

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 6, 2022

Kristofer Wiest
Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111

**Re: Chick-fil-A Central & Eubank/ Remodel
210 Eubank Blvd. SE
Traffic Circulation Layout
Architect's Stamp xx-xx-xx (L21-D045B)**

Dear Ms. Wiest,

Based upon the information provided in your submittal received 05-05-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Define the property line.
3. Provide drive-thru lanes width.
4. The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
5. Paint proposed striping with white.
6. Key note 7: provide the height for the proposed Precast Grease Interceptor. To make sure it will be drivable surface.
7. Please provide a letter of response for all comments given.

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

Marwa Al-najjar.
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: CFA Central & Eubank **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract B-1-A-2, Video Addition
City Address: 210 Eubank Blvd S.E.

Applicant: Merrick & Company **Contact:** Kristofer Wiest
Address: 5970 Greenwood Plaza Blvd, Greenwood Village, CO 80111
Phone#: 303-353-3695 **Fax#:** _____ **E-mail:** kris.wiest@merrick.com

Other Contact: Chick-fil-A, Inc **Contact:** Erica Cogswell
Address: 5200 Buffington Road, Atlanta, GA 30349
Phone#: 469-785-1863 **Fax#:** _____ **E-mail:** erica.cogswell@am.jll.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 04/18/2022 **By:** Kristofer K. Wiest

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

BUILDING DATA

OCCUPANCY: A2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION: V-B
SITE AREA: 40,000 S.F.
BUILDING AREA: 4,492 S.F.
FAR: 11%
ZONING: SU-2/EGC (EAST GATEWAY CORRIDOR ZONE)



5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349-2998
PHONE: (404) 765-8000
FAX: (404) 684-8550

