

# CITY OF ALBUQUERQUE



*Planning Department*  
Suzanne Lubar, Director

*Mayor Richard J. Berry*

December 15, 2015

Troy Kelts, P.E.  
Merrick & Company  
5970 Greenwood Plaza Blvd  
Greenwood Village, CO 80015

**RE: Chick-fil-A on Eubank  
210 Eubank Blvd. NE  
Requested for Permanent C. O. - Accepted  
Engineers Stamp Date 3/20/15 (L21D045B)**

Dear Mr. Kelts,

PO Box 1293

Based on the Certification received 12/10/2015, the Chick-fil-A is acceptable for permanent release of Certificate of Occupancy by Hydrology.

Albuquerque, NM If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

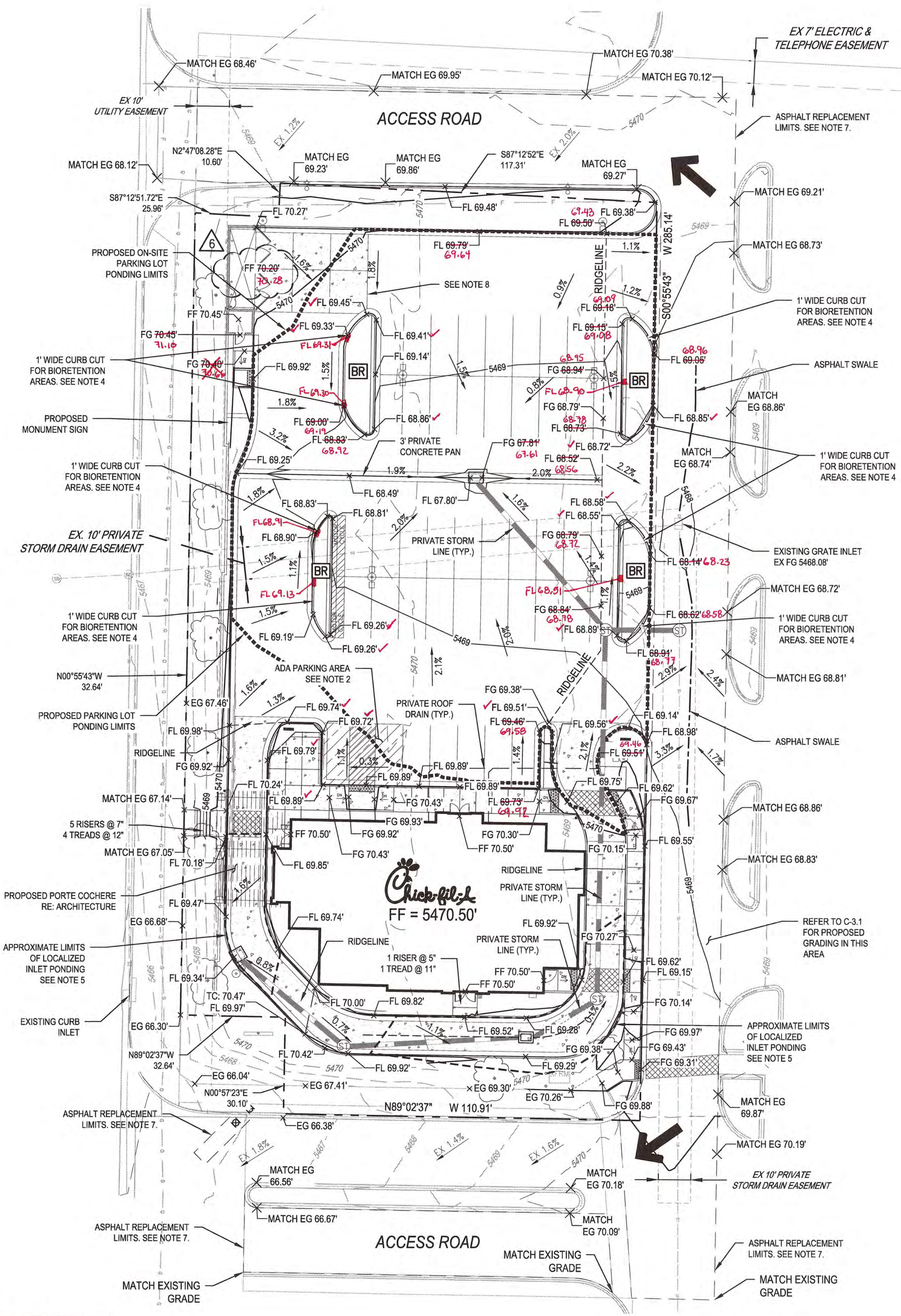
Sincerely,

New Mexico 87103

  
Abiel Carrillo, P.E.,

Principal Engineer, Planning Department  
Development and Review Services  
[www.cabq.gov](http://www.cabq.gov)

TE/AC  
C: File



**LEGEND:**

---	PROPERTY LINE
---	OFF-SITE ASPHALT REPLACEMENT LIMIT
---	ASPHALT SWALE
---	PARKING LOT PONDING LIMITS
---	STORM INLET PONDING LIMITS
---	RIDGELINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
FL 69.41' x	FLOWLINE SPOT ELEVATION
FF 70.50' x	FINISHED FLOOR SPOT ELEVATION
FG 70.39' x	FINISHED GRADE SPOT ELEVATION
TC 70.50' x	TOP OF CURB SPOT ELEVATION
EG 69.57' x	EXISTING GRADE SPOT ELEVATION
EX FL 70.18' x	EXISTING FLOWLINE SPOT ELEVATION
1.1%	PROPOSED SLOPE ARROWS
EX 2.1%	EXISTING SLOPE ARROWS
○	PROPOSED LIGHT POLE
⊗	COLOR & TEXTURED CONCRETE RE: ARCHITECTURE
⊕	PROPOSED STORM MANHOLE
⊖	PROPOSED STORM INLET
→	EMERGENCY OVERFLOW PATHWAY
BR	6" DEPRESSED BIORETENTION LANDSCAPE AREA (TYP.) SEE NOTE 4
---	CURB-CUT

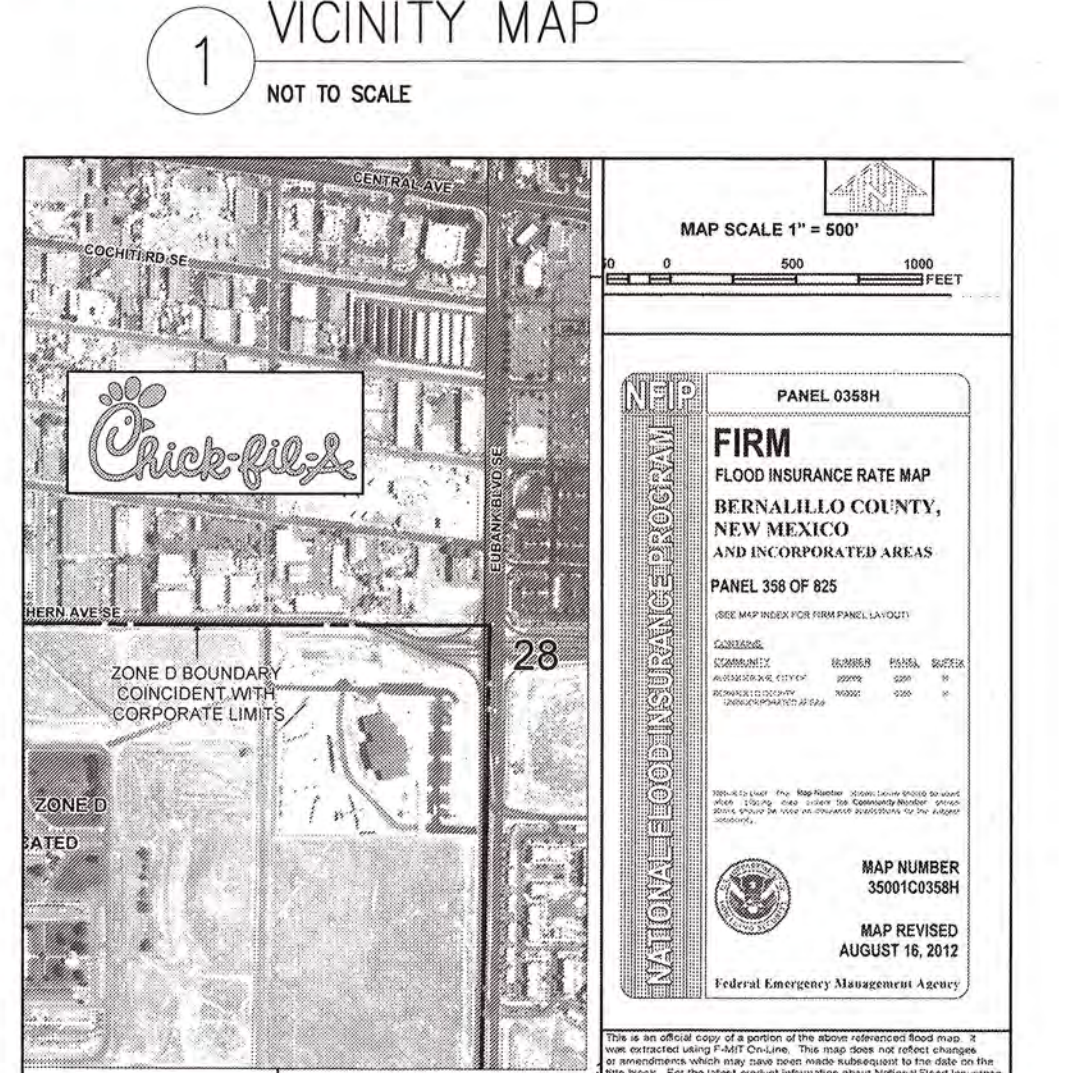
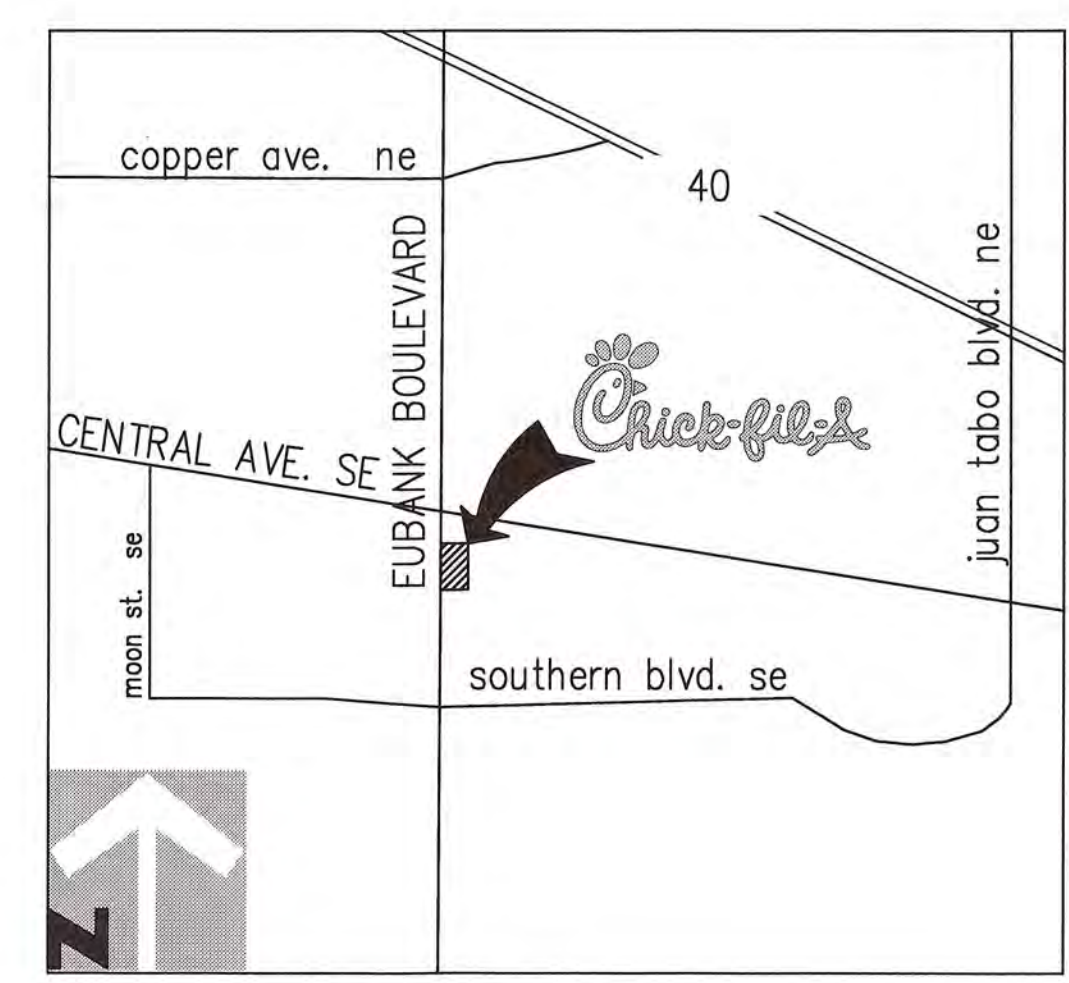
- NOTES**
1. ALL ELEVATIONS SHOWN ARE 54XX.XX'
  2. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.
  3. REFER TO SHEET PS-1.0 UTILITY PLAN FOR FURTHER INFORMATION ON EXISTING AND PROPOSED UTILITIES.
  4. CURB CUTS TO ALLOW FOR SURFACE RUNOFF TO FLOW INTO DEPRESSED COLLECTION AREAS IN PLANTER ISLANDS. REFER TO LANDSCAPE PLAN FOR FURTHER INFORMATION ON BIORETENTION / ON-SITE WATER HARVESTING AREAS & PLANTINGS TO BE UTILIZED. LOCALIZED INLET PONDING DEPTH TO BE A MAXIMUM OF 12 INCHES.
  5. CONTRACTOR TO MATCH EXISTING GRADES AND MAINTAIN EXISTING DRAINAGE PATTERNS FOR ALL OFF-SITE ASPHALT REPLACEMENT.
  6. CONTRACTOR TO MATCH OFF-SITE DRAINAGE PATTERNS AND ELEVATIONS AT EXISTING LIP LINE UNLESS SPECIFIED OTHERWISE.
  7. REFER TO SHEET C-3.1 FOR TRASH ENCLOSURE AND BUILDING DETAIL GRADING.

**DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR**

I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATE JULY 29TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ANDREW S. MEDINA, NMPS 12649 OF THE FIRM SANDIA LAND SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 1ST, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

TROY D. KELTS #22102  
DATE



**LEGEND**

---	SPECIAL FLOOD HAZARD AREAS (SHOULD SUBJECT TO DETERMINATION BY THE APPLICABLE CHANCE FLOOD
---	Zone A - 1% Annual Chance Flood
---	Zone B - 1% Annual Chance Flood
---	Zone C - 1% Annual Chance Flood
---	Zone D - 1% Annual Chance Flood
---	Zone E - 1% Annual Chance Flood
---	Zone F - 1% Annual Chance Flood
---	Zone G - 1% Annual Chance Flood
---	Zone H - 1% Annual Chance Flood
---	Zone I - 1% Annual Chance Flood
---	Zone J - 1% Annual Chance Flood
---	Zone K - 1% Annual Chance Flood
---	Zone L - 1% Annual Chance Flood
---	Zone M - 1% Annual Chance Flood
---	Zone N - 1% Annual Chance Flood
---	Zone O - 1% Annual Chance Flood
---	Zone P - 1% Annual Chance Flood
---	Zone Q - 1% Annual Chance Flood
---	Zone R - 1% Annual Chance Flood
---	Zone S - 1% Annual Chance Flood
---	Zone T - 1% Annual Chance Flood
---	Zone U - 1% Annual Chance Flood
---	Zone V - 1% Annual Chance Flood
---	Zone W - 1% Annual Chance Flood
---	Zone X - 1% Annual Chance Flood
---	Zone Y - 1% Annual Chance Flood
---	Zone Z - 1% Annual Chance Flood

**2 FLOOD INSURANCE MAP**  
NOT TO SCALE

**SURVEYOR'S CERTIFICATION**  
I, ROBERT J. FIERRO, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND "AS-BUILT" SURVEYS PERFORMED BY ME OR UNDER MY SUPERVISION; THAT THE "AS-BUILT" INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS "AS-BUILT" INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

ROBERT J. FIERRO  
NEW MEXICO  
22909  
PROFESSIONAL SURVEYOR  
12-15

FIERRO & COMPANY, LLC  
6300 MONTANO RD. N.W.  
SUITE F-3  
ALBUQUERQUE, NM 87120  
PH: (505) 352-8930

20' 0 10' 20' 40'  
GRAPHIC SCALE  
1" = 20'

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OR  
1-888-NM-GAS-CO  
NMONECALL.ORG

5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

Revisions:  
Mark Date By  
5 08/05/2015 EF  
FIELD REVISION

Mark Date By  
6 10/01/2015 EF  
TE GRADE  
CLARIFICATION

Mark Date By  
7  
TE GRADE  
CLARIFICATION

Seal  
TROY D. KELTS  
NEW MEXICO  
22102  
PROFESSIONAL SURVEYOR

MERRICK & COMPANY  
9970 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
303-751-0741

STORE  
CENTRAL & EUBANK  
S08H-A-WC

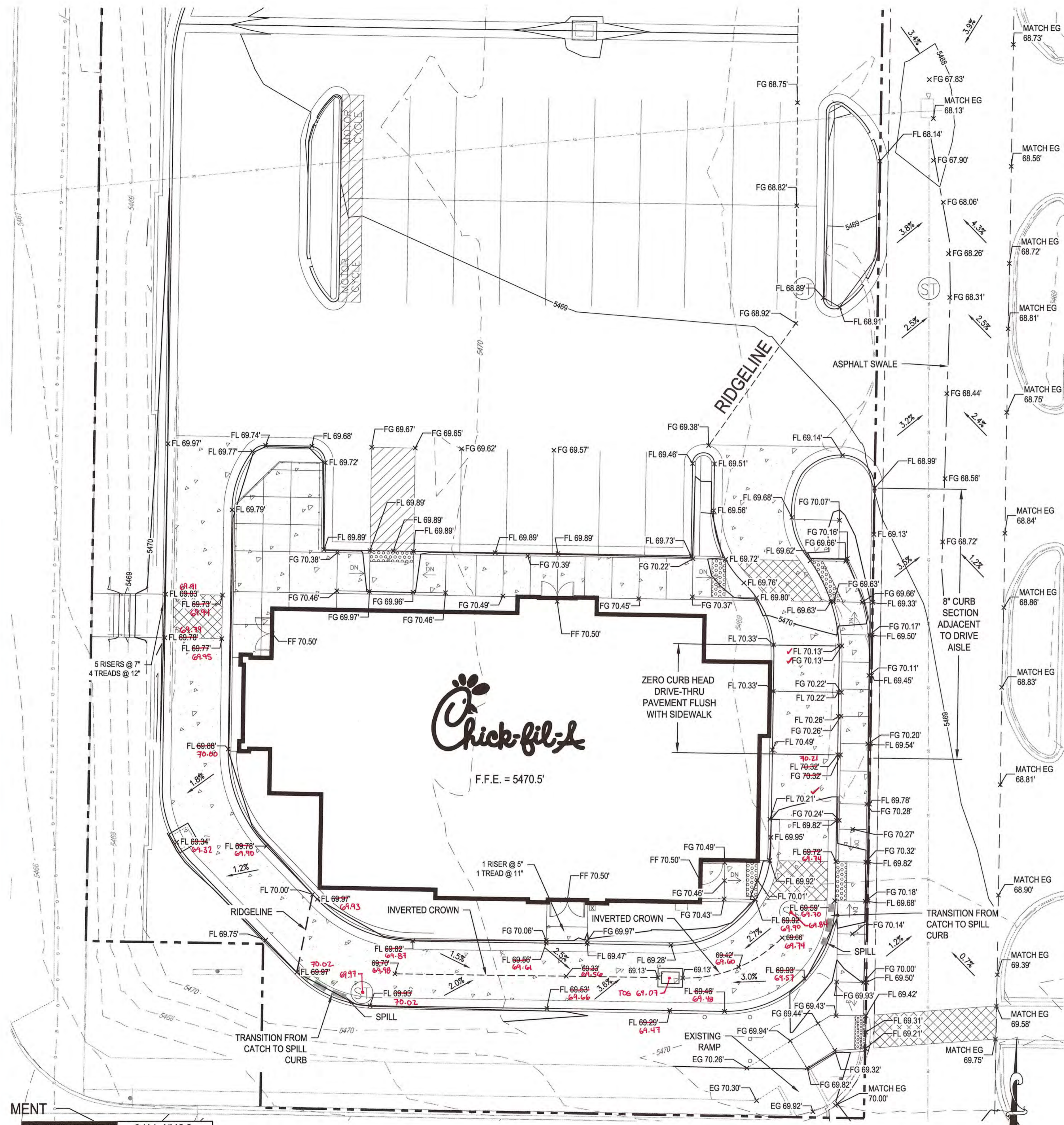
210 EUBANK BLVD. SE  
ALBUQUERQUE, NM

SHEET TITLE  
GRADING PLAN

DWG EDITION ---

Job No. : 65118257  
Store : 03235  
Date : 05/13/15  
Drawn By : EF  
Checked By : TDK  
Sheet

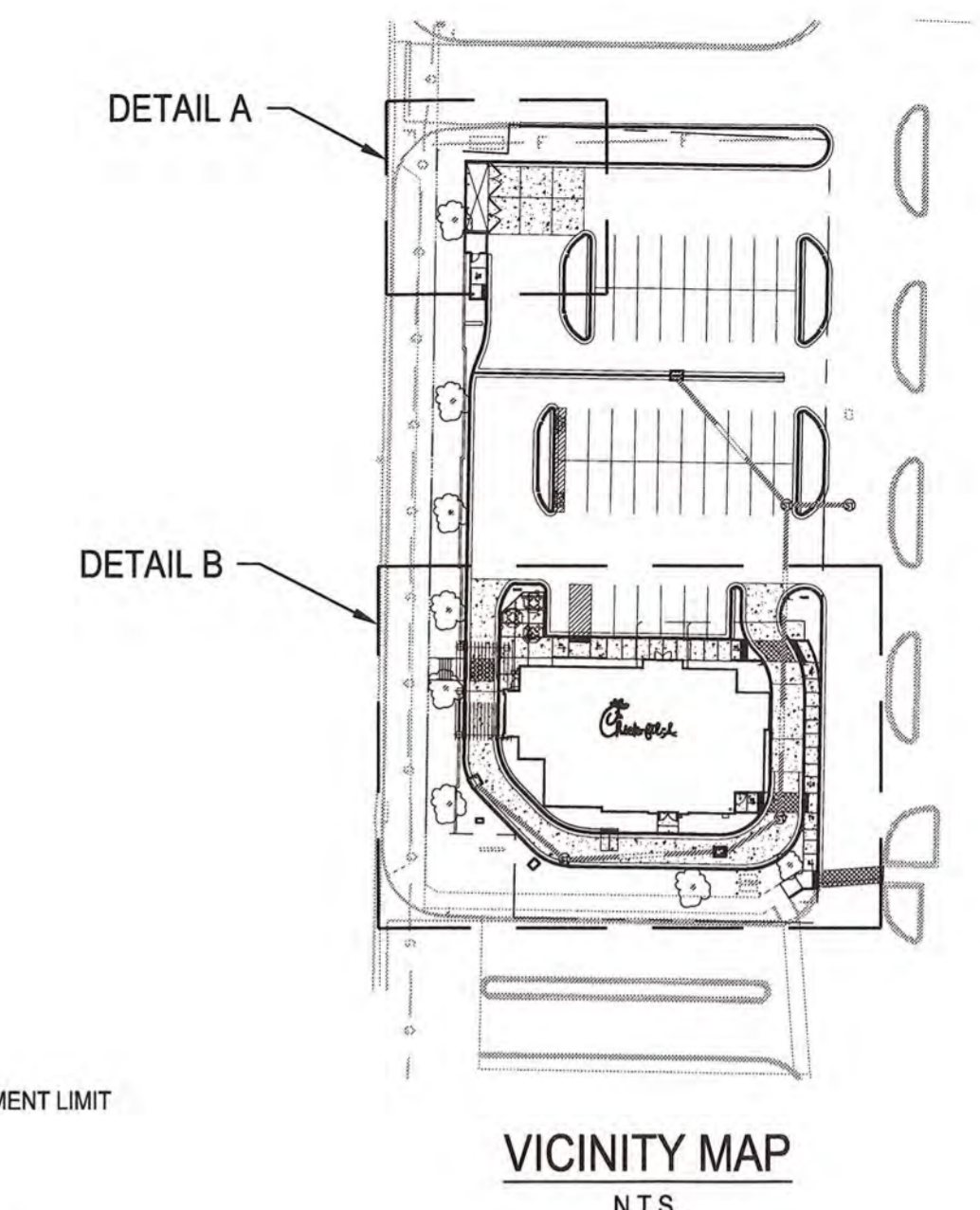
C-3.0



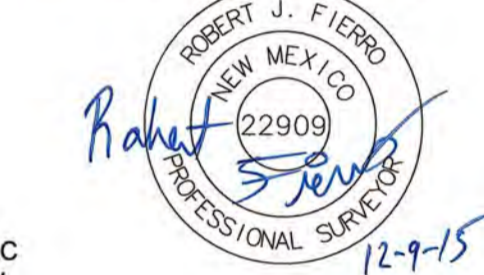
**LEGEND:**

---	PROPERTY LINE
---	OFF-SITE ASPHALT REPLACEMENT LIMIT
---	ASPHALT SWALE
---	RIDGELINE
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
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EX FL 70.18' x	EXISTING FLOWLINE SPOT ELEVATION
1.1%	PROPOSED SLOPE ARROWS
EX 0.5%	EXISTING SLOPE ARROWS
[Cross-hatch pattern]	COLOR & TEXTURED CONCRETE
[Square symbol]	RE: ARCHITECTURE
[Circle with 'S']	PROPOSED STORM INLET

