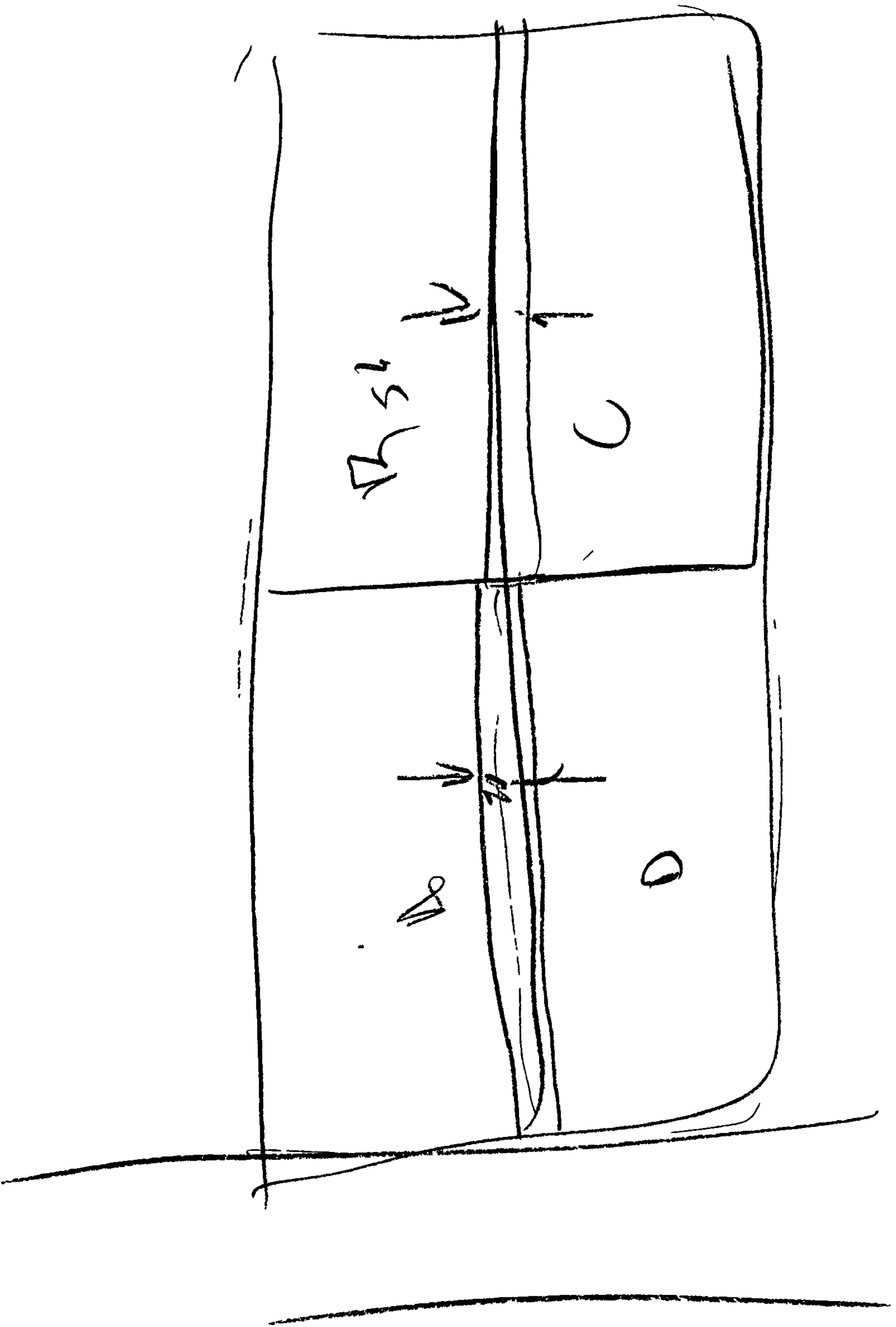
☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 7/29/93

BY: Greg C. Clarke



TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS
2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : COA- HYDROLOGY

From : GREG CLARKE

Date : 7/29/93

Attn : BERNIE MONTANA

Our Project No. : 93-230

Re : 10605 CENTRAL AVE. GRADING + DRAINAGE

WE TRANSMIT THE FOLLOWING :

☐ SHOP DRAWINGS

☐ SPECIFICATIONS

☐ CHANGE ORDER

☒ PRINTS

☐ COPY OF LETTER

☐ UNDER SEPARATE COVER VIA _____

☐ DOCUMENTS

☐ _____

FOR YOUR :

☒ APPROVAL

☐ DISTRIBUTION TO PARTIES

☐ REVIEW & COMMENT

☐ RECORD

☐ USE

☐ INFORMATION

IF MATERIAL RECEIVED IS NOT AS LISTED,
PLEASE NOTIFY US AT ONCE.

COPIES	DATE	ITEM DESCRIPTION
1	7/28/93	PRINT OF GRADING AND DRAINAGE PLAN FOR YOUR APPROVAL
1	7/29/93	DRAINAGE INFORMATION SHEET
1	7/13/93	COPY OF PRE-DESIGN MEETING

Remarks : _____

JUL 29 1993

Copy To : _____

345-3115

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L-21 DATE: 7/13/93 9:00 am
EPC NO.: _____ DRB NO.: _____ ZONE: _____
SUBJECT: _____
STREET ADDRESS: 10605 East Central
LEGAL DESCRIPTION: TRACT B

APPROVAL REQUESTED: ☐ PRELIMINARY PLAT ☐ FINAL PLAT
 ☐ SITE DEVELOPMENT PLAN ☐ BUILDING PERMIT
 ☒ GRADING/PAVING PERMIT ☐ OTHER

WHO	REPRESENTING
ATTENDANCE: <u>DON DIXON</u>	<u>Resource Technology</u>
<u>MIKE KIRBY</u>	<u>Resource Technology</u>
<u>BERNIE MONTGOMERY</u>	<u>City of Albuquerque</u>

FINDINGS:

1. Drainage plan per D.P.M. guidelines required prior to Grading/Paving plan approval.
2. Site is not located within a designated floodzone nor does it contribute to downstream flooding.
3. There is an existing 66" R.C.P. on Central with inlets on both sides of the street.
4. Free discharge onto to Central thru an approved driveway is acceptable.
5. Phasing plan for Phase I & II Recommend that a master plan for both phases be done immediately therefore future approval for Phase II will not be held up.