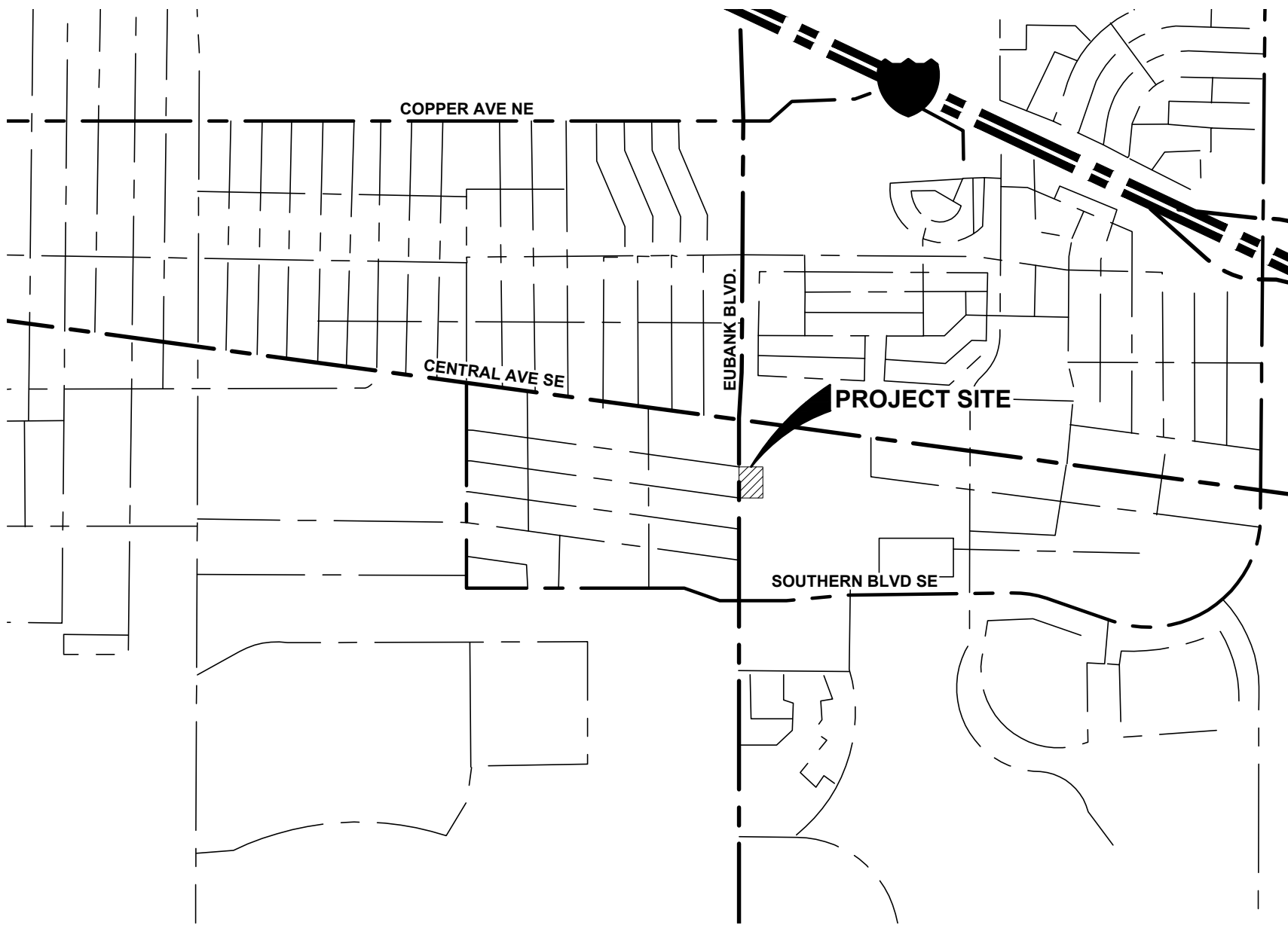
DRAWING INDEX

- 0 TITLE SHEET
- 1 SITE PLAN
- 2 LANDSCAPE PLAN
- 2A LANDSCAPE DETAILS
- 3 GRADING PLAN
- 4 UTILITY PLAN
- 5 PHOTOMETRIC SITE PLAN
- 6 EXTERIOR ELEVATIONS
- 7 EXTERIOR ELEVATIONS
- 8 REFUSE PLAN & ELEVATIONS
- 9 SITE DETAILS
- 10 EXHIBIT "A" DELIVERY TRUCK ROUTE

CHICK-FIL-A AT CENTRAL & EUBANK

TRACT B-1-A-2, OF THE PLAT OF TRACTS B-1-A-1 AND B-1-A-2, VIDEO ADDITION,
WITHIN SECTION 28, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M. CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123



VICINITY MAP
NTS

EXISTING SHOPPING CENTER PARKING:

EXISTING HOME DEPOT (OVERALL PARKING LOT AREA): PARKING SPACES = 717

* NOTE: 717 TOTAL PARKING SPACES INCLUDES 95
WITHIN CHICK-FIL-A PROPOSED DEVELOPMENT AREA.

HOME DEPOT REQUIRED PARKING STALLS:
102,025 SQ. FT. HOME DEPOT BUILDING = 510
9,000 SQ. FT. EXISTING MISC. BUILDING = 45
TOTAL REQUIRED PARKING SPACES PER CITY PARKING ORDINANCE = 555

* NOTE: 67 EXCESS PARKING SPACES AVAILABLE WITHIN
THE HOME DEPOT PARCEL WITH THE REMOVAL OF 95
PARKING SPACES WITHIN CHICK-FIL-A PROPOSED
DEVELOPMENT AREA.

CHICK-FIL-A WILL BE ELIMINATING 95 PARKING SPACES FROM THE TOTAL OVERALL
LOT AREA. PROPOSED CHICK-FIL-A DEVELOPMENT WILL ADD 45 PARKING SPACES
TO NEW LOT AREA RESULTING IN A TOTAL NET LOSS OF 50 PARKING SPACES
BEING ELIMINATED FROM THE TOTAL OVERALL SHOPPING CENTER.

TOTAL OVERALL EXISTING PARKING SPACES = 717 SPACES
TOTAL OVERALL PARKING SPACES ELIMINATED BY CFA CARVE OUT = 50 SPACES
TOTAL OVERALL PARKING SPACES AFTER CFA DEVELOPMENT = 667 SPACES
TOTAL OVERALL PARKING SPACES REQUIRED BY CITY ORDINANCE = 555 SPACES

CHICK-FIL-A SITE PARKING REQUIREMENTS:

STANDARD SPACES REQUIRED: 1 SP / 4 SEATS = 119 / 4 = 30 SP. REQ'D
STANDARD SPACES PROVIDED: 42 SPACES
HANDICAP SPACES: 3 SPACES
TOTAL SPACES PROVIDED: 45 SPACES