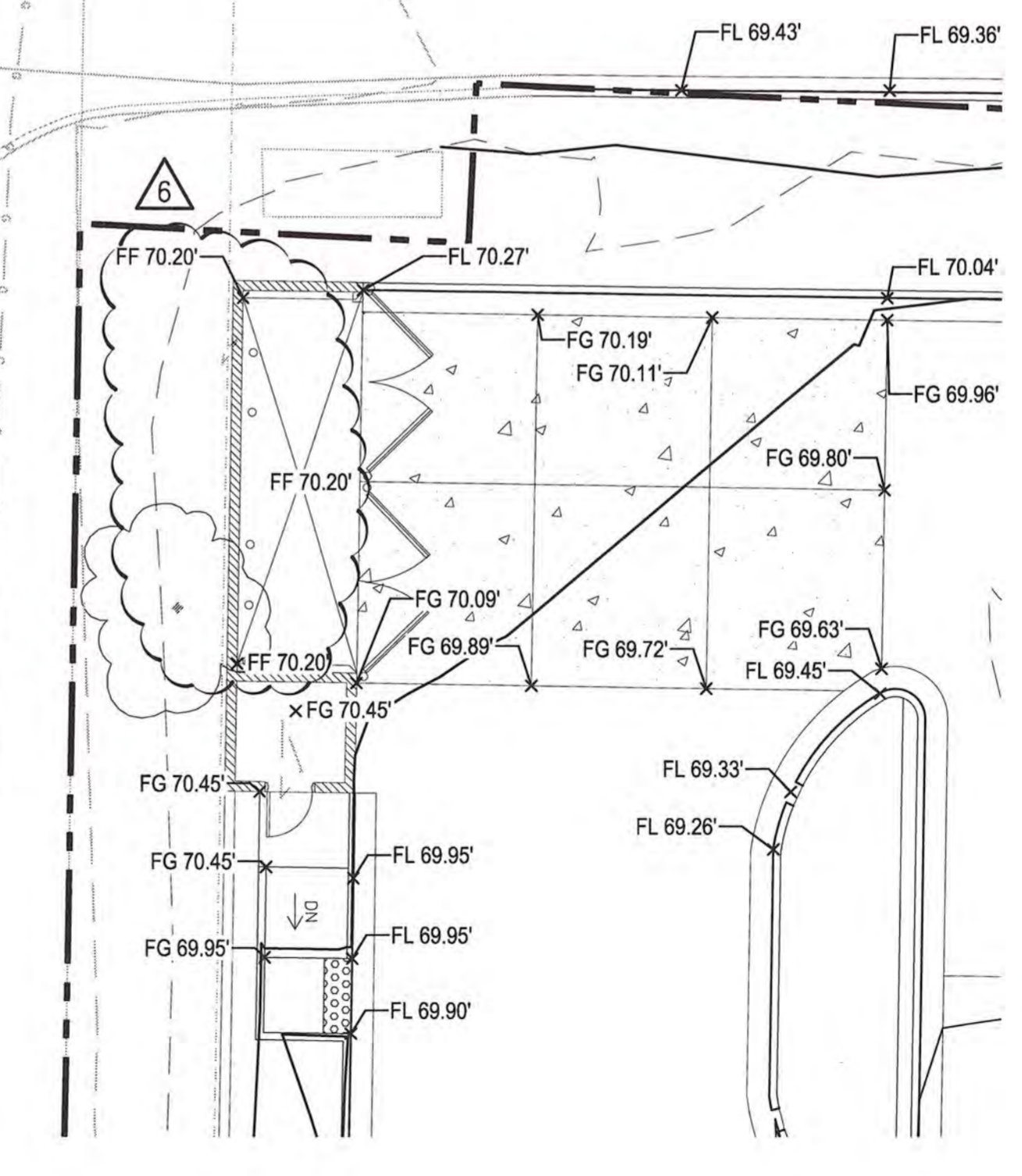
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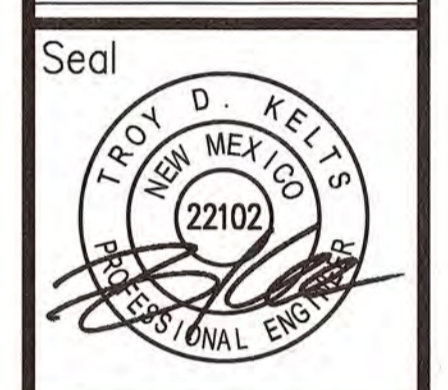
**Chick-fil-A**  
5200 Buffington Rd.  
Atlanta, Georgia  
30349-2998

**Revisions:**

Mark	Date	By
5	08/05/2015	EF
FIELD REVISION		

Mark	Date	By
6	10/01/2015	EF
TE GRADE CLARIFICATION		

Mark	Date	By
7		
TE GRADE CLARIFICATION		



**MERRICK & COMPANY**  
5970 GREENWOOD PLAZA BLVD  
GREENWOOD VILLAGE, CO 80111  
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STORE  
CENTRAL & EUBANK  
S08H-A-WC

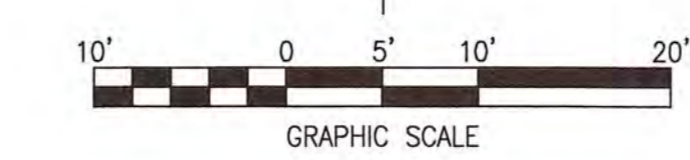
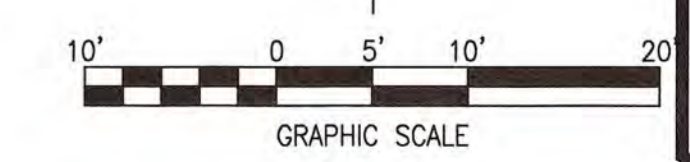
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ALBUQUERQUE, NM

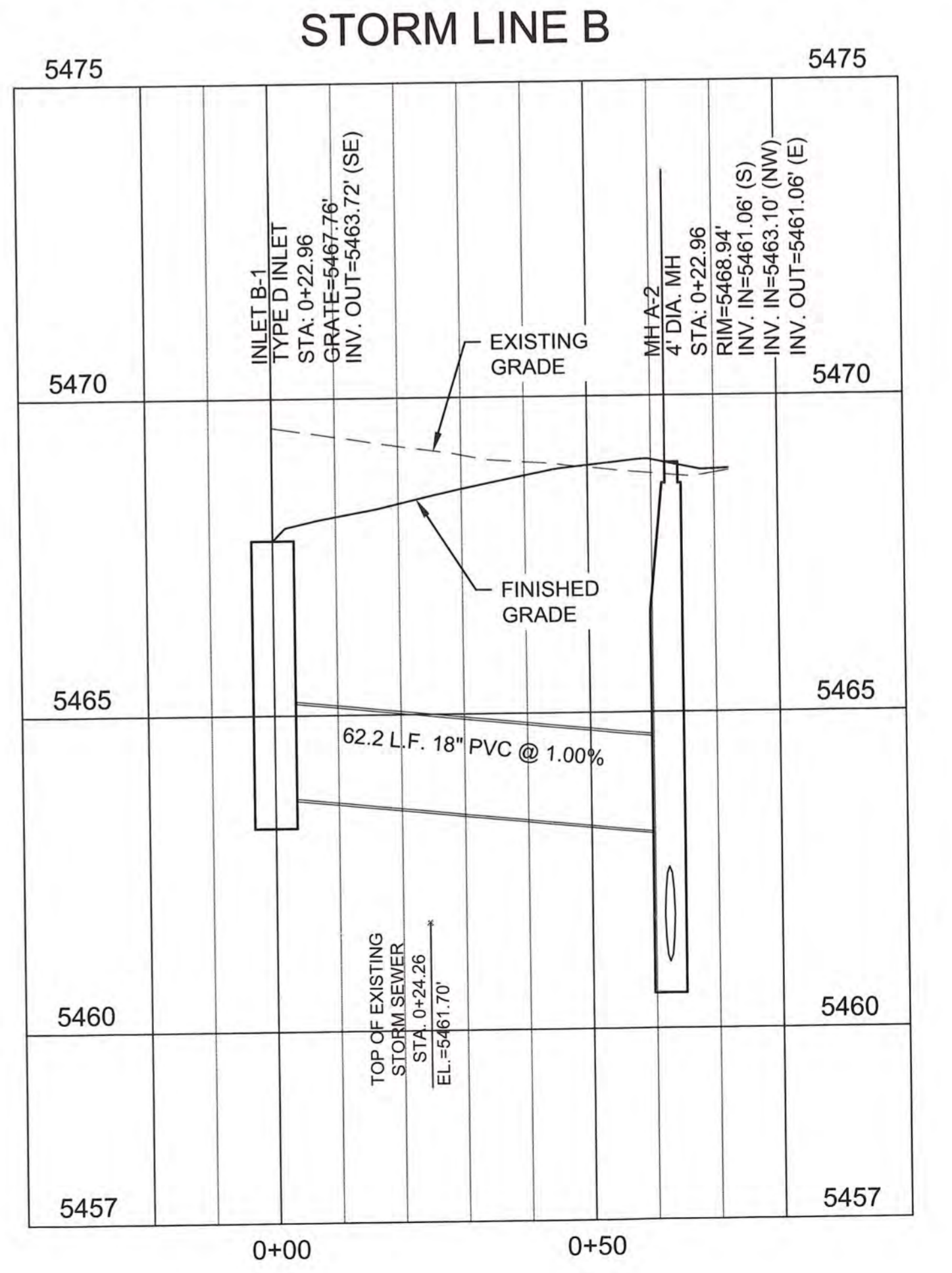
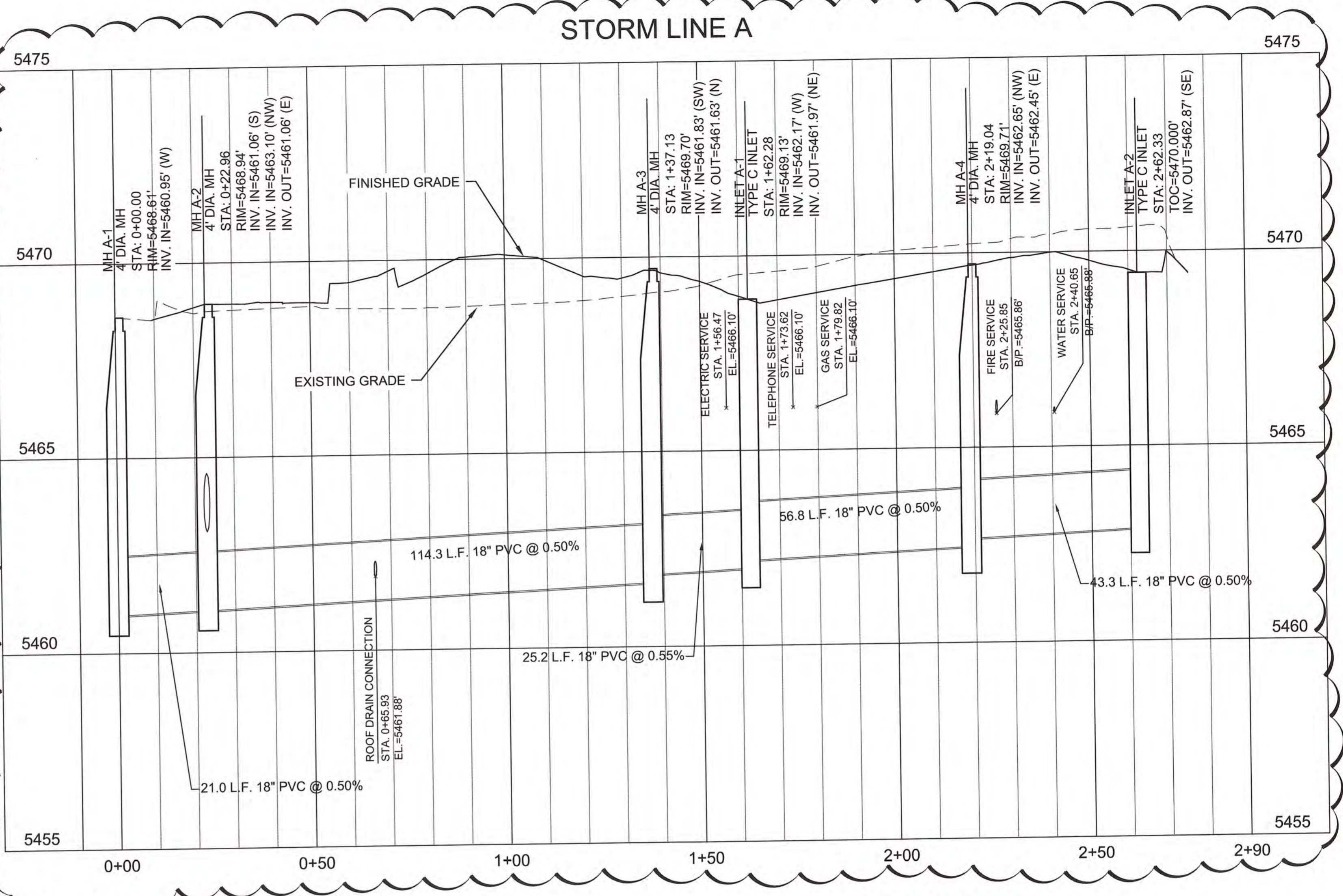
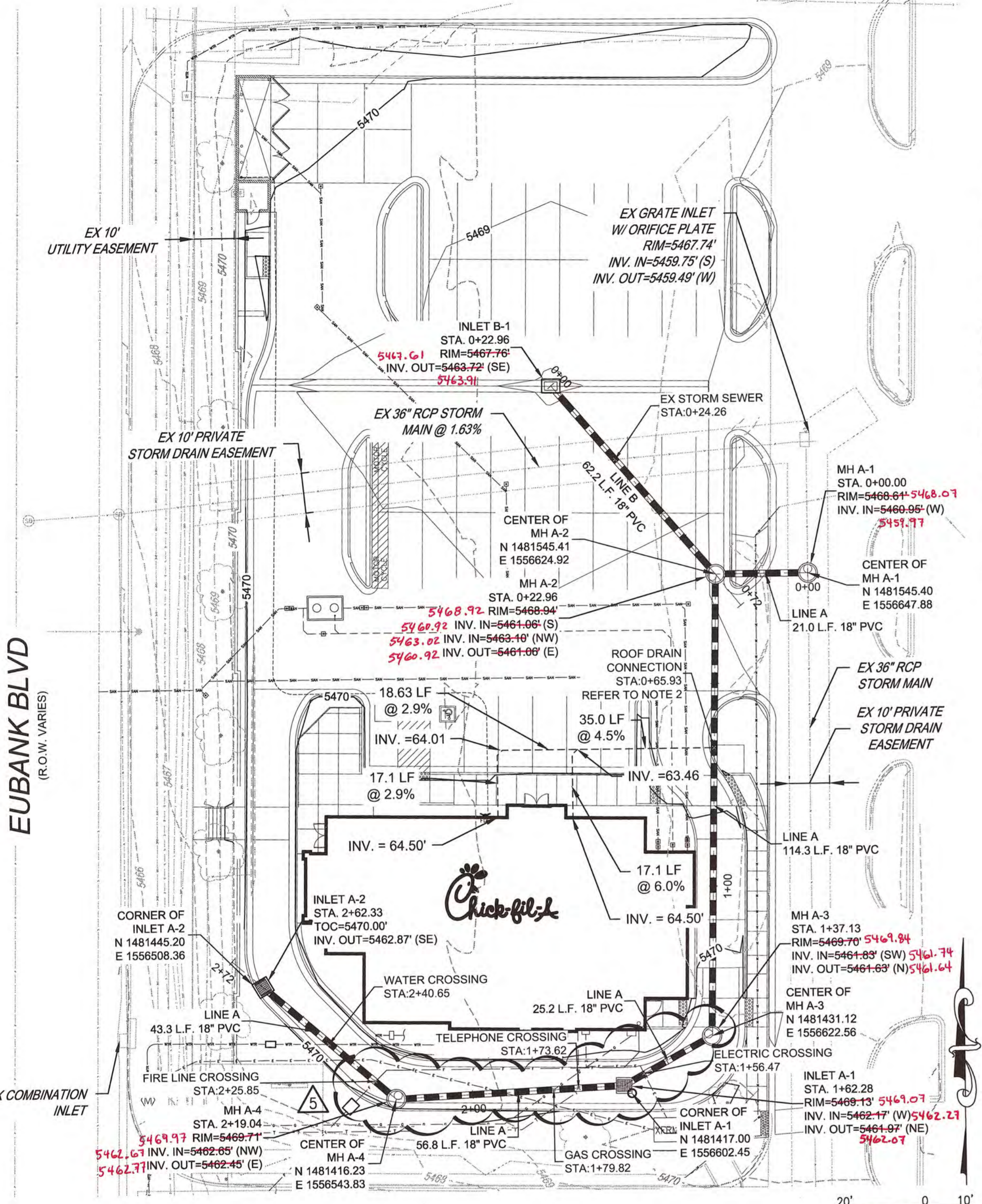
SHEET TITLE  
**GRADING DETAIL**