RECEIVED
JUL 29 1993

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: [Signature]
TITLE: Engineer
DATE: 7/13/93

SIGNED: [Signature]
TITLE: Engineer Associate
DATE: 7/13/93

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: 10605 CENTRAL AVE. GRADING + DRAINAGE ZONE ATLAS/DRAINAGE FILE # L-21/D 40

LEGAL DESCRIPTION: TRACT 4, WHITING BROS.

CITY ADDRESS: 10605 CENTRAL AVE. N.E.

ENGINEERING FIRM: RESOURCE TECHNOLOGY, INC.

CONTACT: GREG CLARKE

ADDRESS: 2129 OSUNA RD. SUITE 200

PHONE: 345-3115

OWNER: GREG CARABASAL - AFFORDABLE HOMES

CONTACT: GREG CARABASAL

ADDRESS: 11412 CENTRAL AVE. S.E.

PHONE: 294-7795

ARCHITECT: N/A

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: RESOURCE TECHNOLOGY, INC.

CONTACT: S.A.A.

ADDRESS: S.A.A.

PHONE: S.A.A.

CONTRACTOR: N/A

CONTACT: _____

ADDRESS: _____

PHONE: _____

PRE-DESIGN MEETING:

☒ YES

DRB NO. _____

☐ NO

EPC NO. _____

☐ COPY OF CONFERENCE
RECAP SHEET PROVIDED

PROJECT NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAIN PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

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☐ SECTOR PLAN APPROVAL

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☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY
APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☒ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 8/13/93

BY: GREG C. CLARKE

TRANSMITTAL


Resource Technology, Inc.
ENGINEERS AND ENVIRONMENTAL SCIENTISTS

2129 Osuna Road NE, Suite 200
Albuquerque, NM 87113
(505) 345-3115

To : COA - HYDROLOGY

From : GREG CLARKE

Attn : BERNIE J. MONTDYA

Date : 8/13/93

Re : 10605 CENTRAL AVE. G+O PLAN

Our Project No. : 93-230

WE TRANSMIT THE FOLLOWING :

☐ SHOP DRAWINGS

☐ SPECIFICATIONS

☐ CHANGE ORDER

☒ PRINTS

☒ COPY OF LETTER

☐ UNDER SEPARATE COVER VIA _____

☐ DOCUMENTS

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☐ DISTRIBUTION TO PARTIES

☐ REVIEW & COMMENT

☐ RECORD

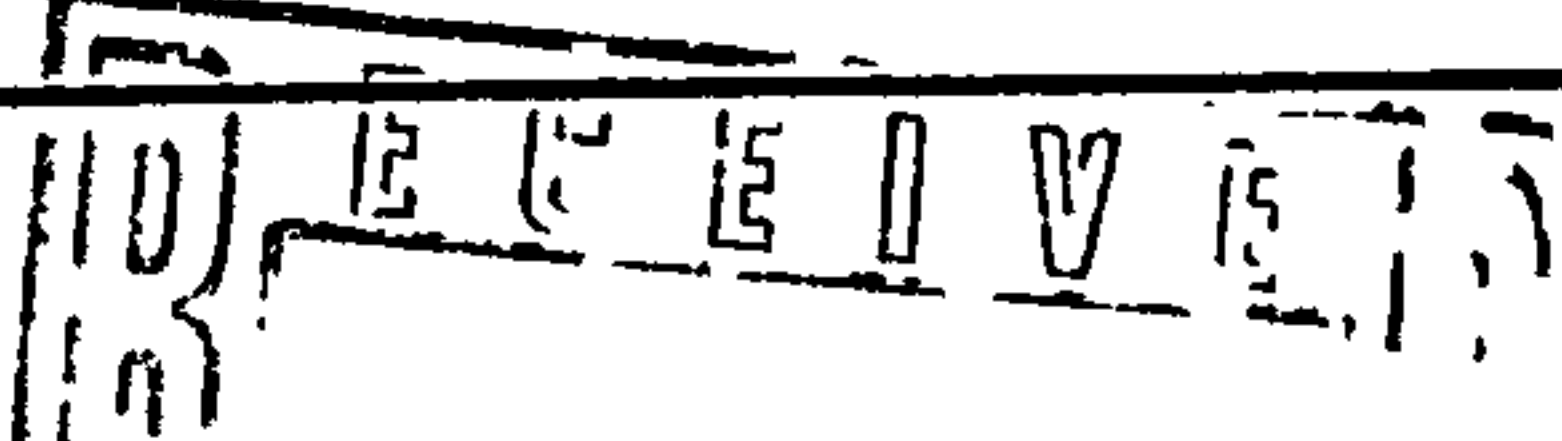
☐ USE

☐ INFORMATION

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COPIES	DATE	ITEM DESCRIPTION
1	8/13/93	REVISED PRINT OF GRADING AND DRAINAGE PLAN FOR YOUR APPROVAL
1	8/13/93	DRAINAGE INFORMATION SHEET
1	8/13/93	LETTER
1	8/13/93	ANYMO 392 PRINTOUTS

Remarks : _____


AUG 16 1993

Copy To : _____

345-3115

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: L-21 DATE: 7/12/93 9:00 am

EPC NO.: _____ DRB NO.: _____ ZONE: _____

SUBJECT: _____

STREET ADDRESS: 10605 East Central

LEGAL DESCRIPTION: TRACT B

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
☒ GRADING/PAVING PERMIT _____ OTHER _____

WHO	REPRESENTING
ATTENDANCE: <u>DON DIXON</u>	<u>Resource Technology</u>
<u>MIKE KIRBY</u>	<u>Resource Technology</u>
<u>BERNIE MONTAÑO</u>	<u>City of Albuquerque</u>

FINDINGS:

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4. Free discharge onto to Central thru an approved driveway is acceptable.
5. Phase I & II plan for Phase I & II Recommend that a master plan for both phases be done immediately therefore future approval for Phase II will not be held up.

B112 16-100

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Don Dixon
TITLE: Engineer
DATE: 7/13/93

SIGNED: Bernie Montano
TITLE: Engineer Associate
DATE: 7/13/93

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.