MAXIMUM PARKING ALLOWED BY EGSDP
33 SPACES PLUS 50%: 49 SPACES

TOTAL MOTORCYCLE SPACES REQUIRED: 2 SPACES
TOTAL MOTORCYCLE SPACES PROVIDED: 2 SPACES

TOTAL BICYCLE SPACES REQUIRED - 1 PER 20 PARKING SPACES
43/20 = 2.15 3 REQUIRED
TOTAL BICYCLE SPACES PROVIDED: 5 SPACES

LANDLORD NOTES:

- CHICK-FIL-A CONTRACTORS SHALL CONTACT BOB BURNSIDE,
CONSTRUCTION MANAGER AT THE HOME DEPOT, 2 WEEKS PRIOR TO
PROJECT START DATE, 714-749-6993. SUPERINTENDENT SHALL SUPPLY
BOB BURNSIDE WITH WEEKLY STATUS REPORTS AND PICTURES OF
PROGRESS TO BOB_BURNSIDE@HOMEDEPOT.COM

Deviations Requested - Staff Summary Tables

- Table 1: Commercial Building & Lot Standards -

#	Page	Requirement		Proposed	Difference between Required & Proposed	Deviation & Classification
		Name	Amount			
1	5 – 36	Building Front Façade Lot Width Coverage	50% minimum	142.5 feet is 50%. 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5-56 = 86.5 feet difference, or 30%	30% - Major
2	5 – 36	Front-Yard-Setback	10 feet- maximum	24.75 feet from building	14.75 feet, 147.5%- of the standard.	50% deviation is 15- feet. The EPC cannot grant deviations- >50%*

- Table 2: General Design Regulations -

#	Page	Requirement		Proposed	Difference between Required & Proposed	Deviation Classification
		Name	Amount			
3	5 – 46	Building Façade at Least 50% of Street Frontage	50% minimum	142.5 feet is 50% 56 feet is proposed and is 20%	Lot is 285 feet wide. 142.5 - 56 = 86.5 feet difference, or 30%	30% - Major
4	5 – 48	Maximum Parking Allowed	ZC min plus 10% (33 spaces)	45 spaces	12 extra spaces, a third of the standard	36% - Major
5	5 – 55	Drive-up windows and Ordering Panels at Rear of Building	—	1 window at rear, 1 window at side, ordering panel at side	The side window and ordering panel should be at the rear of the	non-dimensional standard requiring review
6	5 – 56	No portion of queuing lane within 40 feet of street-facing façades	—	Queuing lane is within 25 feet of street façade	Relocate queuing lane to another location (many available)	non-dimensional standard requiring review

Revised application is for 5 deviations instead of 6 (#2 is addressed). Three deviations (#s 1, 3 & 4) are still major in scope. Two deviations are still to non-dimensional standards.

ARCHITECT:

INTERPLAN LLC
220 E CENTRAL PKWY, STE 4000
ALTAMONTE SPRINGS, FL 32701
PHONE: (407) 645-5008

CONTACT: JONATHAN FIESTA
EMAIL: JFIESTA@INTERPLANLLC.COM

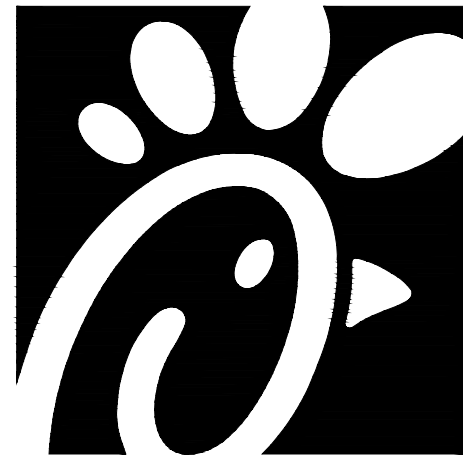
CIVIL ENGINEER:

MERRICK AND COMPANY
5970 GREENWOOD PLAZA BLVD.
GREENWOOD VILLAGE, CO, 80111
PHONE: (303) 751-0741

CONTACT: KRISTOFER WIEST
EMAIL: KRIS.WIEST@MERRICK.COM

CROSS ACCESS EASEMENT:

DRIVEWAY EASEMENT AGREEMENT, DATED APRIL 06, 2000 AND RECORDED
JUNE 06, 2000 BOOK A6, PAGE 4682, BERNALILLO COUNTY, NEW MEXICO



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-
2998



FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
CENTRAL & EUBANK
210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE
NO. DATE DESCRIPTION
X XXX/XX/XX XXXXXXXXXXXXX

PROJECT STATUS

CONSULTANT PROJECT # #####
PRINTED FOR XXXXXXXXX
DATE MM/DD/YYYY
DRAWN BY XXX

1229-C0.0_COVER

SHEET NUMBER

01

OF XX



Know what's below.
Call before you dig.

NOTES:

1. CONTRACTOR TO FIELD VERIFY VERTICAL & HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES, INCLUDING EXISTING IRRIGATION LINES ALONG EUBANK BLVD.
2. REFER TO C-3.2 FOR STORM SEWER PLAN & PROFILE.
3. REFER TO C-5.0 - C-5.3 FOR CIVIL STANDARD DETAILS.
4. ALL SANITARY AND STORM PVC PIPE TO BE SDR35.
5. CONTRACTOR TO DISCUSS TEMPORARY POWER WITH PM.
6. CONTRACTOR TO COORDINATE WITH HOME DEPOT FOR THE REMOVAL AND ABANDONMENT OF EXISTING UNDERGROUND ELECTRIC LINES & LIGHT POLES.
7. ALL ELEVATIONS AND INVERTS ARE SAKKXX.
8. PAD TRANSFORMER TO BE INSTALLED BY PM.
9. MINIMUM COVER ON WATER & FIRE LINE SHALL BE 4'-0" BELOW FINISHED GRADE, PER CITY OF ALBUQUERQUE WATER DESIGN CRITERIA.
10. FOR ROOF DRAIN INVERTS, SLOPES AND LENGTHS REFER TO C-3.2.
11. CONTRACTOR TO ENSURE THAT ELECTRIC SERVICE TO EXISTING PYLON SIGN WILL NOT BE INTERRUPTED. TEMPORARY POWER TO EXISTING PYLON SIGN MAY BE NECESSARY TO ENSURE THAT PYLON SIGN WILL REMAIN ILLUMINATED.
12. FOR EXISTING LIGHT POLES TO BE REMOVED CONTRACTOR TO PRESERVE & SAVE LIGHT POLES AND FIXTURES. LIGHT POLES REMOVED ALONG EUBANK TO BE REUSED FOR INSTALLATION OF LIGHT POLES ALONG NORTH ACCESS. ALL OTHER LIGHT POLES AND FIXTURES TO BE RETURNED TO HOME DEPOT.
13. THE DEMOLITION WILL NEED TO BE PHASED IN ORDER FOR THE EXISTING SERVICES TO REMAIN IN PLACE AND OPERATING UNTIL A SWITCH OVER CAN BE COMPLETED IN ONE EVENING BETWEEN 11 PM TO 5 AM. IN ADDITION, PHASING WITHIN COMMON DRIVE MUST BE COMPLETED PER SHEET C-1.1A - C-1.1B.

LEGEND:

	PROPERTY LINE
	PROPOSED FIRE SERVICE
	PROPOSED 3/4" WATER SERVICE
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER
	PROPOSED GAS
	PROPOSED ELECTRIC
	PROPOSED TELEPHONE
	PROPOSED ROOF DRAIN
	PROPOSED STORM LINE
	WATER METER
	GREASE TRAP
	STORM INLET
	STORM MANHOLE
	PROPOSED LIGHT POLE
	COLOR & TEXTURED CONCRETE
	EX STORM MANHOLE
	EX SANITARY MANHOLE
	EX STORM INLET