DWG EDITION ---  
Job No. : 65118257  
Store : 03235  
Date : 05/13/15  
Drawn By : EF  
Checked By : TDK

Sheet  
**C-31**

Survey  
RECORD DOCUMENTS





**LEGEND:**

— F —	PROPOSED FIRE SERVICE	(ST)	STORM MANHOLE
— DR —	PROPOSED ROOF DRAIN	— OHE —	EX OVERHAED ELECTRIC
— WTR —	PROPOSED WATER MAIN	— UGE —	EX UNDERGROUND ELECTRIC
— SAN —	PROPOSED SANITARY SEWER	— W —	EX WATER LINE
— G —	PROPOSED GAS	— T —	EX TELEPHONE LINE
— E —	PROPOSED ELECTRIC	— SD —	EX STORM LINE
— T —	PROPOSED TELEPHONE	— S —	EX SANITARY LINE
— T —	PROPOSED TELEPHONE	(SM)	EX STORM MANHOLE
— T —	PROPOSED TELEPHONE	(SM)	EX SANITARY MANHOLE
(M)	WATER METER	(SI)	EX STORM INLET
(GT)	GREASE TRAP	(H)	EX HYDRANT
(I)	STORM INLET	(LP)	EX LIGHT POLE
		(SCB)	EX SPRINKLER CONTROL BOX
		(WM)	EX WATER METER
		(T)	EX TREE

- NOTES**
- CONTRACTOR TO FIELD VERIFY VERTICAL & HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES, INCLUDES EXISTING IRRIGATION LINES ALONG EUBANK BLVD.
  - CONTRACTOR TO UTILIZE INSERTA TEE FOR 8" PVC ROOF DRAIN CONNECTION TO 18" PVC PIPE. REFER TO C-4.2 FOR CIVIL STANDARD DETAILS.
  - REFER TO C-5.0 - C-5.3 FOR COORDINATE WITH HOME DEPOT FOR THE STORM SEWER CONNECTION TO THE EXISTING STORM LINE. CONTRACTOR TO INSTALL TEMPORARY TRAFFIC SIGNS AND DEVICES SHALL BE USED TO DIRECT HOME DEPOT CUSTOMER HOW TO TRAVEL AROUND THE OFF-SITE CONSTRUCTION. REFER TO PHASING PLAN C-1.1A.
  - CONTRACTOR TO MAINTAIN A MIN. 2' COVER FROM TOP OF STORM PIPE TO FINISHED GRADE PER CITY OF ALBUQUERQUE SPECIFICATIONS.
  - ALL ELEVATIONS AND INVERTS ARE 54XX.XX'.
  - ALL SANITARY AND STORM PVC PIPE TO BE SDR35.

**SURVEYOR'S CERTIFICATION**  
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 SUITE F-3  
 ALBUQUERQUE, NM 87120  
 PH: (505) 352-8930

**SURVEY RECORD DOCUMENTS**

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 Atlanta, Georgia  
 30349-2998

**Revisions:**

Mark	Date	By
5	08/05/2015	EF

Mark	Date	By
△		
△		



STORE  
 CENTRAL & EUBANK  
 SOBH-A-WC

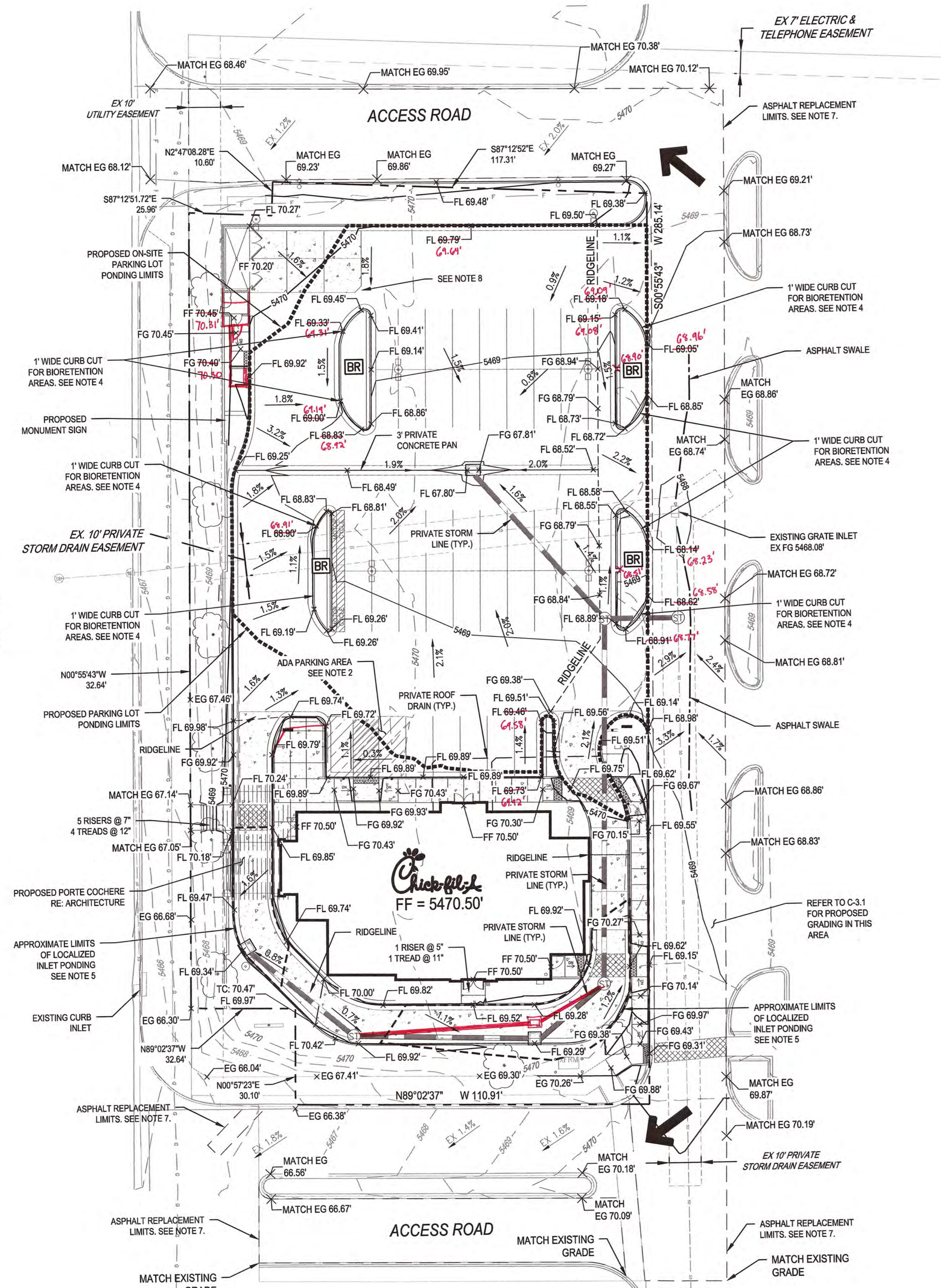
210 EUBANK BLVD. SE  
 ALBUQUERQUE, NM

SHEET TITLE  
**STORM SEWER  
 PLAN & PROFILE**

DWG EDITION

Job No. : 65118257  
 Store : 03235  
 Date : 05/13/15  
 Drawn By : EF  
 Checked By : TDK  
 Sheet

**C-3.2**



**LEGEND:**

	PROPERTY LINE
	OFF-SITE ASPHALT REPLACEMENT LIMIT
	ASPHALT SWALE
	PARKING LOT PONDING LIMITS
	STORM INLET PONDING LIMITS
	RIDGELINE
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	EXISTING MINOR CONTOUR
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	PROPOSED STORM MANHOLE
	PROPOSED STORM INLET
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	6" DEPRESSED BIORENTION LANDSCAPE AREA (TYP.) SEE NOTE 4