$\alpha = .133686\text{HR}$ $TF = .133330\text{HR}$ $\alpha \cdot TF \text{ RATIO} = 1.002670$ $\text{SHAPE CONSTANT, N} = 3.520804$
 $\text{UNIT PEAK} = .98556\text{E-01CFS}$ $\text{UNIT VOLUME} = .8724$ $B = 321.84$ $P60 = 2.1400$
 $\text{AREA} = .000040 \text{ SQ MI}$ $IA = .50000 \text{ INCHES}$ $INF = 1.25000 \text{ INCHES PER HOUR}$
 $\text{RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD} - DT = .050000$

* SUB-BASIN 920 ON-SITE FLOWS TO BE ADDED TO BASIN 900

PRINT HYD

ID=6, CODE=1

HYDROGRAPH FROM AREA 930.00

ON-SITE AND OFF-SITE
FLOWS ROUTED THROUGH
POND.

$\text{RUNOFF VOLUME} = 2.76034 \text{ INCHES} = .1178 \text{ ACRE-FEET}$
 $\text{PEAK DISCHARGE RATE} = 2.48 \text{ CFS AT } 1.500 \text{ HOURS}$ $\text{BASIN AREA} = .0008 \text{ SQ. MI.}$

*C COMBINE HYD.'S 920 AND 900

ADD HYD ID=5 HYD=920.8 ID I=4 ID II=1

PRINT HYD ID=5 CODE=1

HYDROGRAPH FROM AREA 920.80

$\text{RUNOFF VOLUME} = 2.47853 \text{ INCHES} = .2796 \text{ ACRE-FEET}$
 $\text{PEAK DISCHARGE RATE} = 6.15 \text{ CFS AT } 1.500 \text{ HOURS}$ $\text{BASIN AREA} = .0021 \text{ SQ. MI.}$

*C COMBINE HYD.'S 920.8 AND 910

ADD HYD ID=3 HYD=910.8 ID I=5 ID II=2

PRINT HYD ID=3 CODE=1

HYDROGRAPH FROM AREA 910.80

$\text{RUNOFF VOLUME} = 2.36508 \text{ INCHES} = .8830 \text{ ACRE-FEET}$
 $\text{PEAK DISCHARGE RATE} = 19.98 \text{ CFS AT } 1.500 \text{ HOURS}$ $\text{BASIN AREA} = .0070 \text{ SQ. MI.}$

ROUTE RESERVOIR	ID=4 HYD NO=900.8	INFLOW ID=3	CODE=1
	OUTFLOW (cfs)	STORAGE (ac-ft)	ELEV (ft)
	.23	0	70.0
	.24	.005	70.5
	.25	.024	70.9
	.26	.030	71.0
	.27	.070	71.5
	.28	.109	72.0
	.29	.163	72.5
	23.33	.218	73.0
	66.00	.288	73.5
	121.25	.358	74.0

* * * * *

TIME INFLOW ELEV VOLUME OUTFLOW

.00	.00	53.50	-.115	.00
.05	.00	70.00	.000	.23
.10	.00	70.00	.000	.23
.15	.00	70.00	.000	.23
.20	.00	70.00	.000	.23
.25	.00	70.00	.000	.23
.30	.00	70.00	.000	.23
.35	.00	70.00	.000	.23
.40	.00	70.00	.000	.23
.45	.00	70.00	.000	.23
.50	.00	70.00	.000	.23
.55	.00	70.00	.000	.23
.60	.00	70.00	.000	.23
.65	.00	70.00	.000	.23
.70	.00	70.00	.000	.23
.75	.00	70.00	.000	.23
.80	.00	70.00	.000	.23
.85	.00	70.00	.000	.23
.90	.01	70.00	.000	.23
.95	.09	70.00	.000	.23
1.00	.22	70.00	.000	.23
1.05	.33	70.00	.000	.23
1.10	.39	70.03	.000	.23
1.15	.45	70.10	.001	.23
1.20	.85	70.28	.003	.24
1.25	1.93	70.55	.008	.24
1.30	4.02	70.79	.019	.25
1.35	7.48	71.14	.042	.26
1.40	12.31	71.64	.081	.27
1.45	17.64	72.31	.142	.29
1.50	19.98	72.77	.193	12.77
1.55	17.59	72.89	.206	18.35
1.60	13.74	72.84	.200	15.86
1.65	10.67	72.77	.192	12.56
1.70	9.01	72.71	.186	10.13
1.75	7.79	72.68	.183	8.53
1.80	6.90	72.66	.180	7.43
1.85	6.19	72.64	.178	6.61
1.90	5.56	72.62	.176	5.93
1.95	5.01	72.61	.175	5.33
2.00	4.52	72.60	.174	4.81
2.05	4.00	72.59	.173	4.30
2.10	3.13	72.57	.171	3.62
2.15	2.24	72.55	.169	2.75
2.20	1.67	72.54	.167	2.01
2.25	1.34	72.53	.166	1.54
2.30	1.13	72.52	.165	1.25
2.35	.97	72.52	.165	1.06
2.40	.84	72.51	.164	.92
2.45	.74	72.51	.164	.80
2.50	.65	72.51	.164	.70
2.55	.57	72.51	.164	.62
2.60	.51	72.51	.164	.55
2.65	.45	72.50	.163	.49
2.70	.41	72.50	.163	.44
2.75	.37	72.50	.163	.39
2.80	.33	72.50	.163	.35
2.85	.31	72.50	.163	.32
2.90	.28	72.50	.163	.30
2.95	.26	72.50	.163	.29
3.00	.25	72.50	.163	.29
3.05	.23	72.50	.163	.29
3.10	.22	72.49	.162	.29
3.15	.20	72.49	.162	.29