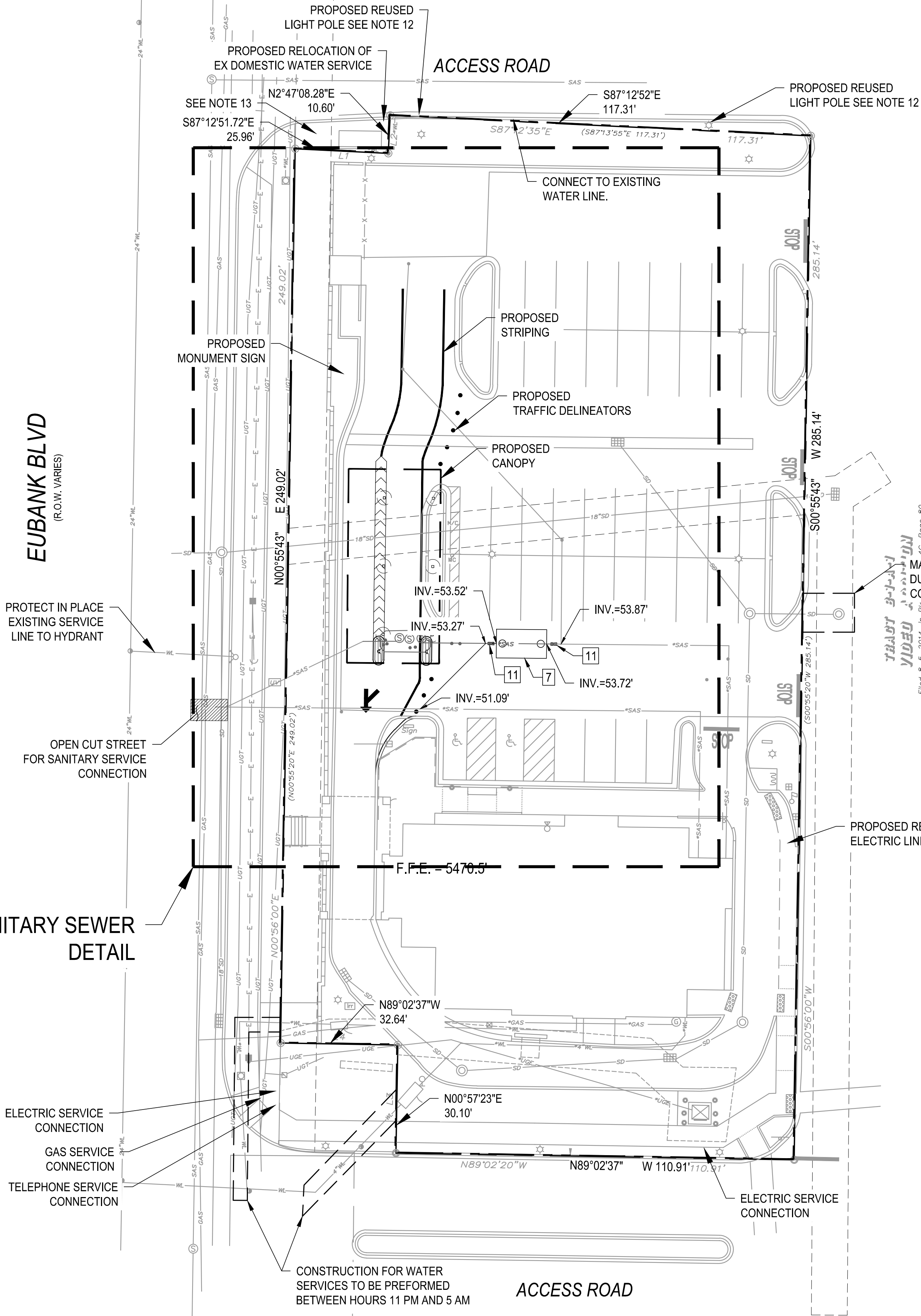
SANITARY SEWER DETAIL

ELECTRIC SERVICE CONNECTION
GAS SERVICE CONNECTION
TELEPHONE SERVICE CONNECTION

OPEN CUT STREET FOR SANITARY SERVICE CONNECTION

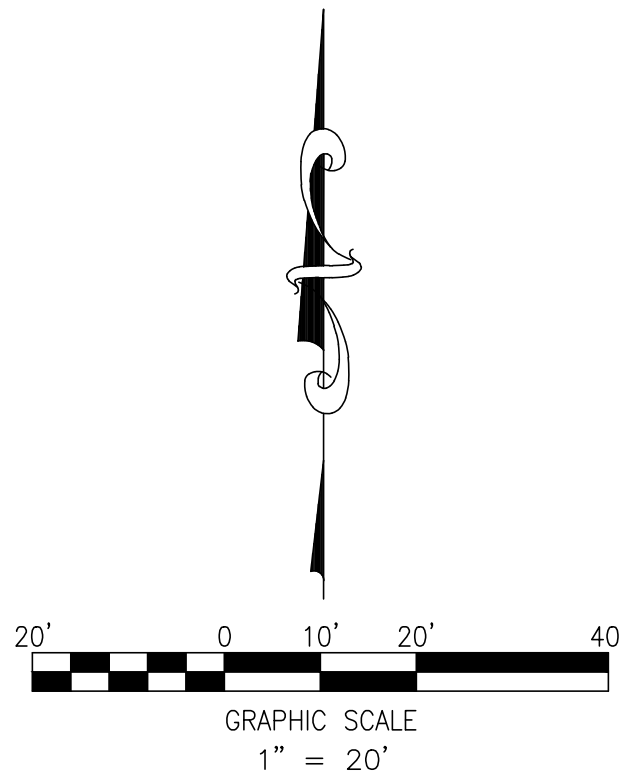
PROTECT IN PLACE EXISTING SERVICE LINE TO HYDRANT

EUBANK BLVD
(R.O.W. VARIES)



PLUMBING SITE PLAN DESIGN NOTES & KEY PLAN

- 1 2" TYPE K COPPER DOMESTIC WATER SERVICE (PRIVATE)
- 2 2" WATER METER (PRIVATE)
- 3 DOMESTIC WATER SERVICE CONNECTION TO EX 12" PVC STUB
- 4 4" D.I.P. FIRE SERVICE (PRIVATE)
- 5 PRIVATE FIRE SERVICE CONNECTION TO EX 12" PVC STUB
- 6 4" PVC RESTROOM WASTE LINE @ 2.0%% (MIN) SLOPE (5'-0" BELOW FFE AT BUILDING WALL)
- 7 1200 GALLON PRECAST GREASE INTERCEPTOR. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE OR MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE INTERCEPTOR MEETS WASTEWATER PROVIDER AND DEPARTMENT OF HEALTH SPECIFICATIONS PRIOR TO INSTALLATION.
- 8 3" SANITARY VENT LINE CONNECTION TO GREASE INTERCEPTOR AND WASTE LINE (PRIVATE)
- 9 4" PVC KITCHEN WASTE LINE @ 2.0 %% SLOPE (5'-0" BELOW FFE AT BUILDING WALL) (PRIVATE)
- 10 4" ONE-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 11 4" TWO-WAY CLEANOUT (TRAFFIC RATED) (PRIVATE)
- 12 4" PVC WASTEWATER SERVICE LINE (PRIVATE)
- 13 4" WASTEWATER SERVICE CONNECTION TO EX SANITARY SEWER MAIN
- 14 6" PVC ROOF DRAIN PIPE (6'-0" BELOW FFE AT BUILDING WALL) (PRIVATE) REFER TO NOTE 10