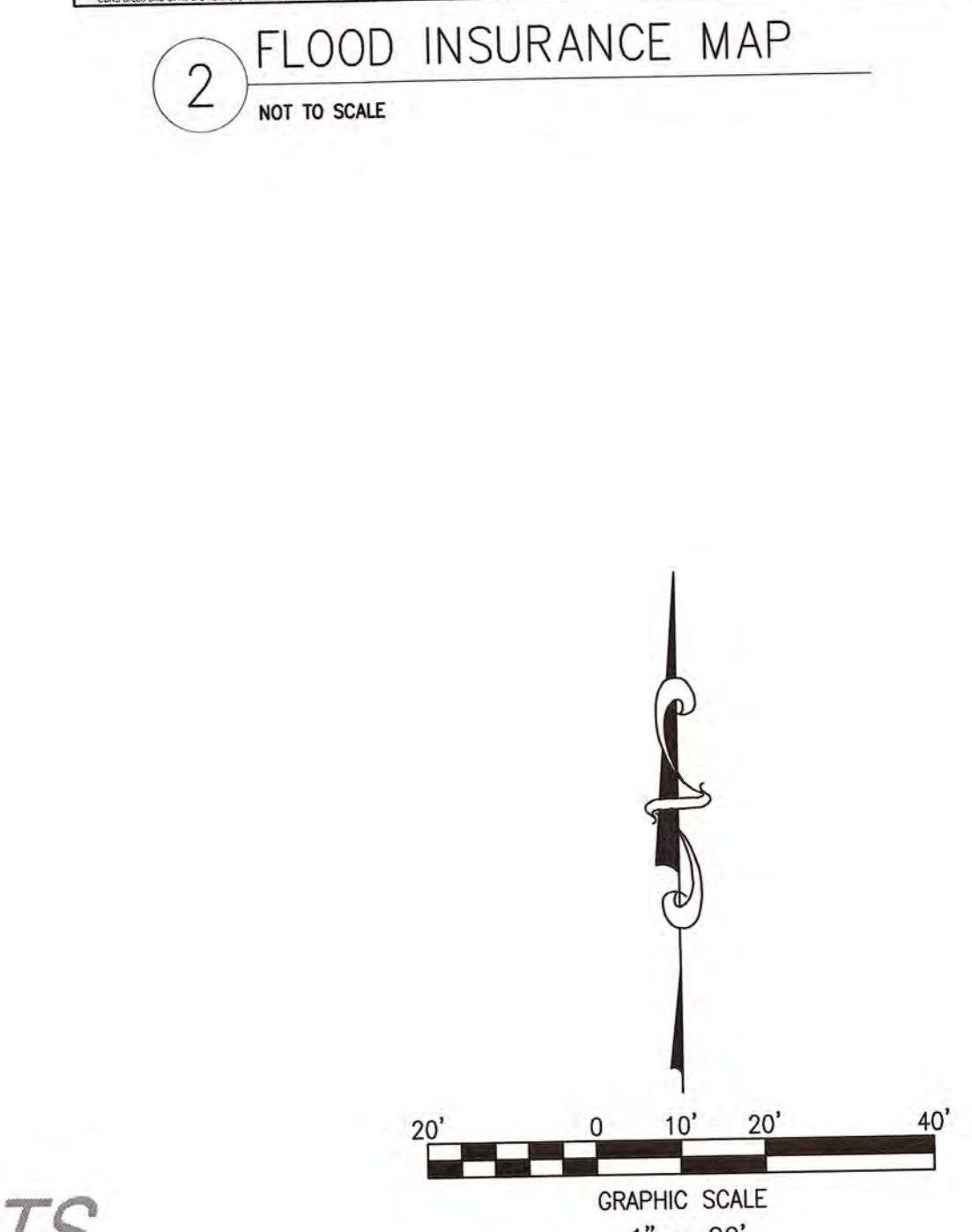
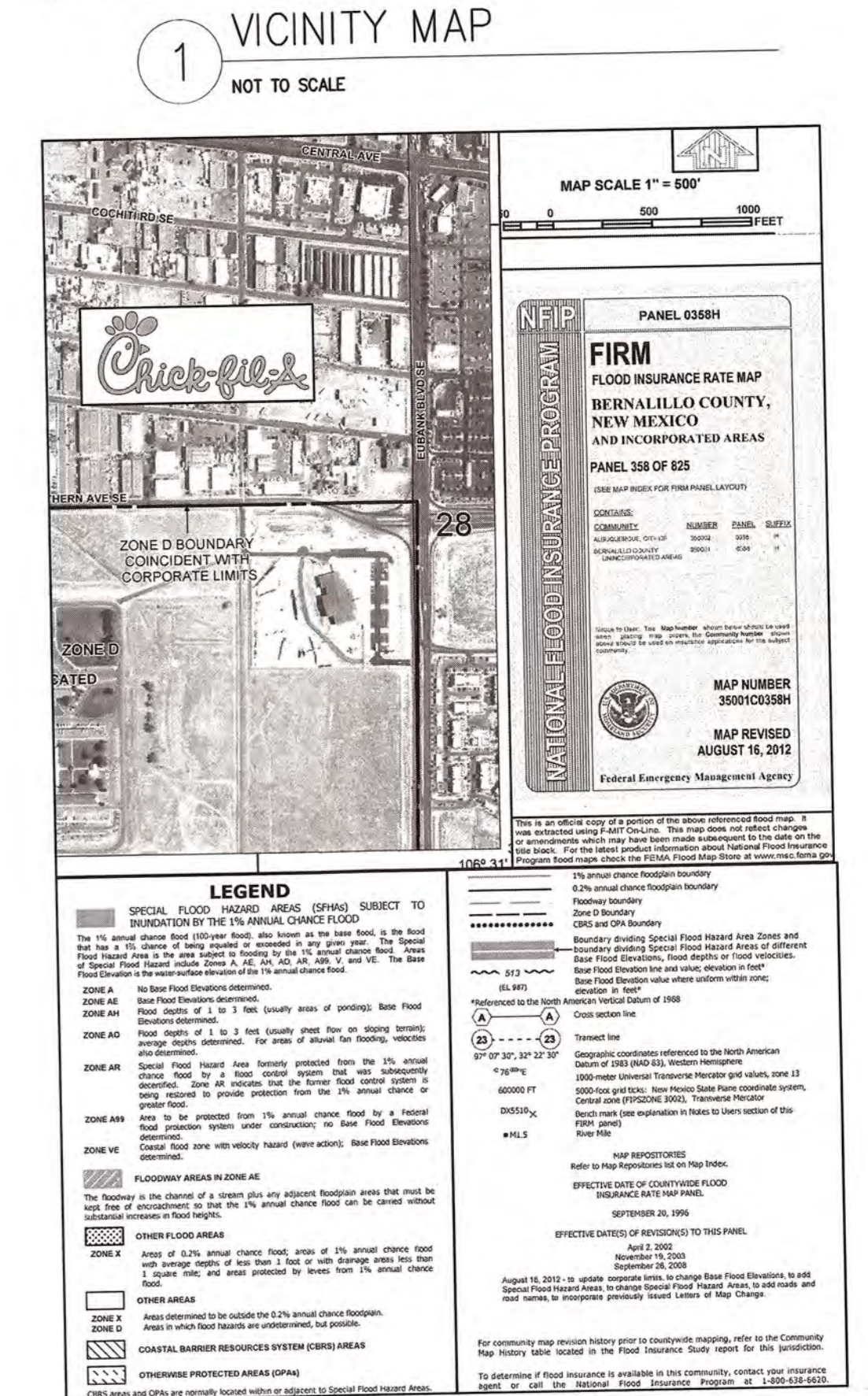
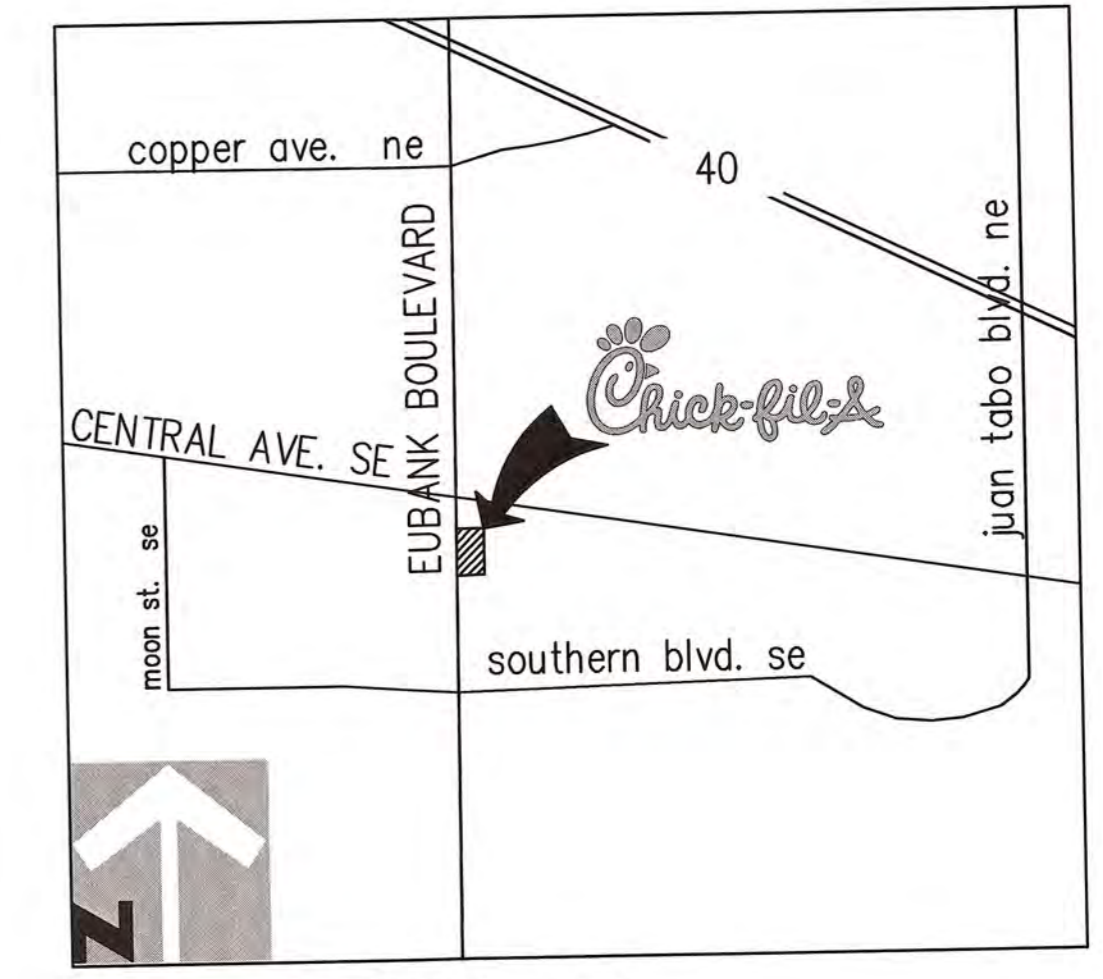
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TROY D. KELTS #22102  
 12/9/15  
 DATE



CALL NMOC TWO WORKING DAYS BEFORE YOU DIG NM811 OR 1-888-NM-GAS-CO NMOCALL.ORG

RECORD DOCUMENTS

**MERRICK & COMPANY**  
 5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741

5200 Buffington Rd.  
 Atlanta, Georgia  
 30349-2998

Revisions:  
 Mark Date By  
 1 12/29/14 EF

Mark Date By  
 2 03/20/15 EF

Mark Date By  
 3

Seal  
 TROY D. KELTS  
 NEW MEXICO  
 22102  
 PROFESSIONAL ENGINEER  
 3/20/15

STORE  
 CENTRAL & EUBANK  
 508H-A-WC

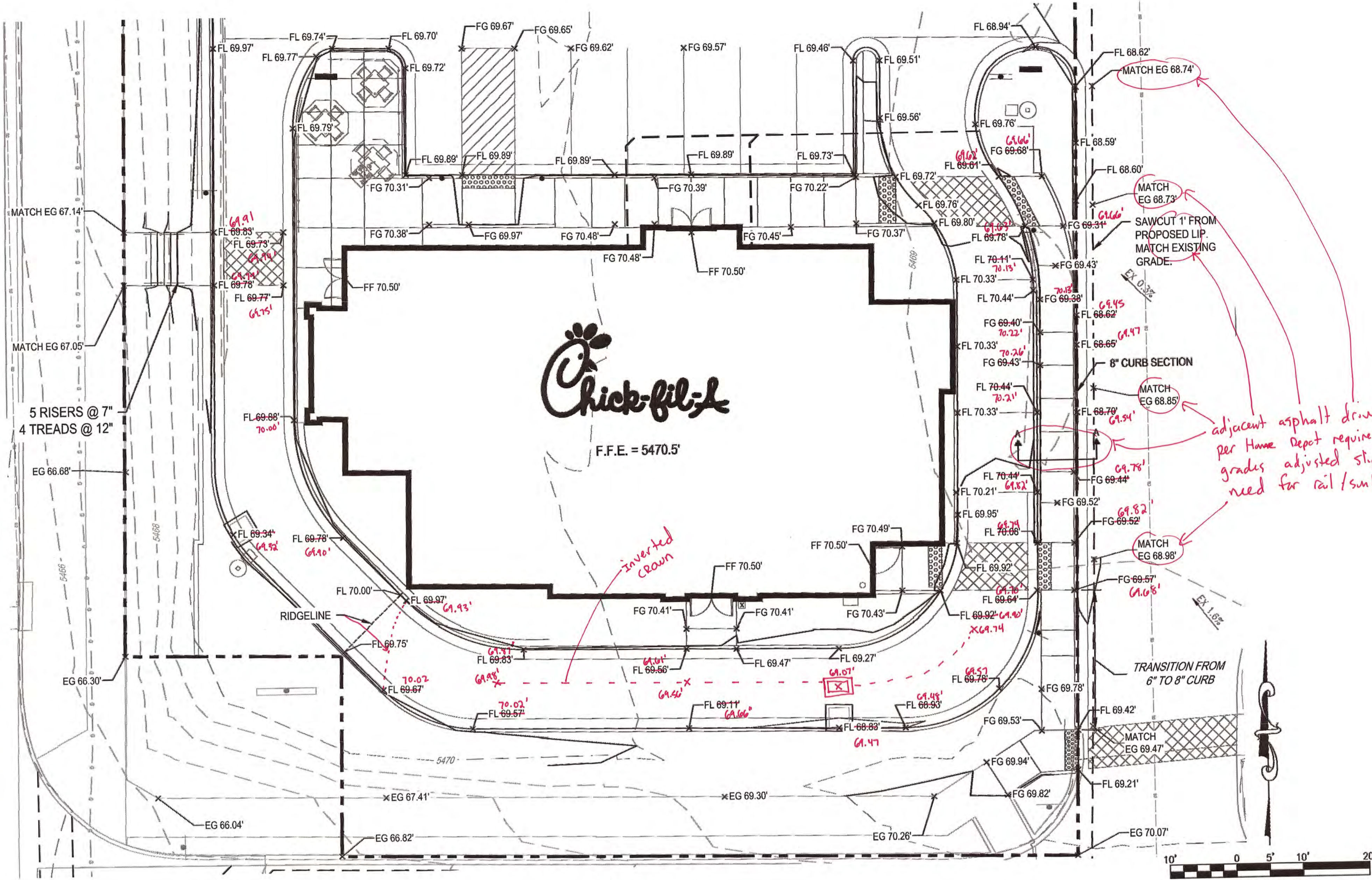
210 EUBANK BLVD. SE  
 ALBUQUERQUE, NM

SHEET TITLE  
 GRADING PLAN

DWG EDITION ---

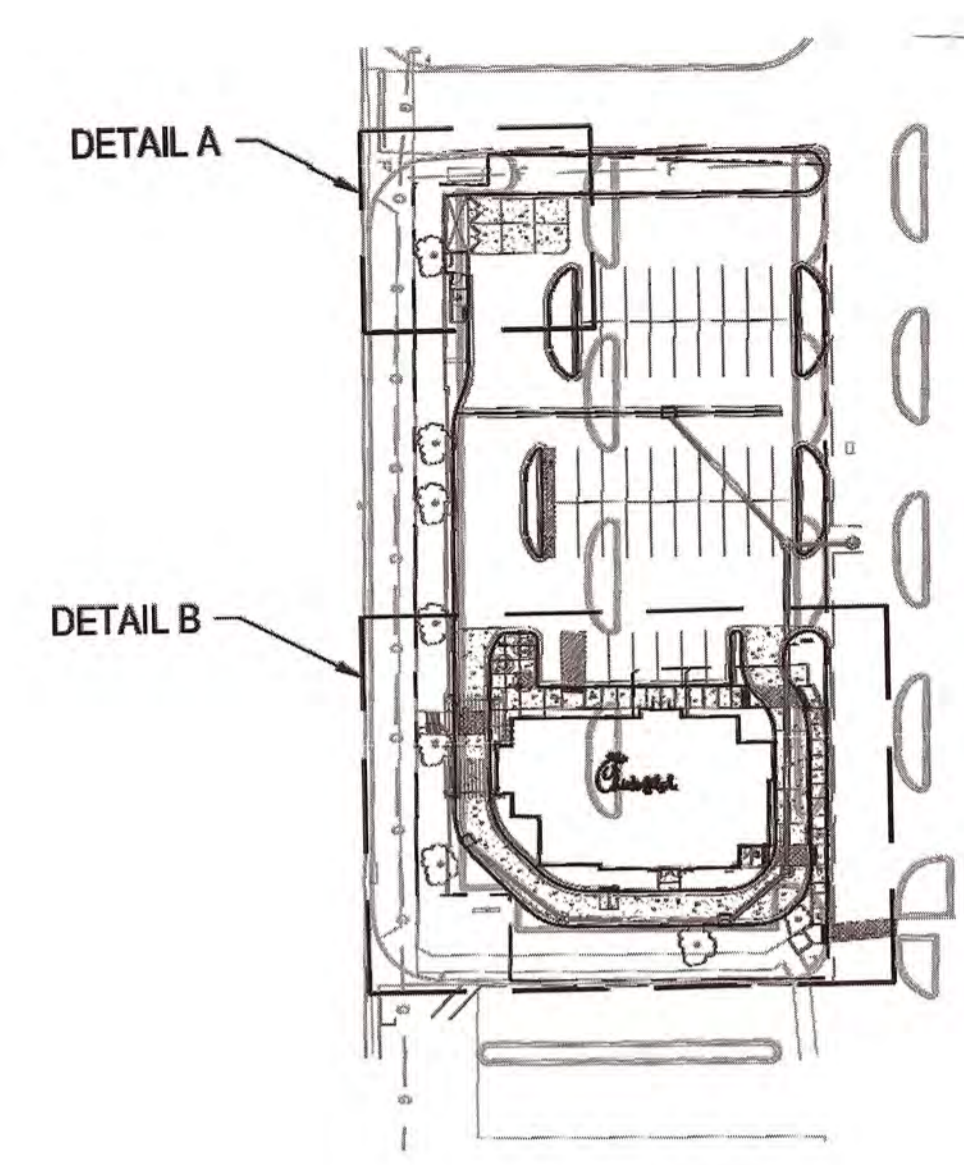
Job No. : 65118257  
 Store : 03235  
 Date : 11/10/14  
 Drawn By : EF  
 Checked By : TDK

Sheet  
 C-3.0



F.F.E. = 5470.5'

DETAIL B  
SCALE 1"=10'



VICINITY MAP  
N.T.S.