3.25	.17	72.46	.161	.29
3.30	.18	72.48	.151	.29
3.35	.18	72.47	.160	.29
3.40	.17	72.47	.160	.29
3.45	.17	72.47	.159	.29
3.50	.16	72.46	.159	.29
3.55	.16	72.46	.158	.29
3.60	.15	72.45	.158	.29
3.65	.15	72.45	.157	.29
3.70	.15	72.44	.157	.29
3.75	.15	72.44	.156	.29
3.80	.15	72.43	.155	.29
3.85	.14	72.42	.155	.29
3.90	.14	72.42	.154	.29
3.95	.14	72.41	.154	.29
4.00	.14	72.41	.153	.29
4.05	.14	72.40	.152	.29
4.10	.14	72.40	.152	.29
4.15	.13	72.39	.151	.29
4.20	.13	72.38	.150	.29
4.25	.13	72.38	.150	.29
4.30	.13	72.37	.149	.29
4.35	.13	72.37	.149	.29
4.40	.13	72.36	.148	.29
4.45	.13	72.35	.147	.29
4.50	.13	72.35	.147	.29
4.55	.13	72.34	.146	.29
4.60	.13	72.34	.145	.29
4.65	.13	72.33	.145	.29
4.70	.13	72.32	.144	.29
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4.80	.13	72.31	.143	.29
4.85	.13	72.31	.142	.29
4.90	.13	72.30	.141	.29
4.95	.13	72.29	.141	.29
5.00	.13	72.29	.140	.29
5.05	.13	72.28	.140	.29
5.10	.13	72.28	.139	.29
5.15	.13	72.27	.138	.29
5.20	.13	72.26	.138	.29
5.25	.13	72.26	.137	.29
5.30	.13	72.25	.136	.29
5.35	.13	72.25	.136	.28
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5.45	.13	72.24	.134	.28
5.50	.13	72.23	.134	.28
5.55	.14	72.22	.133	.28
5.60	.14	72.22	.133	.28
5.65	.14	72.21	.132	.28
5.70	.14	72.21	.131	.28
5.75	.14	72.20	.131	.28
5.80	.14	72.20	.130	.28
5.85	.14	72.19	.130	.28
5.90	.14	72.18	.129	.28
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6.00	.14	72.17	.128	.28
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6.10	.14	72.16	.127	.28
6.15	.14	72.16	.126	.28
6.20	.14	72.15	.125	.28
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6.30	.13	72.14	.124	.28
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6.45	.13	72.12	.122	.28

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6.95	.13	72.06	.116	.28
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7.05	.13	72.05	.115	.28
7.10	.13	72.05	.114	.28
7.15	.13	72.04	.113	.28
7.20	.12	72.04	.113	.28
7.25	.12	72.03	.112	.28
7.30	.12	72.02	.112	.28
7.35	.12	72.02	.111	.28
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7.65	.12	71.97	.107	.28
7.70	.12	71.97	.106	.28
7.75	.12	71.96	.106	.28
7.80	.12	71.95	.105	.28
7.85	.12	71.94	.104	.28
7.90	.12	71.93	.104	.28
7.95	.12	71.92	.103	.28
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8.05	.12	71.91	.102	.28
8.10	.12	71.90	.101	.28
8.15	.12	71.89	.100	.28
8.20	.12	71.88	.100	.28
8.25	.12	71.87	.099	.28
8.30	.12	71.86	.098	.28
8.35	.11	71.86	.098	.28
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8.45	.12	71.84	.096	.28
8.50	.11	71.83	.096	.28
8.55	.11	71.82	.095	.28
8.60	.11	71.81	.094	.28
8.65	.11	71.80	.094	.28
8.70	.11	71.80	.093	.28
8.75	.11	71.79	.092	.28
8.80	.11	71.78	.092	.28
8.85	.11	71.77	.091	.28
8.90	.11	71.76	.090	.28
8.95	.11	71.75	.090	.28
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9.05	.11	71.73	.088	.27
9.10	.11	71.73	.088	.27
9.15	.11	71.72	.087	.27
9.20	.11	71.71	.086	.27
9.25	.11	71.70	.086	.27
9.30	.11	71.69	.085	.27
9.35	.11	71.68	.084	.27
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9.45	.11	71.67	.083	.27
9.50	.11	71.66	.082	.27
9.55	.11	71.65	.082	.27
9.60	.11	71.64	.081	.27
9.65	.11	71.63	.080	.27
9.70	.11	71.62	.079	.27
9.75	.11	71.61	.079	.27
9.80	.11	71.60	.078	.27

9.85	.11	71.59	.077	.27
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10.55	.10	71.47	.068	.27
10.60	.10	71.46	.067	.27
10.65	.10	71.45	.066	.27
10.70	.10	71.45	.066	.27
10.75	.10	71.44	.065	.27
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11.05	.10	71.39	.061	.27
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11.15	.10	71.37	.059	.27
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11.55	.10	71.30	.054	.27
11.60	.10	71.29	.053	.27
11.65	.10	71.28	.052	.27
11.70	.10	71.27	.052	.27
11.75	.10	71.26	.051	.27
11.80	.10	71.25	.050	.27
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11.95	.10	71.23	.048	.26
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12.20	.09	71.18	.045	.26
12.25	.09	71.18	.044	.26
12.30	.09	71.17	.043	.26
12.35	.09	71.16	.043	.26
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12.50	.09	71.13	.041	.26
12.55	.09	71.12	.040	.26
12.60	.09	71.11	.039	.26
12.65	.09	71.11	.038	.26
12.70	.09	71.10	.038	.26
12.75	.09	71.09	.037	.26
12.80	.09	71.08	.036	.26
12.85	.09	71.07	.036	.26
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13.50	.09	70.94	.026	.25
13.55	.09	70.93	.026	.25
13.60	.09	70.92	.025	.25
13.65	.09	70.91	.024	.25
13.70	.09	70.90	.024	.25
13.75	.09	70.88	.023	.25
13.80	.09	70.87	.022	.25
13.85	.09	70.85	.022	.25
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14.65	.08	70.63	.011	.24
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26.10	.00	70.00	.000	.23
26.15	.00	70.00	.000	.23
26.20	.00	70.00	.000	.23
26.25	.00	70.00	.000	.23
26.30	.00	70.00	.000	.23