- 15 6" ROOF DRAIN CONNECTION TO PROPOSED STORM SEWER W/ INSERTA TEE
- 16 3/4" TYPE K COPPER WATER SERVICE TO YARD HYDRANT (PRIVATE)
- 17 3/4" YARD HYDRANT (PRIVATE)
- 18 ELECTRIC TRANSFORMER. SEE NOTE 8.
- 19 ELECTRIC SERVICE LINE (PRIMARY)
- 19A ELECTRIC SERVICE LINE (SECONDARY)
- 20 ELECTRIC METER. COORDINATE WITH PNM.
- 21 GAS METER. COORDINATE WITH NEW MEXICO GAS COMPANY.
- 22 GAS SERVICE BY NEW MEXICO GAS COMPANY. CONTRACTOR SHALL COORDINATE INSTALLATION TO CONFIRM THE APPROPRIATE BENDS ARE INCORPORATED TO MAINTAIN MINIMUM CLEARANCES BELOW ALL STORM SEWER, WATER AND WASTE WATER LINES OR OTHER SERVICES PER CITY AND NEW MEXICO GAS COMPANY STANDARDS.
- 23 TELEPHONE SERVICE LINE. CONTRACTOR TO COORDINATE WITH CENTURY LINK
- 24 FIRE DEPARTMENT CONNECTION
- 25 KNOX BOX
- 26 CONNECT TO IRRIGATION SYSTEM
- 27 TYPE C STORM SEWER INLET (PRIVATE). SEE NOTE 3.
- 28 TYPE D STORM SEWER INLET (PRIVATE). SEE NOTE 3.
- 29 18" PVC STORM SEWER LINE (PRIVATE). SEE NOTE 4.
- 30 4'Ø STORM SEWER MANHOLE (PRIVATE)
- 30A 4'Ø STORM SEWER MANHOLE CONNECTION TO EX. STORM MANHOLE
- 31 3' WIDE CONCRETE PAN
- 32 18" WIDE CURB CUT FOR SURFACE RUNOFF TO BIORETENTION / ON-SITE WATER HARVESTING LANDSCAPE AREAS.
- 33 PROPOSED LIGHT POLE
- 34 LANDSCAPE DEPRESSION FOR BIO-RETENTION / ON-SITE WATER HARVESTING AREA RE: LANDSCAPE
- 35 TRASH ENCLOSURE DRAIN. CONNECT TO PROPOSED SANITARY SEWER SYSTEM UPSTREAM OF GREASE INTERCEPTOR