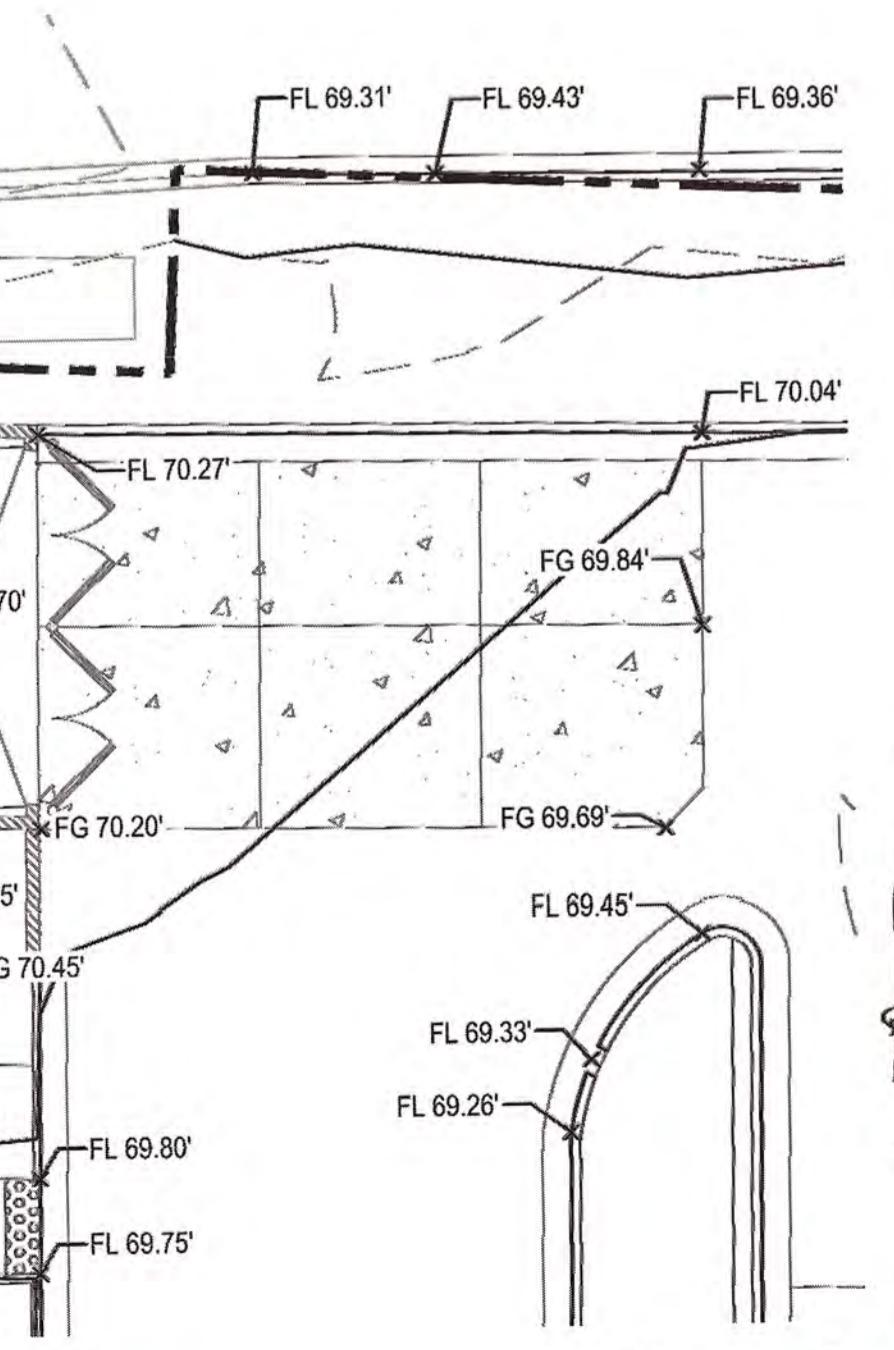
LEGEND:

- PROPERTY LINE
- - - SAWCUT EXISTING ASPHALT LIMIT
- 5470— PROPOSED MAJOR CONTOUR
- 5469— PROPOSED MINOR CONTOUR
- 5470--- EXISTING MAJOR CONTOUR
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- PROPOSED STORM INLET

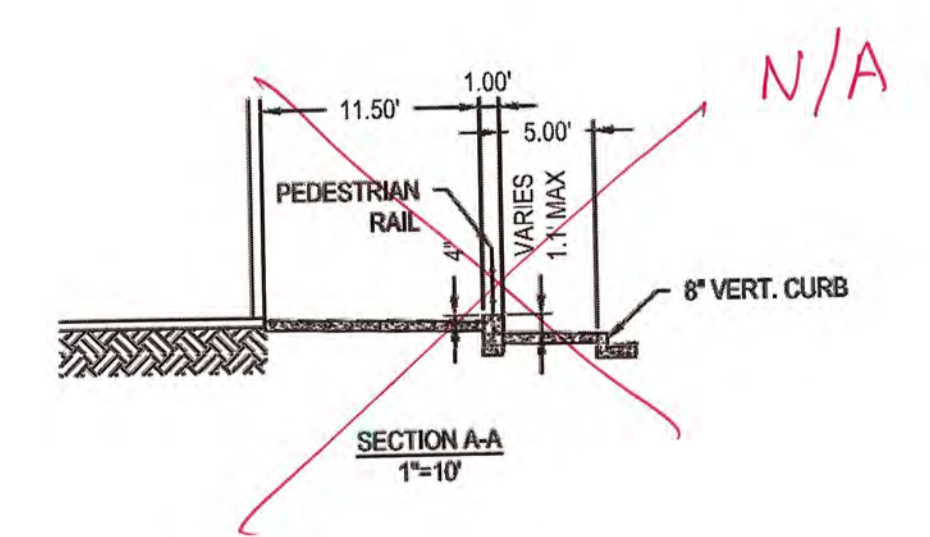
NOTES

1. ALL ELEVATIONS SHOWN ARE 54XX.XX'
2. ADA PARKING STALLS SHALL HAVE A MAXIMUM OF 2.0% SLOPE IN ANY DIRECTION.

*adjacent asphalt drive replaced per Home Depot requirements. Therefore, grades adjusted slightly to remove need for rail/sunken sidewalk.*



DETAIL A  
SCALE 1"=10'



N/A

**CALL NMOOC**  
 TWO WORKING DAYS  
**BEFORE YOU DIG**  
 NM811  
 OR  
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NMOOCALLS.ORG

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Revisions:  
 Mark Date By  
 1 12/29/14 EF  
 AGENCY REV.

Mark Date By  
 2 03/20/15 EF

Mark Date By  
 3

Seal  
  
 TROY D. KELS  
 NEW MEXICO  
 22102  
 9/18/15  
 PROFESSIONAL ENGINEER  
 For and on Behalf of  
 Merrick & Company