25.35	.00	70.00	.000	.23
25.40	.00	70.00	.000	.23
25.45	.00	70.00	.000	.23
26.50	.00	70.00	.000	.23
26.55	.00	70.00	.000	.23
26.60	.00	70.00	.000	.23
26.65	.00	70.00	.000	.23
26.70	.00	70.00	.000	.23
26.75	.00	70.00	.000	.23
26.80	.00	70.00	.000	.23
26.85	.00	70.00	.000	.23
26.90	.00	70.00	.000	.23
26.95	.00	70.00	.000	.23
27.00	.00	70.00	.000	.23
27.05	.00	70.00	.000	.23
27.10	.00	70.00	.000	.23
27.15	.00	70.00	.000	.23
27.20	.00	70.00	.000	.23
27.25	.00	70.00	.000	.23
27.30	.00	70.00	.000	.23
27.35	.00	70.00	.000	.23
27.40	.00	70.00	.000	.23
27.45	.00	70.00	.000	.23
27.50	.00	70.00	.000	.23
27.55	.00	70.00	.000	.23
27.60	.00	70.00	.000	.23
27.65	.00	70.00	.000	.23
27.70	.00	70.00	.000	.23
27.75	.00	70.00	.000	.23
27.80	.00	70.00	.000	.23
27.85	.00	70.00	.000	.23
27.90	.00	70.00	.000	.23
27.95	.00	70.00	.000	.23
28.00	.00	70.00	.000	.23
28.05	.00	70.00	.000	.23
28.10	.00	70.00	.000	.23
28.15	.00	70.00	.000	.23
28.20	.00	70.00	.000	.23
28.25	.00	70.00	.000	.23
28.30	.00	70.00	.000	.23
28.35	.00	70.00	.000	.23
28.40	.00	70.00	.000	.23
28.45	.00	70.00	.000	.23
28.50	.00	70.00	.000	.23
28.55	.00	70.00	.000	.23
28.60	.00	70.00	.000	.23
28.65	.00	70.00	.000	.23
28.70	.00	70.00	.000	.23
28.75	.00	70.00	.000	.23
28.80	.00	70.00	.000	.23
28.85	.00	70.00	.000	.23
28.90	.00	70.00	.000	.23
28.95	.00	70.00	.000	.23
29.00	.00	70.00	.000	.23
29.05	.00	70.00	.000	.23
29.10	.00	70.00	.000	.23
29.15	.00	70.00	.000	.23
29.20	.00	70.00	.000	.23
29.25	.00	70.00	.000	.23
29.30	.00	70.00	.000	.23
29.35	.00	70.00	.000	.23
29.40	.00	70.00	.000	.23
29.45	.00	70.00	.000	.23
29.50	.00	70.00	.000	.23
29.55	.00	70.00	.000	.23
29.60	.00	70.00	.000	.23

29.25	.00	70.00	.000	.23
29.50	.00	70.00	.000	.23
29.75	.00	70.00	.000	.23
29.80	.00	70.00	.000	.23
29.85	.00	70.00	.000	.23
29.90	.00	70.00	.000	.23
29.95	.00	70.00	.000	.23

PEAK DISCHARGE = 16.752 CFS - PEAK OCCURS AT HOUR 1.55

MAXIMUM WATER SURFACE ELEVATION = 71.392

MAXIMUM STORAGE = .2061 AC-FT INCREMENTAL TIME = .050000HRS

PRINT HYD ID=4 CODE=1

HYDROGRAPH FROM AREA 900.80

RUNOFF VOLUME = 3.01428 INCHES = 1.1253 ACRE-FEET

PEAK DISCHARGE RATE = 18.35 CFS AT 1.550 HOURS BASIN AREA = .0070 SQ. MI.

PLOT HYD ID=4

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 16:24:47

* = .071225E6 TP = .1377770HR W/P RATIO = .7545000 SHAPE CONSTANT, N = 7.168410
 UNIT PEAK = 1.1684 CFS UNIT VOLUME = .9390 B' = 525.23 R50 = 2.1400
 AREA = .111295 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION INFILTRATION NUMBER METHOD - IT = .051001

* = .1115551E6 TP = .1377770HR W/P RATIO = .7541112 SHAPE CONSTANT, N = 4.132150F
 UNIT PEAK = .125017 CFS UNIT VOLUME = .9555 B' = 739.33 R50 = 2.1400
 AREA = .100114 SQ MI IA = .12915 INCHES INF = .05923 INCHES PER HOUR
 RUNOFF COMPUTED BY INITIAL ABSTRACTION INFILTRATION NUMBER METHOD - IT = .050100

*8 SUB-BASIN 921 ON-SITE FLOWS TO BE ADDED TO BASIN 921

* * * * *
 PRINT H+D ID=4 CODE=1

HYDROGRAPH FROM AREA 920.00

RUNOFF VOLUME = 2.41555 INCHES = .0518 ACRE-FEET
 PEAK DISCHARGE RATE = 1.16 CFS AT 1.500 HOURS BASIN AREA = .10064 SQ. MI.

*
 *1 COMBINE H+D, 5 H+D AT
 *
 *2 H+D ID=5 H+D=900.5 ID 1=1 ID 11=4
 *
 PRINT H+D ID=5 CODE=1

HYDROGRAPH FROM AREA 900.50

RUNOFF VOLUME = 2.41529 INCHES = .05170 ACRE-FEET
 PEAK DISCHARGE RATE = 1.05 CFS AT 1.500 HOURS BASIN AREA = .10021 SQ. MI.

ROUTE RESERVOIR	ID=1 H+D NO=900.5	INFLOW ID=5	CODE=1
	OUTFLOW (CFS)	STORAGE (AC-FT)	ELEV (FT)
	.00	0	70.0
	.04	.000	70.5
	.05	.004	70.5
	.05	.000	71.0
	.07	.070	71.5
	.08	.109	71.0
	.09	.153	71.5
	33.33	.218	73.0
	55.00	.288	73.5
	101.25	.353	74.0

* * * * *

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	55.50	-.115	.00
.05	.00	70.00	.000	.25
.10	.00	70.00	.000	.27
.15	.00	71.00	.000	.27
.20	.00	70.00	.000	.27
.25	.00	70.00	.000	.27
.30	.00	70.00	.000	.27

ON-SITE FLOWS ONLY
 ROUTED THROUGH
 POND.