PROJECT STATUS

CONSULTANT PROJECT #	#####
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DATE	MM/DD/YYYY
DRAWN BY	XXX
SHEET	

1229-C-2.0-UTILITY PLAN

SHEET NUMBER

03

FOR AND AND ON-BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
CENTRAL & EUBANK

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

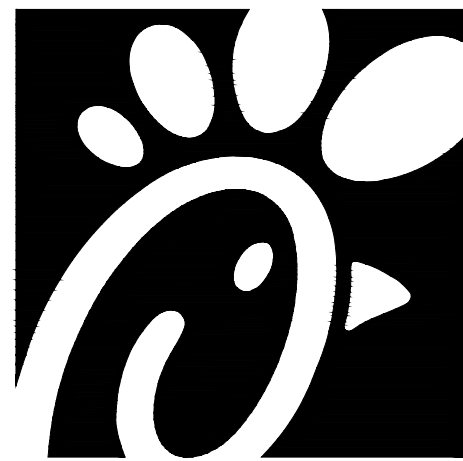
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NO.	DATE	DESCRIPTION
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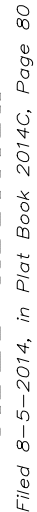


Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

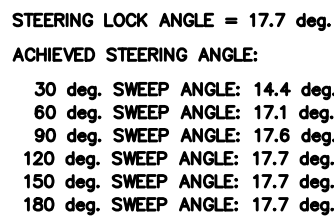
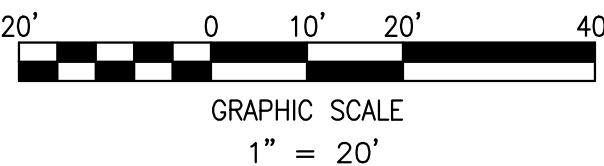


5970 GREENWOOD PLAZA BLVD
GREENWOOD VILLAGE, CO 80111
303-751-0741





DELIVERY TRUCK ROUTE INTO DEVELOPMENT



WB-50
AASHTO 2001 (US)
[ft]
Copyright (c) 2012, Transoft Solutions
0FT 10FT 20FT

- NOTE:**
1. CHICK-FIL-A WILL NOT UTILIZE A WB-67 TRUCK FOR DELIVERIES TO THIS LOCATION.
 2. EXISTING DRIVE PAVEMENT SECTIONS TO BE VERIFIED WITH FINAL CONSTRUCTION DOCUMENTS.



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-
2998



FOR AND ON BEHALF OF
MERRICK AND COMPANY

CHICK-FIL-A
CENTRAL & EUBANK
210 EUBANK BLVD. SE
ALBUQUERQUE, NM 87123

FSR#0000

BUILDING TYPE / SIZE: P12 LS LRG
RELEASE: vX.YY.MM

REVISION SCHEDULE

<u>NO.</u>	<u>DATE</u>	<u>DESCRIPTION</u>
X	XX/XX/XX	XXXXXXXXXXXX

CONSULTANT PROJECT # #####

PRINTED FOR XXXXXXXXXX

DATE MM/DD/YYYY

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SHEET _____

~~1229-G-4.0~~ TRAFFIC
SHEET NUMBER: CIRCULATION PLAN

05 OF XX