**MERRICK & COMPANY**  
 5970 GREENWOOD PLAZA BLVD  
 GREENWOOD VILLAGE, CO 80111  
 303-751-0741

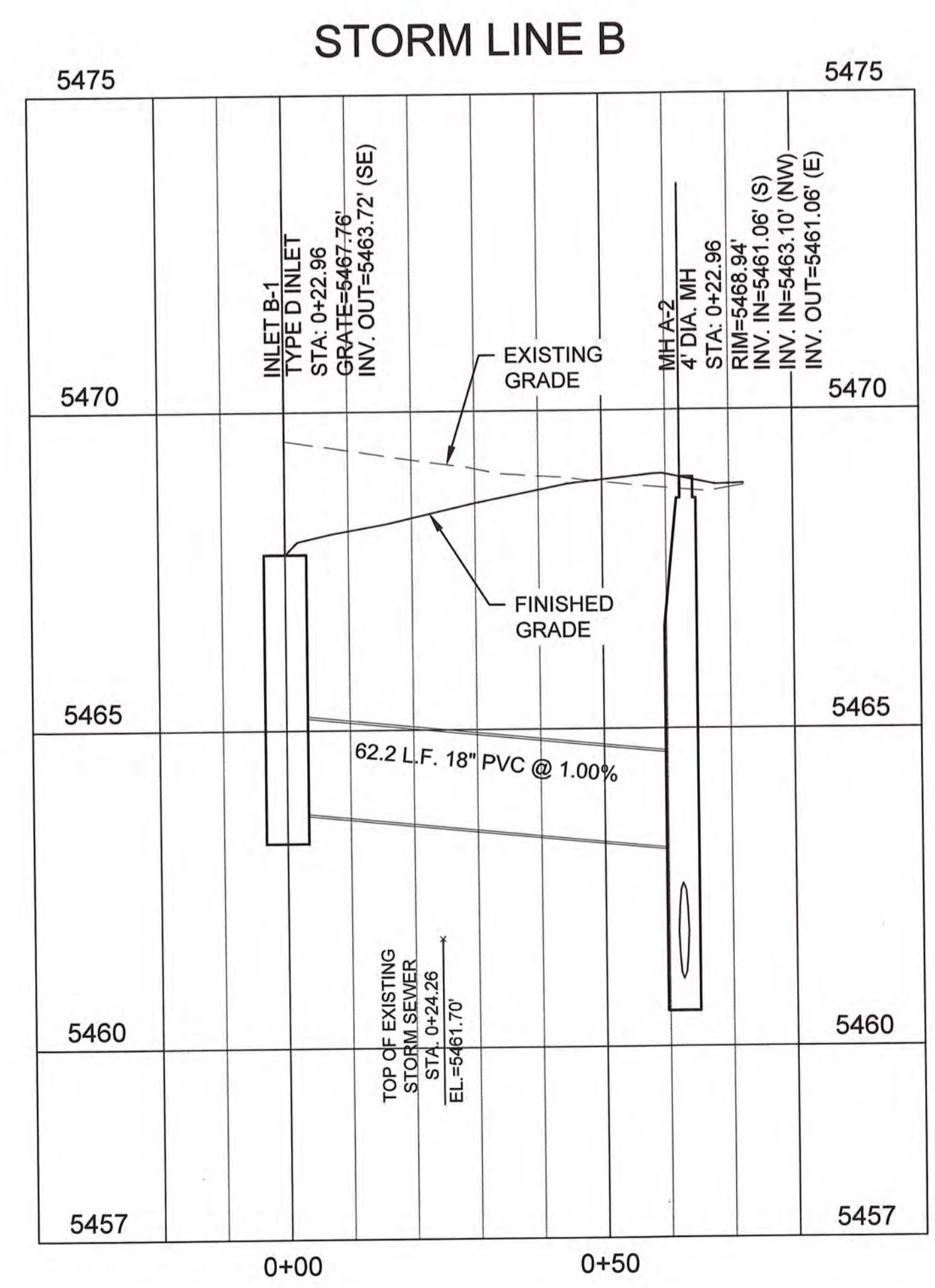
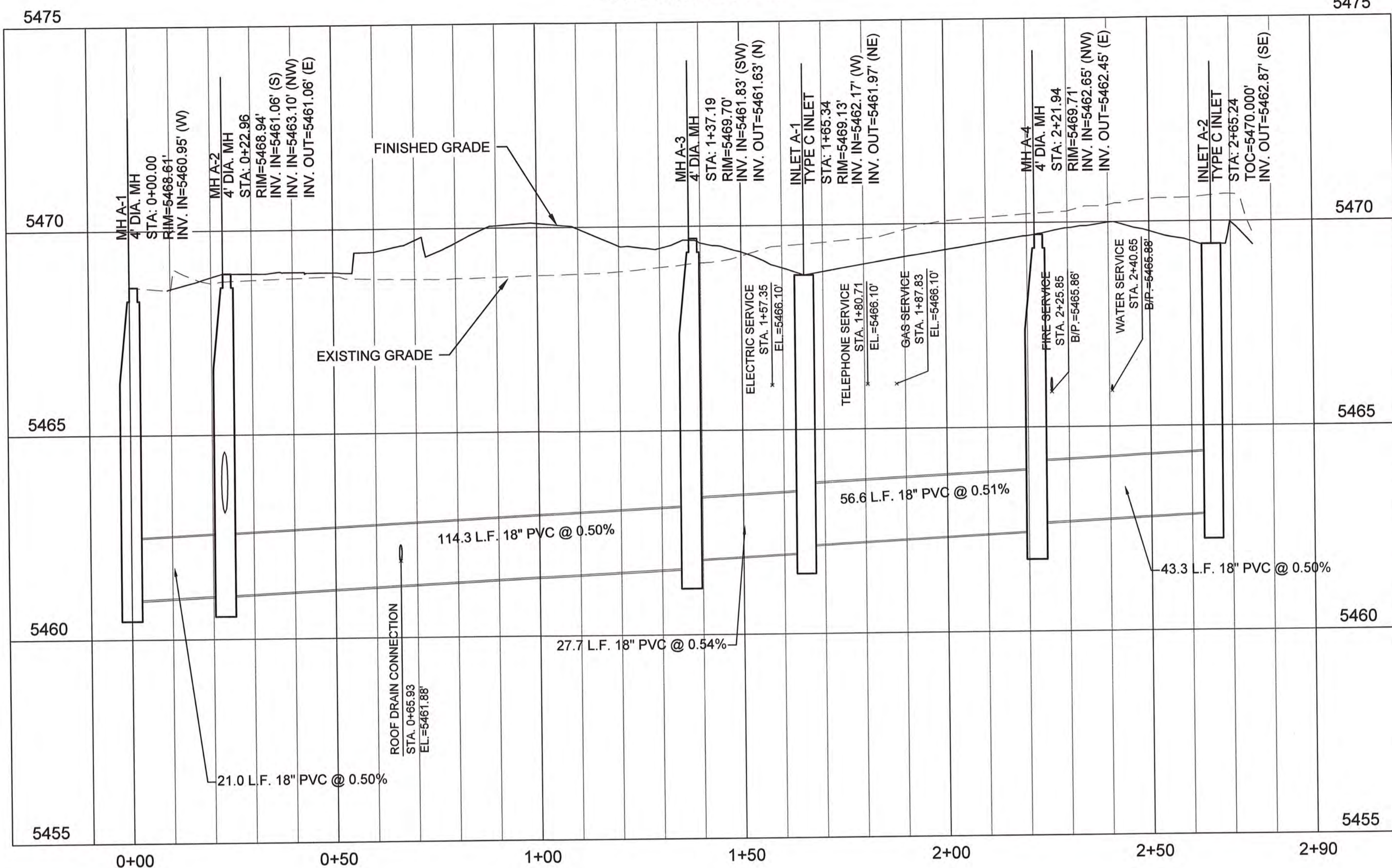
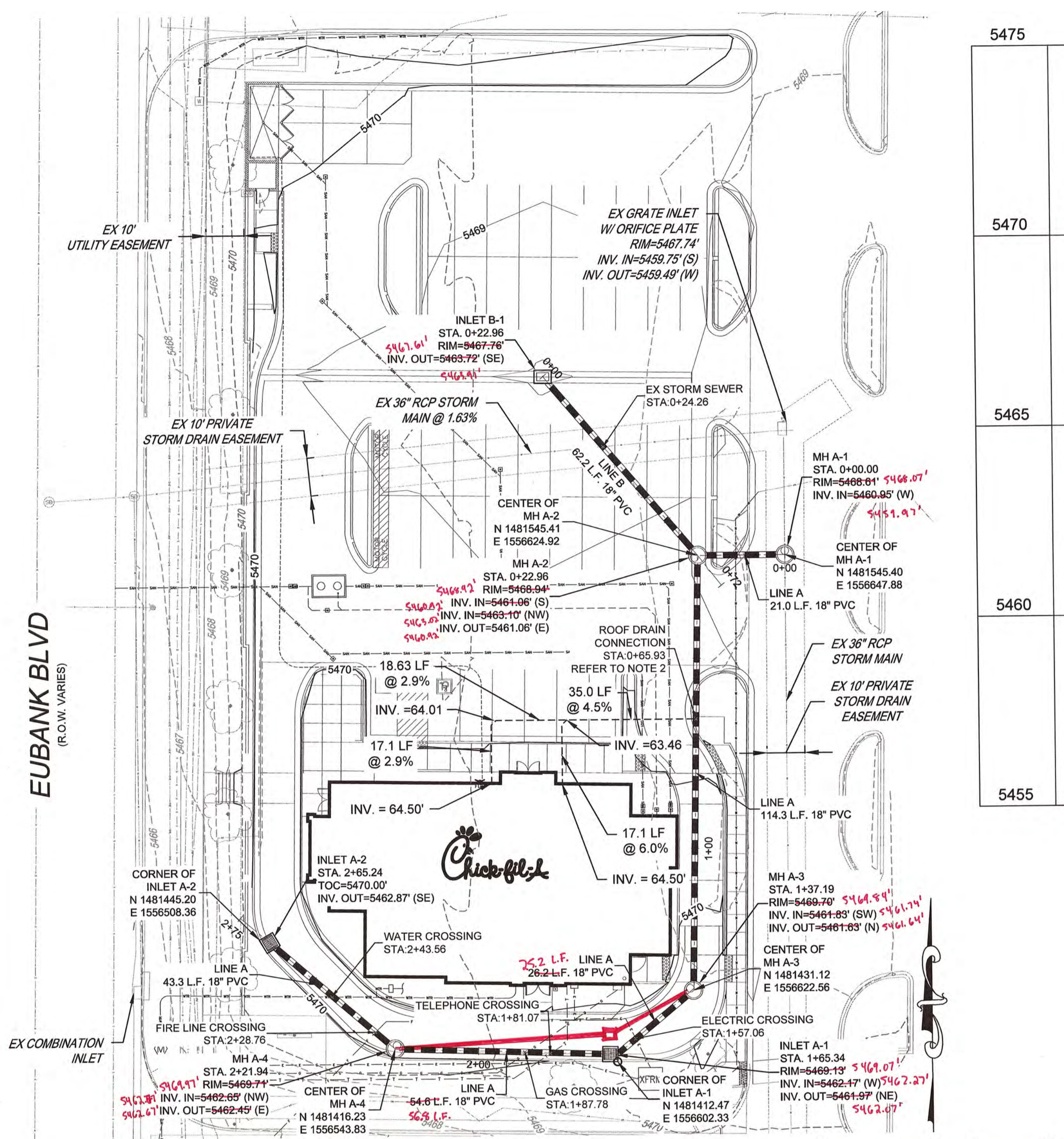
STORE  
 CHICK-FIL-A  
 FSU #03235  
 CENTRAL & EUBANK  
 100-200 EUBANK  
 BOULEVARD SE  
 ALBUQUERQUE, NM  
 87123

SHEET TITLE  
**GRADING DETAIL**

DWG EDITION ---

Job No. : 65118257  
 Store : 03235  
 Date : 11/10/14  
 Drawn By : EF  
 Checked By : TDK  
 Sheet

C-31



- NOTES**
- CONTRACTOR TO FIELD VERIFY VERTICAL & HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES. INCLUDES EXISTING IRRIGATION LINES ALONG EUBANK BLVD.
  - CONTRACTOR TO UTILIZE INSERTA TEE FOR 8" PVC ROOF DRAIN CONNECTION TO 18" PVC PIPE. REFER TO C-4.2 FOR INSERTA TEE DETAILS.
  - REFER TO C-5.0 - C-5.3 FOR CIVIL STANDARD DETAILS.
  - CONTRACTOR TO COORDINATE WITH HOME DEPOT FOR THE STORM SEWER CONNECTION TO THE EXISTING STORM LINE. CONTRACTOR TO INSTALL TEMPORARY TRAFFIC SIGNS AND DEVICES SHALL BE USED TO DIRECT HOME DEPOT CUSTOMER HOW TO TRAVEL AROUND THE OFF-SITE CONSTRUCTION. REFER TO PHASING PLAN C-1.1A.
  - CONTRACTOR TO MAINTAIN A MIN. 2' COVER FROM TOP OF STORM PIPE TO FINISHED GRADE PER CITY OF ALBUQUERQUE SPECIFICATIONS.
  - ALL ELEVATIONS AND INVERTS ARE 54XX.XX'.
  - ALL SANITARY AND STORM PVC PIPE TO BE SDR35.

**LEGEND:**

— F —	PROPOSED FIRE SERVICE	(ST)	STORM MANHOLE
---	PROPOSED ROOF DRAIN	— OHE —	EX OVERHAED ELECTRIC
WTR	PROPOSED WATER MAIN	— UGE —	EX UNDERGROUND ELECTRIC
SAN	PROPOSED SANITARY SEWER	— W —	EX WATER LINE
G	PROPOSED GAS	— T —	EX TELEPHONE LINE
E	PROPOSED ELECTRIC	— SD —	EX STORM LINE
T	PROPOSED TELEPHONE	— S —	EX SANITARY LINE
— S —	PROPOSED STORM LINE	(SM)	EX STORM MANHOLE
(M)	WATER METER	(SM)	EX SANITARY MANHOLE
(GT)	GREASE TRAP	(SI)	EX STORM INLET
(S)	STORM INLET	(H)	EX HYDRANT
		(LP)	EX LIGHT POLE
		(SCB)	EX SPRINKLER CONTROL BOX
		(WM)	EX WATER METER
		(T)	EX TREE

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5200 Buffington Rd. Atlanta, Georgia 30349-2998

Revisions:  
 1 Mark Date By  
 12/29/14 EF

2 Mark Date By  
 03/20/15 EF

Seal  
 TROY D. KELLS  
 NEW MEXICO  
 22102  
 PROFESSIONAL ENGINEER  
 3/20/15

STORE  
 CENTRAL & EUBANK  
 508H-A-WC

210 EUBANK BLVD. SE  
 ALBUQUERQUE, NM

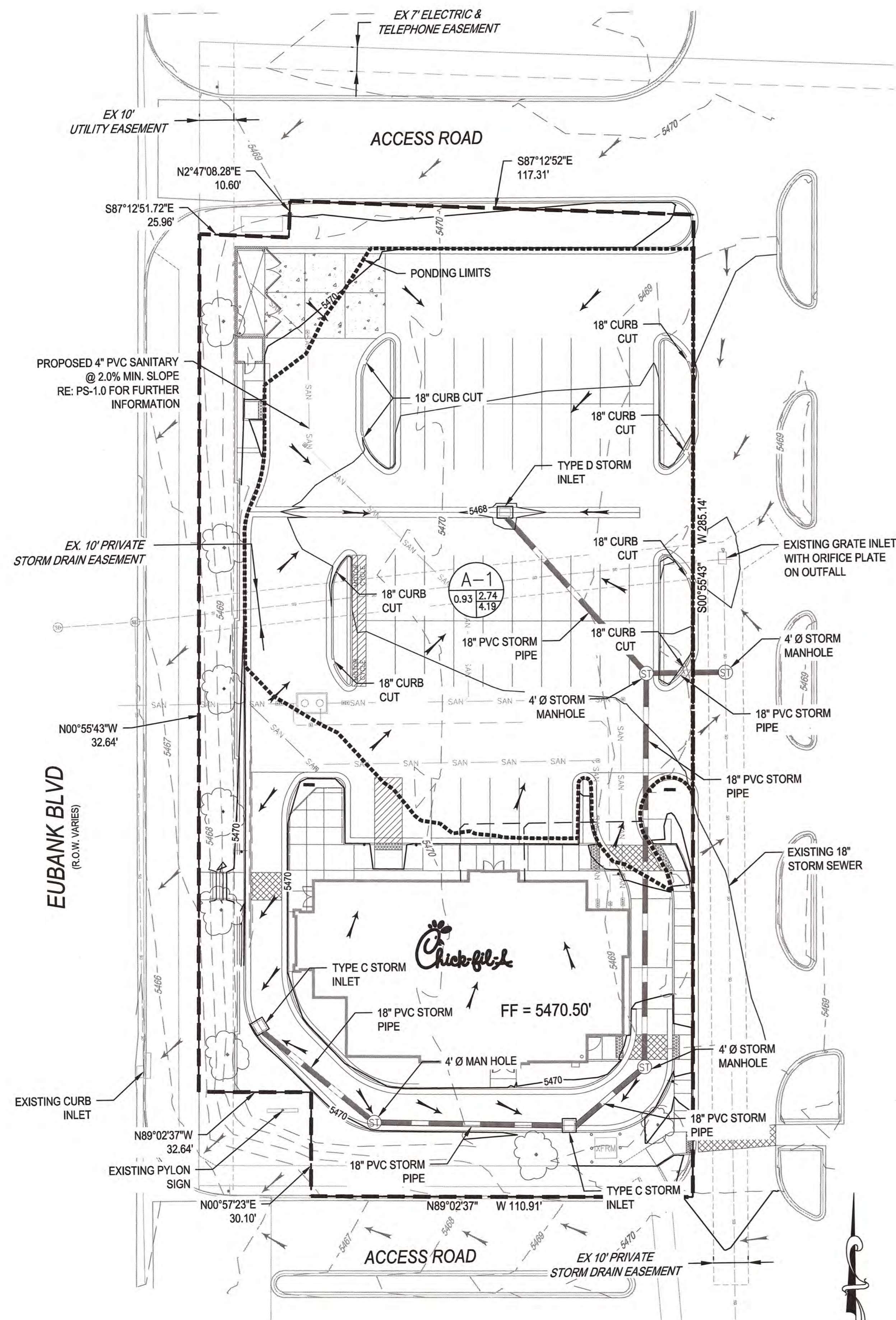
SHEET TITLE  
 STORM SEWER  
 PLAN & PROFILE

DWG EDITION

Job No. : 65118257  
 Store : 03235  
 Date : 11/10/14  
 Drawn By : EF  
 Checked By : TDK