.35	.00	70.00	.000	.23
.40	.00	70.00	.000	.23
.45	.00	70.00	.000	.23
.50	.00	70.00	.000	.23
.55	.00	70.00	.000	.23
.60	.00	70.00	.000	.23
.65	.00	70.00	.000	.23
.70	.00	70.00	.000	.23
.75	.00	70.00	.000	.23
.80	.00	70.00	.000	.23
.85	.00	70.00	.000	.23
.90	.00	70.00	.000	.23
.95	.03	70.00	.000	.23
1.00	.07	70.00	.000	.23
1.05	.11	70.00	.000	.23
1.10	.12	70.00	.000	.23
1.15	.15	70.00	.000	.23
1.20	.27	70.00	.000	.23
1.25	.62	70.04	.000	.23
1.30	1.26	70.33	.003	.24
1.35	2.29	70.60	.010	.24
1.40	3.73	70.84	.021	.25
1.45	5.34	71.11	.039	.26
1.50	6.05	71.39	.061	.27
1.55	5.32	71.67	.084	.27
1.60	4.15	71.91	.102	.28
1.65	3.29	72.07	.116	.28
1.70	2.73	72.17	.127	.28
1.75	2.37	72.26	.137	.29
1.80	2.10	72.33	.145	.29
1.85	1.88	72.40	.152	.29
1.90	1.69	72.45	.158	.29
1.95	1.52	72.50	.163	.40
2.00	1.38	72.52	.166	1.37
2.05	1.22	72.52	.165	1.30
2.10	.95	72.52	.165	1.10
2.15	.68	72.51	.164	.84
2.20	.50	72.51	.164	.61
2.25	.40	72.50	.163	.46
2.30	.33	72.50	.163	.37
2.35	.29	72.50	.163	.31
2.40	.25	72.50	.163	.29
2.45	.22	72.50	.163	.29
2.50	.19	72.49	.162	.29
2.55	.17	72.49	.162	.29
2.60	.15	72.48	.161	.29
2.65	.13	72.48	.161	.29
2.70	.12	72.47	.160	.29
2.75	.10	72.47	.159	.29
2.80	.10	72.46	.159	.29
2.85	.09	72.45	.158	.29
2.90	.08	72.44	.157	.29
2.95	.08	72.43	.156	.29
3.00	.07	72.43	.155	.29
3.05	.07	72.42	.154	.29
3.10	.07	72.41	.153	.29
3.15	.06	72.40	.152	.29
3.20	.06	72.39	.151	.29
3.25	.06	72.38	.150	.29
3.30	.06	72.38	.150	.29
3.35	.06	72.37	.149	.29
3.40	.05	72.36	.148	.29
3.45	.05	72.35	.147	.29
3.50	.05	72.34	.146	.29
3.55	.05	72.33	.145	.29
3.60	.05	72.32	.144	.29

3.70	.05	72.30	.142	.29
3.75	.05	72.29	.141	.29
3.80	.05	72.29	.140	.29
3.85	.05	72.28	.139	.29
3.90	.05	72.27	.138	.29
3.95	.05	72.26	.137	.29
4.00	.04	72.25	.136	.28
4.05	.04	72.24	.135	.28
4.10	.04	72.23	.134	.28
4.15	.04	72.22	.133	.28
4.20	.04	72.21	.132	.28
4.25	.04	72.20	.131	.28
4.30	.04	72.19	.130	.28
4.35	.04	72.18	.129	.28
4.40	.04	72.17	.128	.28
4.45	.04	72.17	.127	.28
4.50	.04	72.16	.126	.28
4.55	.04	72.15	.125	.28
4.60	.04	72.14	.124	.28
4.65	.04	72.13	.123	.28
4.70	.04	72.12	.122	.28
4.75	.04	72.11	.121	.28
4.80	.04	72.10	.120	.28
4.85	.04	72.09	.119	.28
4.90	.04	72.08	.118	.28
4.95	.04	72.07	.117	.28
5.00	.04	72.06	.116	.28
5.05	.04	72.05	.115	.28
5.10	.04	72.05	.114	.28
5.15	.04	72.04	.113	.28
5.20	.04	72.03	.112	.28
5.25	.04	72.02	.111	.28
5.30	.04	72.01	.110	.28
5.35	.04	72.00	.109	.28
5.40	.04	71.99	.108	.28
5.45	.04	71.98	.107	.28
5.50	.04	71.96	.106	.28
5.55	.04	71.95	.105	.28
5.60	.04	71.94	.104	.28
5.65	.04	71.93	.103	.28
5.70	.04	71.91	.102	.28
5.75	.04	71.90	.101	.28
5.80	.04	71.87	.100	.28
5.85	.04	71.86	.099	.28
5.90	.05	71.86	.098	.28
5.95	.05	71.85	.097	.28
6.00	.05	71.84	.096	.29
6.05	.05	71.83	.095	.28
6.10	.04	71.81	.095	.28
6.15	.04	71.80	.094	.28
6.20	.04	71.79	.093	.28
6.25	.04	71.78	.092	.28
6.30	.04	71.77	.091	.28
6.35	.04	71.75	.090	.28
6.40	.04	71.74	.089	.27
6.45	.04	71.73	.088	.27
6.50	.04	71.72	.087	.27
6.55	.04	71.70	.086	.27
6.60	.04	71.69	.085	.27
6.65	.04	71.68	.084	.27
6.70	.04	71.67	.083	.27
6.75	.04	71.65	.082	.27
6.80	.04	71.64	.081	.27
6.85	.04	71.63	.080	.27
6.90	.04	71.62	.079	.27

6.95	.04	71.81	.078	.27
7.00	.04	71.59	.077	.27
7.05	.04	71.58	.076	.27
7.10	.04	71.57	.075	.27
7.15	.04	71.56	.074	.27
7.20	.04	71.54	.073	.27
7.25	.04	71.53	.072	.27
7.30	.04	71.52	.072	.27
7.35	.04	71.51	.071	.27
7.40	.04	71.50	.070	.27
7.45	.04	71.48	.069	.27
7.50	.04	71.47	.068	.27
7.55	.04	71.46	.067	.27
7.60	.04	71.45	.066	.27
7.65	.04	71.44	.065	.27
7.70	.04	71.42	.064	.27
7.75	.04	71.41	.063	.27
7.80	.04	71.40	.062	.27
7.85	.04	71.39	.061	.27
7.90	.04	71.38	.060	.27
7.95	.04	71.36	.059	.27
8.00	.04	71.35	.058	.27
8.05	.04	71.34	.057	.27
8.10	.04	71.33	.056	.27
8.15	.04	71.32	.055	.27
8.20	.04	71.31	.054	.27
8.25	.04	71.29	.054	.27
8.30	.04	71.28	.053	.27
8.35	.04	71.27	.052	.27
8.40	.04	71.25	.051	.27
8.45	.04	71.25	.050	.26
8.50	.04	71.24	.049	.26
8.55	.04	71.22	.048	.26
8.60	.04	71.21	.047	.26
8.65	.04	71.20	.046	.26
8.70	.04	71.19	.045	.26
8.75	.04	71.18	.044	.26
8.80	.04	71.16	.043	.26
8.85	.04	71.15	.042	.26
8.90	.04	71.14	.041	.26
8.95	.04	71.13	.040	.26
9.00	.04	71.12	.039	.26
9.05	.04	71.11	.038	.26
9.10	.04	71.09	.038	.26
9.15	.04	71.08	.037	.26
9.20	.04	71.07	.036	.26
9.25	.04	71.06	.035	.26
9.30	.04	71.05	.034	.26
9.35	.04	71.04	.033	.26
9.40	.04	71.02	.032	.26
9.45	.03	71.01	.031	.26
9.50	.03	71.00	.030	.26
9.55	.02	70.99	.029	.26
9.60	.03	70.97	.028	.26
9.65	.03	70.96	.027	.26
9.70	.03	70.94	.026	.25
9.75	.03	70.92	.025	.25
9.80	.03	70.91	.025	.25
9.85	.03	70.89	.024	.25
9.90	.03	70.88	.023	.25
9.95	.03	70.86	.022	.25
10.00	.03	70.84	.021	.25
10.05	.03	70.82	.020	.25
10.10	.03	70.80	.019	.25
10.15	.03	70.78	.018	.25
10.20	.02	70.76	.017	.25

10.30	.03	70.73	.016	.25
10.75	.03	70.71	.015	.25
10.40	.03	70.69	.014	.24
10.45	.03	70.67	.013	.24
10.50	.03	70.65	.012	.24
10.55	.03	70.63	.011	.24
10.60	.03	70.62	.011	.24
10.65	.03	70.60	.010	.24
10.70	.03	70.58	.009	.24
10.75	.03	70.56	.008	.24
10.80	.03	70.54	.007	.24
10.85	.03	70.52	.006	.24
10.90	.03	70.51	.005	.24
10.95	.03	70.45	.004	.24
11.00	.03	70.35	.004	.24
11.05	.03	70.28	.003	.24
11.10	.03	70.19	.002	.23
11.15	.03	70.11	.001	.23
11.20	.03	70.03	.000	.23
11.25	.03	70.00	.000	.23
11.30	.03	70.00	.000	.23
11.35	.03	70.00	.000	.23
11.40	.03	70.00	.000	.23
11.45	.03	70.00	.000	.23
11.50	.03	70.00	.000	.23
11.55	.03	70.00	.000	.23
11.60	.03	70.00	.000	.23
11.65	.03	70.00	.000	.23
11.70	.03	70.00	.000	.23
11.75	.03	70.00	.000	.23
11.80	.03	70.00	.000	.23
11.85	.03	70.00	.000	.23
11.90	.03	70.00	.000	.23
11.95	.03	70.00	.000	.23
12.00	.03	70.00	.000	.23
12.05	.03	70.00	.000	.23
12.10	.03	70.00	.000	.23
12.15	.03	70.00	.000	.23
12.20	.03	70.00	.000	.23
12.25	.03	70.00	.000	.23
12.30	.03	70.00	.000	.23
12.35	.03	70.00	.000	.23
12.40	.03	70.00	.000	.23
12.45	.03	70.00	.000	.23
12.50	.03	70.00	.000	.23
12.55	.03	70.00	.000	.23
12.60	.03	70.00	.000	.23
12.65	.03	70.00	.000	.23
12.70	.03	70.00	.000	.23
12.75	.03	70.00	.000	.23
12.80	.03	70.00	.000	.23
12.85	.03	70.00	.000	.23
12.90	.03	70.00	.000	.23
12.95	.03	70.00	.000	.23
13.00	.03	70.00	.000	.23
13.05	.03	70.00	.000	.23
13.10	.03	70.00	.000	.23
13.15	.03	70.00	.000	.23
13.20	.03	70.00	.000	.23
13.25	.03	70.00	.000	.23
13.30	.03	70.00	.000	.23
13.35	.03	70.00	.000	.23
13.40	.03	70.00	.000	.23
13.45	.03	70.00	.000	.23
13.50	.03	70.00	.000	.23

26.80	.00	70.00	.000	.23
26.85	.00	70.00	.000	.23
26.90	.00	70.00	.000	.23
26.95	.00	70.00	.000	.23
27.00	.00	70.00	.000	.23
27.05	.00	70.00	.000	.23
27.10	.00	70.00	.000	.23
27.15	.00	70.00	.000	.23
27.20	.00	70.00	.000	.23
27.25	.00	70.00	.000	.23
27.30	.00	70.00	.000	.23
27.35	.00	70.00	.000	.23
27.40	.00	70.00	.000	.23
27.45	.00	70.00	.000	.23
27.50	.00	70.00	.000	.23
27.55	.00	70.00	.000	.23
27.60	.00	70.00	.000	.23
27.65	.00	70.00	.000	.23
27.70	.00	70.00	.000	.23
27.75	.00	70.00	.000	.23
27.80	.00	70.00	.000	.23
27.85	.00	70.00	.000	.23
27.90	.00	70.00	.000	.23
27.95	.00	70.00	.000	.23
28.00	.00	70.00	.000	.23
28.05	.00	70.00	.000	.23
28.10	.00	70.00	.000	.23
28.15	.00	70.00	.000	.23
28.20	.00	70.00	.000	.23
28.25	.00	70.00	.000	.23
28.30	.00	70.00	.000	.23
28.35	.00	70.00	.000	.23
28.40	.00	70.00	.000	.23
28.45	.00	70.00	.000	.23
28.50	.00	70.00	.000	.23
28.55	.00	70.00	.000	.23
28.60	.00	70.00	.000	.23
28.65	.00	70.00	.000	.23
28.70	.00	70.00	.000	.23
28.75	.00	70.00	.000	.23
28.80	.00	70.00	.000	.23
28.85	.00	70.00	.000	.23
28.90	.00	70.00	.000	.23
28.95	.00	70.00	.000	.23
29.00	.00	70.00	.000	.23
29.05	.00	70.00	.000	.23
29.10	.00	70.00	.000	.23
29.15	.00	70.00	.000	.23
29.20	.00	70.00	.000	.23
29.25	.00	70.00	.000	.23
29.30	.00	70.00	.000	.23
29.35	.00	70.00	.000	.23
29.40	.00	70.00	.000	.23
29.45	.00	70.00	.000	.23
29.50	.00	70.00	.000	.23
29.55	.00	70.00	.000	.23
29.60	.00	70.00	.000	.23
29.65	.00	70.00	.000	.23
29.70	.00	70.00	.000	.23
29.75	.00	70.00	.000	.23
29.80	.00	70.00	.000	.23
29.85	.00	70.00	.000	.23
29.90	.00	70.00	.000	.23
29.95	.00	70.00	.000	.23