Sheet  
**C-3.2**

RECORD DOCUMENTS



- LEGEND:**
- PROPERTY LINE
  - PARKING LOT PONDING LIMITS
  - 5555 PROPOSED MAJOR CONTOUR
  - 5555 PROPOSED MINOR CONTOUR
  - - - - - EXISTING MAJOR CONTOUR
  - - - - - EXISTING MINOR CONTOUR
  - - - - - DRAINAGE E BASIN BOUNDARY LINE
  - △ DESIGN POINT
  - FLOW ARROWS
  - EXISTING FLOW ARROWS
  - EXISTING LIGHT POLE
  - EXISTING TRAFFIC SIGN
  - EXISTING TREES
  - EXISTING STORM MANHOLE
  - EXISTING STORM LINE
  - PROPOSED TRAFFIC SIGN
  - PROPOSED INLET
  - A-1 BASIN IDENTIFICATION
  - BASIN Q10
  - BASIN Q100
  - BASIN AREA (ACRES)

EXISTING IMPERVIOUSNESS = 83.63%

DEVELOPED IMPERVIOUSNESS = 81.12%

**PEAK DISCHARGE FOR CHICK-FIL-A SITE -- SEE NOTE 1**

AREAS (ACRES)	QP = (Q <sub>pb</sub> ) (A <sub>b</sub> ) + (Q <sub>pc</sub> ) (A <sub>c</sub> ) + (Q <sub>pd</sub> ) (A <sub>d</sub> )
A <sub>b</sub> = 0.07	2 YEAR STORM = (Q <sub>pb</sub> ) (A <sub>b</sub> ) + (Q <sub>pc</sub> ) (A <sub>c</sub> ) + (Q <sub>pd</sub> ) (A <sub>d</sub> ) = 1.548 CFS
A <sub>c</sub> = 0.16	10 YEAR STORM = (Q <sub>pb</sub> ) (A <sub>b</sub> ) + (Q <sub>pc</sub> ) (A <sub>c</sub> ) + (Q <sub>pd</sub> ) (A <sub>d</sub> ) = 2.742 CFS
A <sub>d</sub> = 0.69	100 YEAR STORM = (Q <sub>pb</sub> ) (A <sub>b</sub> ) + (Q <sub>pc</sub> ) (A <sub>c</sub> ) + (Q <sub>pd</sub> ) (A <sub>d</sub> ) = 4.190 CFS

NOTE: ALL CONSTANTS, COEFFICIENTS, FORMULAS, AND STANDARDS USED TO CALCULATE THE PEAK DISCHARGES FOR THE CHICK-FIL-A PROJECT SITE DERIVED FROM CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 22 - DRAINAGE, FLOOD CONTROL & EROSION CONTROL.

**DRAINAGE NARRATIVE DESCRIPTION**  
 THE SITE IS CURRENTLY A PAVED PARKING LOT WITH NUMEROUS LANDSCAPE ISLANDS. THE SITE GENERALLY SLOPES FROM WEST TO EAST TOWARDS THE EXISTING GRATE INLET LOCATED IN THE DRIVE AISLE IMMEDIATELY EAST OF THE PROJECT SITE. EXISTING SLOPES WITHIN THE PARKING LOT ARE LESS THAN 2%. EXISTING SIDEWALK SURROUNDS THE SITE TO THE WEST AND SOUTH. THESE SIDEWALK ELEVATIONS ARE CONSIDERABLY LOWER THAN THE PARKING LOT, WITH A 2-3 FOOT DIFFERENCE IN ELEVATION. THE MAJOR TOPOGRAPHIC ITEM LOCATED WITHIN 100 FEET OF THE SITE IS THE EXISTING GRATE INLET LOCATED IN THE DRIVE AISLE DIRECTLY EAST OF THE SITE. THE EXISTING CONDITIONS ALLOW FOR CONSIDERABLE PARKING LOT PONDING AROUND THIS INLET, ENCRoACHING APPROXIMATELY 85 FEET ONTO THE SITE. THE CURRENT PONDING VOLUME LOCATED ON SITE IS APPROXIMATELY 17,768 CUBIC FEET. THERE IS ALSO AN EXISTING INLET ALONG THE EAST CURBLINE OF EUBANK BOULEVARD LOCATED IN THE SOUTHWEST CORNER OF THE SITE.

THE PROPOSED GRADING WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE. AN ON-SITE STORM SEWER SYSTEM WILL BETTER ROUTE RUNOFF TO THE EXISTING STORM SEWER SYSTEM. A SERIES OF PVC PIPES & STORM STRUCTURES WILL BE UTILIZED TO CAPTURE DEVELOPED RUNOFF. MOST IMPORTANTLY, THE PROPOSED GRADING CONCEPT WILL INCREASE THE AMOUNT OF PONDING FOR THE PROPOSED CONDITION. THE PARKING LOT PONDING WILL BE CENTERED AROUND THE PROPOSED STORM INLET, LOCATED AT LOW POINT OF THE PROPOSED CONCRETE PAN. THIS WILL ALLOW FOR A MAJORITY OF THE PONDING VOLUME TO BE CONTAINED IN THE PARKING LOT, AS WELL AS ALLOW FOR INCREASED SLOPES ON SITE. LOCALIZED INLET PONDING AROUND THE OTHER PROPOSED STORM INLETS, WITH A MAXIMUM DEPTH OF 12 INCHES, WILL ADD ADDITIONAL PONDING VOLUME FOR THE PROPOSED CONDITION. THE AMOUNT OF PONDING VOLUME PROVIDED WILL BE APPROXIMATELY 18,350 CUBIC FEET, WHILE SIMULTANEOUSLY DECREASING THE 100 YEAR PONDING ELEVATION. PER THE APPROVED DRAINAGE REPORT, A DISCHARGE RATE OF 0.3 CFS PER ACRE WILL BE MAINTAINED FOR THE SITE. THE EXISTING ORIFICE PLATE WILL BE UTILIZED, AS THE PROPOSED STORM SEWER WILL CONNECT TO THE EXISTING SYSTEM UPSTREAM OF THIS ORIFICE PLATE. WITH THESE PROPOSED ENHANCEMENTS, WITH AN EMPHASIS ON AT A MINIMUM MAINTAINING A PONDING VOLUME NEUTRAL CONCEPT, THE PROPOSED CHICK-FIL-A WILL IMPROVE THE EXISTING DRAINAGE CONDITIONS FOR THE PROJECT SITE.

**BENCHMARK**  
 VERTICAL DATUM IS NAVD 88, BENCHMARK IS BH 14-285-02  
 ELEVATION = 5470.52 (NAVD 88)

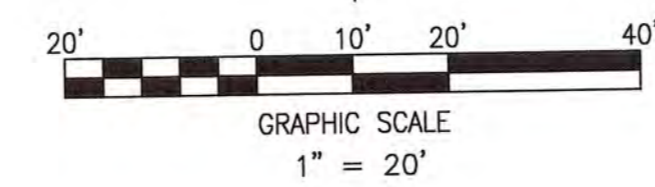
**LEGAL DESCRIPTION**  
 A CERTAIN TACT OF LAND WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING TRACT B-1-A-2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF TRACTS B-1-A-1 AND B-1-A-2, VIDEO ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 5, 2014 IN BOOK 2014C, PAGE 80, AS DOCUMENT NO. 2014081733.

**DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR**

I, TROY D. KELTS, NMPE 22102, OF FIRM, MERRICK & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATE MARCH 20TH, 2015. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ROBERT FIERRO, NMPS 22909 OF THE FIRM FIERRO & COMPANY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON DECEMBER 9TH, 2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENTS ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

TROY D. KELTS #22102  
 DATE 12/9/15



CALL NMOC TWO WORKING DAYS BEFORE YOU DIG NM811 OR 1-888-NM-GAS-CO

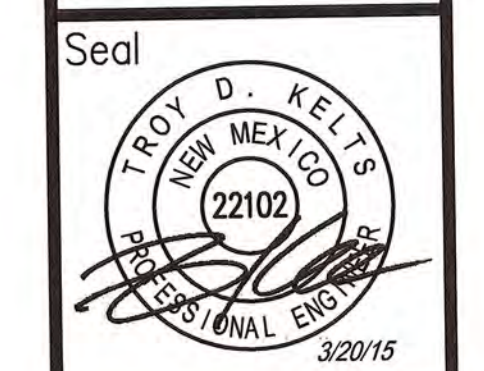


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Revisions:  
 Mark Date By  
 1 12/29/14 EF

Mark Date By  
 2 03/20/15 EF

Mark Date By  
 3



STORE  
 CENTRAL & EUBANK  
 S08H-A-WC

210 EUBANK BLVD. SE  
 ALBUQUERQUE, NM

SHEET TITLE  
 DRAINAGE MAP

DWG EDITION ---

Job No. : 65118257  
 Store : 03235  
 Date : 11/10/14  
 Drawn By : EF  
 Checked By : TDK

Sheet  
 C-3.4





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Chick-fil-A at Central & Eubank Building Permit #: \_\_\_\_\_ City Drainage #: L21D045F  
 DRB#: 14DRB-70346 EPC#: 14EPC-40027 Work Order#: \_\_\_\_\_  
 Legal Description: See Attached  
 City Address: 210 Eubank Blvd SE

Engineering Firm: Merrick & Company Contact: Troy Kelts  
 Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80015  
 Phone#: 303-751-0741 Fax#: 303-752-4451 E-mail: troy.kelts@merrick.com

Owner: Chick-fil-A Contact: Don Ikler  
 Address: 15635 Alton Parkway, Irvine, CA 30349-2732  
 Phone#: 404-305-4407 Fax#: \_\_\_\_\_ E-mail: don.ikler@chick-fil-a.com

Architect: CRHO Contact: Jose Carlos de la Vega  
 Address: 195 South "C" Street 200, Turstin, CA 92780  
 Phone#: 714-832-1834 Fax#: \_\_\_\_\_ E-mail: Carlos@CRHO.com

Surveyor: Fierro & Company Contact: Robert Fierro  
 Address: 6300 Montano Rd, Albuquerque, NM, 87120  
 Phone#: 505-352-8930 Fax#: \_\_\_\_\_ E-mail: robertfierro.fc@gmail.com

Contractor: Panterra Construction Contact: Heather Hager  
 Address: 14901 Quorum Drive, Suite 320, Dallas, Texas 75254  
 Phone#: 214-461-9628 Fax#: 469-375-7341 E-mail: hhager@panterraconstructic

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  Yes  No  Copy Provided

DATE SUBMITTED: 12/9/2015 By: Troy D. Kelts

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## **LEGAL DESCRIPTION**

A certain tract of land within Section 28, Township 10 North, Range 4 East, N.M.P.M., City of Albuquerque, Bernalillo County, New Mexico, being and comprising Tract B-1-A-2, as the same is shown and designated on the Plat of Tracts B-1-A-1 and B-1-A-2, VIDEO ADDITION filed in the Office of the County Clerk of Bernalillo County, New Mexico on August 5, 2014 in Book 2014C, page 80, as Document No. 2014061733 and being more particularly described by New Mexico State Plan Grid Bearings (NAD83 Central Zone) and ground distances as follows:

BEGINNING at the northwest corner of the tract herein described, also being a point on the westerly boundary of said Tract B-1A-1 and the easterly right-of-way line of Eubank Boulevard SE, WHENCE the northwest corner of said Tract B-1-A-1 bears  $N00^{\circ}55'43''E$  a distance of 55.75 feet;

THENCE leaving the easterly right-of-way line of Eubank Boulevard SE, along the northerly boundary of the tract herein described, coincident with the westerly boundary of said Tract B-1-A-1, the following three (3) courses;

$S87^{\circ}12'52''E$  a distance of 25.96 feet to a point;

$N02^{\circ}47'08''E$  a distance of 10.60 feet to a point;

$S87^{\circ}12'52''E$  a distance of 117.31 feet to the northeast corner of the tract herein described;

THENCE along the easterly boundary of the tract herein described, coincident with the westerly boundary of said Tract B-1-A-1,  $S00^{\circ}55'43''W$  a distance of 285.14 feet to the southeast corner of the tract herein described;

THENCE along the southerly boundary of the tract herein described, coincident with the westerly boundary of said Tract B-1-A-1, the following three (3) courses;

$N89^{\circ}02'37''W$  a distance of 110.91 feet to a point;

$N00^{\circ}57'23''E$  a distance of 30.10 feet to a point;

$N89^{\circ}02'37''W$  a distance of 32.64 feet to the southwest corner of the tract herein described, also being a point on the easterly right-of-way line of Eubank Boulevard SE;

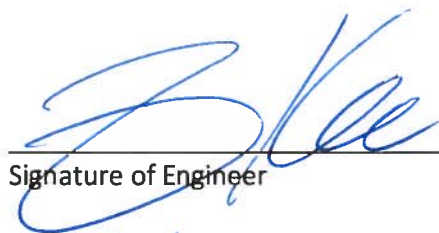
THENCE leaving the westerly boundary of said Tract B-1-A-1, along the westerly boundary of the tract herein described, coincident with the easterly right-of-way line of Eubank Boulevard SE,  $N00^{\circ}55'43''E$  a distance of 249.02 feet to the POINT OF BEGINNING.

Tract contains 0.9182 acres, more or less.

**DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR****CHICK-FIL-A – 210 EUBANK BOULEVARD SE**

I, Troy Kelts, NMPE 22102, OF THE FIRM Merrick & Company,  
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE  
WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/20/15.  
THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY  
ROBERT FIERRO, NMPS 22909 OF THE FIRM Fierro & Company. I FURTHER CERTIFY THAT I  
HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/9/15 AND HAVE DETERMINED BY VISUAL  
INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND  
IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED  
IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY  
TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT.  
THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF  
ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
\_\_\_\_\_  
Signature of Engineer  
12/9/15  
\_\_\_\_\_  
Date

**ENGINEER'S STAMP**