PEAK DISCHARGE = 1.374 CFS - PEAK OCCURS AT HOUR 2.00

MAXIMUM WATER SURFACE ELEVATION = 72.024
 MAXIMUM STORAGE = .1656 AC-FT INCREMENTAL TIME = .050000HRS

PRINT HYD ID=3 CODE=1

HYDROGRAPH FROM AREA 900.80

RUNOFF VOLUME = 5.53922 INCHES = .6204 ACRE-Feet
 PEAK DISCHARGE RATE = 1.37 CFS AT 2.000 HOURS BASIN AREA = .0021 SQ. MI.

PLOT HYD ID=3

 FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 15:10:00

AHYMO SUMMARY TABLE (AHYMO392) - ANAFCA VERSION OF HYMO - MARCH, 1992 RUN DATE (MON/DAY/YR) = 03/13/1993
 INPUT FILE = a:onsit100.fut USER NO. = RSTECHNM.101

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
START										TIME= .00
RAINFALL TYPE= 2										RAIN24= 3.100
COMPUTE NM HYD	900.00	-	1	.00170	4.88	.219	2.41656	1.500	4.487	PER IMP= 74.00
COMPUTE NM HYD	920.00	-	4	.00040	1.16	.052	2.41656	1.500	4.547	PER IMP= 74.00
ADD HYD	900.50	1 & 4	5	.00210	6.05	.271	2.41629	1.500	4.498	
ROUTE RESERVOIR	900.80	5	3	.00210	1.37	.620	5.53922	2.000	1.022	AC-FT= .166
FINISH										

RESOURCE TECHNOLOGY, INC.

ENGINEERS & ENVIRONMENTAL SCIENTISTS

2129 Osuna Road, NE Suite 200

Albuquerque, NM 87113

Phone: (505) 345-3115

Fax: (505) 345-4132

PROJECT NO. 93-230

SHEET 1 OF 1

BY GREG C. DATE 8/13/93

CHECKED _____ DATE _____

APPROVED _____ DATE _____

TITLE RISER COMPUTATIONS

FOR 1" DIA. HOLES
RISER COMPUTATIONS:

$$Q = CA\sqrt{2gh}$$

WHERE:

$$C = 0.60 \quad [\text{CONSTANT}]$$

$$A = \text{AREA OF HOLES IN PIPE IN FEET} \quad [\text{CONSTANT}]$$

$$g = 32.2 \text{ ft/sec}^2 \quad [\text{CONSTANT}]$$

$$h = \text{HEAD IN FEET} \quad [\text{VARIABLE}]$$

TOTAL OF 8 - 1" DIA. HOLES REQUIRED

$$\text{AREA FOR 1 - 1" DIA. HOLE} = \pi(0.042')^2 = 0.005 \text{ ft}^2 \text{ FOR 1}$$

$$\text{MULTIPLY BY 8 TO GET TOTAL AREA} = 8(0.005 \text{ ft}^2) = 0.044 \text{ ft}^2$$

RATING CURVE FOR RISER:

HEAD (H)	Q LEVEL 1	Q LEVEL 2	Q LEVEL 3	Q LEVEL 4	Q LEVEL 5	TOTAL Q
0	0					0
0.25	0.11					0.11
0.50	0.15	0				0.15
0.75	0.18	0.11				0.29
1.00	0.21	0.15	0			0.36
1.25	0.23	0.18	0.11			0.52
1.50	0.26	0.21	0.15	0		0.62
1.75	0.28	0.23	0.18	0.11		0.80
2.00	0.30	0.26	0.21	0.15	0	0.92

*NOTE:

MAXIMUM PUMPING RATE FOR PUMP = 0.28 cfs



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 11, 1993

Donald Dixon
R.T.I.
2129 Osuana Rd. Suite 200
Albuquerque, NM 87113

RE: GRADING/PAVING PLAN FOR 10605 CENTRAL AVENUE NE (L21-D40)
ENGINEER'S STAMP DATED 7/28/93.

Dear Mr. Dixon:

Based on the information provided on your July 29, 1993 submittal, listed are some concerns that will need to be addressed prior to final approval:

- ✓ 1. Your crest elevation is lower than your water surface elevation. Therefore, over spill will occur before the 100-year water surface elevation will reach maximum elevation.
- ✓ 2. Please include the Weir calculations with your resubmittal.
- ✓ 3. You will need to include the six notes and sign-off block from the S.O. 19 format on the plan drawing. Also, you will need to include the C.O.A. spec. No. for the proposed connection to the back of the existing inlet.
- ✓ 4. Fencing must be provided around the ponding area.
- ✓ 5. Include computation showing your Riser design and required discharge holes.
- ✓ 6. Identify how much off-site flows are entering the site (quantify separately).
- ✓ 7. Computations showing how much ponding area you are providing within your proposed pond.

PUBLIC WORKS DEPARTMENT

Donald Dixon
Page 2

8. More spot elevations on top of curb and flowline on Central Ave elevation at property line adjacent to Central must be at least 1' foot above the flowline elevation.
9. How long will it take the pump to drain the pond?

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,


Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/7906

xc: File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 18, 1993

Donald Dixon
R.T.I.
2129 Osuna Rd. Suite 200
Albuquerque, NM 87113

RE: REVISED GRADING/PAVING PLAN FOR 10605 CENTRAL AVENUE NE (L21-D40)
REVISION DATED 8/13/93.

Dear Mr. Dixon:

Based on the information provided on your August 16, 1993 resubmittal, the above referenced site is approved for Grading/Paving.

Please be advised that a separate permit is required for construction within City Right-of-Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, Engineer Certification per the D.P.M. checklist will be required after completion of project.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineer Associate

BJM/d1/WPHYD/7922

xc: Alan Martinez
Darlene Saavedra
File

PUBLIC WORKS DEPARTMENT